



**Planning Commission
Regular Meeting
May 17, 2022
7:00 p.m.**

The meeting will take place in-person. To better provide for social distancing during this public meeting, **the location of the Planning Commission meeting has been moved to the Lincoln Reception Center, 2300 S. Lincoln Road, Mt. Pleasant, MI 48858, which is located behind the Lux Funeral Home.** Enter at the Lux Funeral Home driveway and follow the directional signs around to the Lincoln Reception Center entrance and parking area on the south side of the building.

In the interest of creating the safest possible environment, all attendees are invited and encouraged to wear masks while in the building. Extra masks will be available for those that may need one.

1. CALL MEETING TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

4. APPROVAL OF AGENDA

5. APPROVAL OF MINUTES

-April 19, 2022

6. CORRESPONDENCE / BOARD REPORTS / PRESENTATIONS

- A. Thering updates from Board of Trustees
- B. Buckley updates from ZBA
- C. Shingles updates from Sidewalk and Pathways

7. PUBLIC COMMENT: Restricted to (3) minutes regarding items not on this agenda

8. NEW BUSINESS

- A. **PSUP 22-03 Special Use Permit Application - Wireless Communications Facility (cell tower), 5450 S. Mission Rd.**
 - a. Introduction
 - b. Public hearing

- c. Updates from staff and the applicant
- d. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)

B. PSPR22-07 Preliminary Site Plan Application - Wireless Communications Facility (cell tower), 5450 S. Mission Rd.

- a. Introduction by staff
- b. Updates from the applicant
- c. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)

C. PREZ22-01 Planned Unit Development (PUD) Rezoning and Concept Plan Application - The Den on Broomfield Mixed Use Buildings, E. Broomfield Rd. at Sweeney Rd.

- a. Introduction
- b. Public hearing
- c. Updates from staff and the applicant
- d. Commission deliberation and action (recommend approval, denial or approval with conditions to the Board of Trustees, or postpone action)

D. PSPR22-05 Final Site Plan Application - Self-Storage Facilities (Mini-warehouse, Mini-Storage), 5252 S. Mission Rd.

- a. Introduction by staff
- b. Updates from the applicant
- c. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)

9. OTHER BUSINESS

A. Lincoln Reception Center – follow up discussion

- a. Updates from staff
- b. Commission deliberation and action (return to meeting in the Twp. Hall Board Room in July, or continue to meet at the Lincoln Reception Center through September)

10. EXTENDED PUBLIC COMMENT: Restricted to 5 minutes regarding any issue

11. FINAL BOARD COMMENT

12. ADJOURNMENT

CHARTER TOWNSHIP OF UNION
Planning Commission
Regular Meeting Minutes

A regular meeting of the Charter Township of Union Planning Commission was held on April 19, 2022, at 7:00 p.m. at the Lincoln Reception Center, 2300 S. Lincoln Road.

Meeting was called to order at 7:00 p.m.

Roll Call

Present:

Albrecht, Buckley, Gross, LaBelle, Lapp, Shingles, Squattrito, Thering and Williams

Others Present

Rodney Nanney, Community and Economic Development Director; Peter Gallinat, Zoning Administrator; Tera Green, Administrative Assistant

Approval of Agenda

Shingles moved **Gross** supported to approve the agenda as presented. **Vote: Ayes: 9. Nays: 0.**
Motion Carried

Approval of Minutes

Gross moved **Lapp** supported to approve the regular meeting minutes from March 15, 2022 as presented. **Vote: Ayes: 9. Nays: 0. Motion carried.**

Correspondence / Reports/ Presentations

- A. Board of Trustees updates by Thering – Gave updates on the Board of Trustee April 13th meeting.
- B. ZBA updates by Buckley – No updates given.
- C. Sidewalks and Pathway Prioritization Committee – Commissioner Shingles confirmed that the next committee meeting is scheduled for April 26th.

Public Comment

Open 7:11 p.m.

No comments were offered

Closed 7:11 p.m.

New Business

- A. **PREZ21-03 Planned Unit Development (PUD) Area Plan/Rezoning Application – Prestige Center Assisted Living Facility Expansion**
 - a. Introduction
 - b. Public hearing
 - c. Updates from staff and the applicant

- d. Commission deliberation and action (recommend approval, denial, or approval with conditions or postpone action)

Nanney gave an introduction of the PREZ21-03 Planned Unit Development (PUD) Area Plan/Rezoning Application for the Prestige Center Assisted Living Facility Expansion requesting to rezone parcels 14-013-20-043-02 & -043-08 at 5785 E. Broadway Rd. This project was originally a (2) phase special use permit. The former phase II – Independent Senior Living component has been removed from the revised PUD Concept Plan.

Public Hearing

Open: 7:37 p.m.

Carol Davis, 5760 E. Broadway, expressed concerns with the details of the project.

Closed: 7:40 p.m.

The applicant, Kevin Willis from MCAP, gave updates on the project and was available for questions. Deliberation by the Commissioners.

Buckley moved **Williams** supported to recommend to the Township Board of Trustees that the PREZ21-03 request to rezone parcels 14-013-20-043-02 & -043-08 at 5785 E. Broadway Road from the B-4 (General Business) District to a PUD (Planned Unit Development) District subject to the revised Prestige Center PUD Concept Plan dated March 14, 2022 be adopted as presented, based on the following findings and conclusions:

1. The site and proposed development satisfy the Eligibility Criteria for consideration as a PUD project as specified in Section 3.19.A. of the Zoning Ordinance.
2. The scope of proposed development activity on the revised PUD Concept Plan is now depicted as a single-phase project. The former “phase 2” Independent Senior Living component has been removed, with the area left vacant and designated as a “Future Development Area.”
3. The application and revised PUD Concept Plan fully satisfy the requirements of Section 3.19.
4. Planning Commission review and approval of preliminary and final site plans and Township Assessor approval of a land division/land combination application will be required for this project.

Vote: Ayes: 9. Nays: 0. Motion carried.

B. PSPR22-04 Krist Oil Filling Station – Final Site Plan Application

- a. Introduction by Staff
- b. Updates from the applicant
- c. Commission deliberation and action (approval, denial, approval with conditions, postpone action)

*Commissioner Williams recused himself from PSPR22-04 Krist Oil Filling Station due to an immediate family member having invested interest in the business. The conflict of interest was

acknowledged by the Commissioners in accordance with the bylaws. Commissioner Williams moved from panelist to attendee and did not participate in the discussion or voting for this item.

Nanney introduced the PSPR22-04 Final Site Plan Approval application for Krist Oil Filling Station (Gas Station) located at the SW corner of E. Pickard Road and S. Isabella Road in the NE ¼ of Section 14.

The applicant Craig Richardson, Project Manager, gave updates on the final site plan. Deliberation by the Commissioners.

LaBelle moved **Gross** supported to approve the PSPR22-04 final site plan dated 02-14-2021 for the new Krist Oil Filling Station on approximately 2.6 acres of land on the southwest corner of E. Pickard Road and S. Isabella Road in the northeast quarter of Section 14 and in the B-7 (Retail and Service Highway Business) zoning district, finding that the February 14, 2022 site plan can comply with applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P.)Required Site Plan information) and 14.2.S (Standards for Site Plan Approval), subject to the following conditions:

1. Prior to issuance of any building permit for this project, Township Assessor approval of a land division/land combination application for division and recombination of seven (7) subject parcels [PID 14-014-20-002-00, -003-00, -004-00, -007-00, -008-00, -009-00, and -011-01 (Yats Dr., vacant)] to establish one (1) new parcel for the Krist Oil Filling Station site that is fully consistent with the approved final site plan, and one (1) remainder parcel with direct frontage on and access to the Yats Dr. right-of-way consistent with Section 7.17.B. (Public Access Required/Minimum Frontage) requirements.
2. Widen the internal sidewalk on the north side of building to at least ten (10) feet to accommodate the proposed sales area or remove the sales area from the site plan.
3. Reduce exterior illumination levels under the diesel and gas filling station canopies to a maximum of 20.0 foot-candles and elsewhere on the site to a maximum of 10.0 foot-candles, and update exterior light fixtures as needed to be fully shielded and directed straight downward with details and fixture specifications provided on an updated exterior lighting plan sheet.
4. The updated final site plan shall be subject to Zoning Administrator review and approval prior to issuance of a building permit for this project.

Vote: Ayes: 9. Nays: 0. Motion carried.

Other Business

A. Parks and Recreation Master Plan Update

Nanney reported to the Commissioners that he is working with McKenna Associates to have them coordinate and manage distribution of the surveys and compilation of the data.

B. Lincoln Reception Center Discussion

Discussion by the Commissioners on whether to continue meeting at Lincoln Reception Center

after June to continue providing a larger space for social distancing. Consensus of the Commission to include this item on the May meeting agenda for deliberation and action.

Extended Public Comments

Open – 8:13 p.m.

Randall Owen, 5776 E. Broadway, expressed concern with the looks of the Bigard & Huggard Drilling, Inc. property across the street.

Kathy Routheaux, 5744 and 5720 E. Broadway, expressed frustration with the looks of the property across the street.

Carol Davis, 5760 E. Broadway, would like the property across the street cleaned up and for the workers to quiet down.

Doug Routheaux, 5744 & 5720 E. Broadway, commented on the workers respecting quiet time after 10:00 p.m.

Closed – 8:21 p.m.

Final Board Comment

Commissioner Buckley – Echoed the comments made during Extended Public Comment and noted the importance of Township staff reinforcing the Zoning Ordinance.

Adjournment – Chairman Squattrito adjourned the meeting at 8:22 p.m.

APPROVED BY:

(Recorded by Tera Green)

Doug LaBelle – Secretary

Tera Albrecht – Vice Secretary



Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	James	Thering	11/20/2024
2-Chair	Phil	Squattrito	2/15/2023
3-Vice Chair	Ryan	Buckley	2/15/2025
4-Secretary	Doug	LaBelle II	2/15/2025
5 - Vice Secretary	Tera	Albrecht	2/15/2024
6	Stan	Shingles	2/15/2024
7	Paul	Gross	2/15/2025
8	Jack	Williams	2/15/2023
9	Jessica	Lapp	2/15/2023
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1- PC Rep	Ryan	Buckley	2/15/2022
2 - Chair	Andy	Theisen	12/31/2022
3 - Vice Chair	Liz	Presnell	12/31/2022
4 - Secretary	vacant seat		12/31/2022
5 -	Brandon	LaBelle	12/31/2022
Alt. #1	vacant seat		12/31/2022
Alt. #2	vacant seat		2/15/2021
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Doug	LaBelle II	12/31/2022
2	Sarvjit	Chowdhary	12/31/2022
3	Bryan	Neyer	12/31/2022
Alt #1	Randy	Golden	12/31/2022
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Colin	Herren	12/31/2023
2	Joseph	Schafer	12/31/2023
3	Andy	Theisen	12/31/2023
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2022
2	John	Dinse	12/31/2023
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2023
2	Lynn	Laskowsky	12/31/2025



Board Expiration Dates

EDA Board Members (9 Members) 4 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	Bryan	Mielke	11/20/2024
2	Thomas	Kequom	4/14/2023
3	James	Zalud	4/14/2023
4	Richard	Barz	2/13/2025
5	Robert	Bacon	1/13/2023
6	Marty	Figg	6/22/2022
7	Cheryl	Hunter	6/22/2023
8	Jeff	Sweet	2/13/2025
9	David	Coyne	3/26/2026
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	12/31/2022
2	vacant seat		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Robert	Sommerville	12/31/2022
Sidewalks and Pathways Prioritization Committee (2 year term -PC Appointments)			
#	F Name	L Name	Expiration Date
1 - BOT Representative	Kimberly	Rice	11/20/2024
2 - PC Representative	Stan	Shingles	2/15/2024
3 - Township Resident	Jeff	Siler	8/15/2023
4 - Township Resident	Jeremy	MacDonald	10/17/2022
5 - Member at large	Phil	Hertzler	8/15/2023
Mid Michigan Aquatic Recreational Authority (2 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1-City of Mt. Pleasant	John	Zang	12/31/2023
2-City of Mt. Pleasant	Judith	Wagley	12/31/2022
1-Union Township	Stan	Shingles	12/31/2023
2-Union Township	Allison	Chiodini	12/31/2022
1-Mt. Pleasant Schools	Lisa	Diaz	12/31/2022



**APPLICATION FOR A SPECIAL USE PERMIT
& NECESSARY APPROVALS
TO CONSTRUCT A NEW
WIRELESS COMMUNICATIONS FACILITY
AT
5450 S. MISSION ROAD
MT. PLEASANT, MI 48858
PIMI429**



Charter Township of Union

APPLICATION FOR SPECIAL USE PERMIT APPROVAL

A completed application will contain all information required per the Zoning Ordinance, Section 14.3 (Special Use Permits); and be accompanied by a separate minor site plan or preliminary site plan application per Section 14.02.C. (Site Plan Approval Required).

☒

Minor Site Plan

☐

Preliminary Site Plan

Name of Proposed Development/Project	PARALLEL / AT&T PIMI429
Common Description of Property & Address (if issued)	5450 S. MISSION ROAD, MT. PLEASANT, MI 48858
Applicant's Name(s)	TONY PHILLIPS-FULLERTON ENGINEERING FOR PARALLEL / AT&T
Phone/Fax numbers	847-331-3659
Email	tphillips@fullertonengineering.com
Address	1100 E. WOODFIELD RD. SUITE 500
City:	SCHAUMBURG, IL
Zip:	60173

Legal Description:	Attached	<input checked="" type="checkbox"/>	Included on Site Plan	Tax Parcel ID Number(s): 14-034-20-005-00
Existing Zoning:	B-4	Land Acreage:	7.52	Existing Use(s): COMMERCIAL BLDG / FARM
<input checked="" type="checkbox"/>	ATTACHED: Letter describing the proposed use and how it conforms to Section 14.3.J. (Standards for Special Use Approval)			

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: FULLERTON ENGINEERING	Phone: 847-908-8400	Email: dzrnic@fullertonengineering.com
	2. Address: 1100 E WOODFIELD RD. SUITE 500		
	City: SCHAUMBURG	State: IL	Zip: 60173
	Contact Person: DALIBOR ZRNIC	Phone: 847-908-8400	
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: KLUMP MANAGEMENT, LLC	Phone: 989-621-3577	
	Address: 1955 E WALTON RD		
	City: SHEPHARD	State: MI	Zip: 48883
	Signature: SEE ATTACHED LEASE	Interest in Property: OWNER	
	2. Name:	Phone:	
	Address:		
	City:	State:	Zip:
	Signature:	Interest in Property:	

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information may be cause for revocation of the special use permit approval. Approval of the requested special use shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.

Tony Phillips

Digitally signed by Tony Phillips
DN: cn=Tony Phillips, o=Fullerton Engineering,
ou=Zoning & Permitting,
email=tphillips@fullertonengineering.com, c=US
Date: 2022.04.18 00:12:18 -05'00'

4/17/22

Signature of Applicant

Date

Office Use Only

Application Received By: _____ Fee Paid: \$ _____

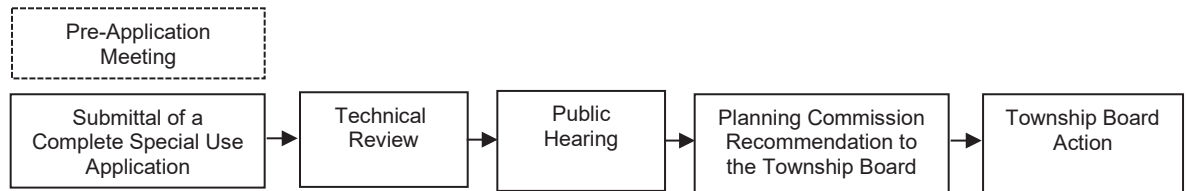
Date Received: _____ Escrow Deposit Paid: \$ _____

Section 14.3 Special Use Permits (excerpts)

E. Application Information.

The following minimum information shall be required with any application for special use permit approval:

1. The name, address, and contact information for the applicant, and the applicant's legal interest in the property. If the applicant is not the owner, the name, address, and contact information for the owner(s) and the signed consent of the owner(s) shall also be required. [PROVIDED](#)
2. Signature(s) of the applicant(s) and owner(s), certifying the accuracy of the information. [PROVIDED](#)
3. A legal description of the property, including street address(es) and tax code number(s). [PROVIDED](#)
4. A detailed description of the proposed use. [PROVIDED](#)
5. Supporting statements, evidence, data, information, and exhibits that address the standards and requirements of this Section and Ordinance that apply to the proposed use, applicable requirements and standards of this Ordinance or other Township ordinances, including standards for special use approval in Subsection 14.3(J). [PROVIDED](#)
6. A survey drawing or plan view of the subject property drawn to a standard engineer's scale and correlated with the legal description and clearly showing the property's location, lot boundaries, road rights-of-way, easements, existing structures, fences, and other improvements. Where required per Section 14.2, a site plan shall satisfy this requirement. [PROVIDED](#)
7. Any other information determined necessary by the Township Planner, Planning Commission or Township Board to verify compliance with this Ordinance or other Township ordinances.
[WILL BE PROVIDED UPON REQUEST](#)



Special Use Review Process

- J. Standards for Special Use Approval.** No special use permit shall be granted unless the Township Board makes affirmative findings of fact and records adequate data, information, and evidence showing that:

[SEE ATTACHED STANDARDS FOR SPECIAL USE RESPONSES](#)

1. The proposed land use is identified in Section 3 as a special use in the zoning district.
2. The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of traffic, noise, vibration, smoke, fumes, odors, dust, glare, light, drainage, pollution or other adverse impacts.
3. The special use will be designed, constructed, operated, and maintained in a manner compatible with adjacent uses, the surrounding area, and the intent of the zoning district. Where determined necessary by the Planning Commission or Township Board, the applicant has provided adequately for any restrictions on hours or days of operation, minimization of noise, and screening improvements or other land use buffers to ensure land use compatibility and minimize adverse impacts.
4. The special use location and character is consistent with the general principles, goals, objectives, and policies of the adopted Master Plan.
5. The proposed special use conforms to all applicable requirements or standards of this Ordinance or other Township ordinances.
6. Approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.
7. The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to roads, police and fire protection services, refuse disposal, municipal water or sewerage systems, other utilities, drainage facilities, and public or private wells. The proposed use will not create additional requirements at public cost for services or infrastructure that will be detrimental to the economic welfare of the community.

STANDARDS FOR SPECIAL USE

J. Standards for Special Use Approval. No special use permit shall be granted unless the Township Board makes affirmative findings of fact and records adequate data, information, and evidence showing that:

1. The proposed land use is identified in Section 3 as a special use in the zoning district.

The proposed new Wireless Communications Facility is a Special Use in all zoning districts.

2. The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of traffic, noise, vibration, smoke, fumes, odors, dust, glare, light, drainage, pollution or other adverse impacts.

The proposed special use will not be hazardous, detrimental, injurious to the environment or public health, safety or general welfare. It will not create any of the adverse impacts listed above. On the contrary, the proposed monopole tower will provide an affordable support structure for AT&T to expand their technology, including 5G and First Net, the dedicated frequency for First Responders. It will also encourage co-location by other wireless providers to enhance their coverage.

3. The special use will be designed, constructed, operated, and maintained in a manner compatible with adjacent uses, the surrounding area, and the intent of the zoning district. Where determined necessary by the Planning Commission or Township Board, the applicant has provided adequately for any restrictions on hours or days of operation, minimization of noise, and screening improvements or other land use buffers to ensure land use compatibility and minimize adverse impacts.

The surrounding area is predominately zoned commercial and agricultural. The proposed Wireless Communications Facility will be unmanned and monitored 24/7 from a remote location. It will be serviced approximately once a month by a technician in a small pick-up or van. The site is naturally screened on 2 sides and behind a commercial building. Additional screening will be provided at the recommendation of the Board.

4. The special use location and character is consistent with the general principles, goals, objectives, and policies of the adopted Master Plan.

The proposed Wireless Communication Facility will provide critical infrastructure for the safety and convenience of the residents and workforce in the area. Essential Services are typically a component of Master Plans in every community.

5. The proposed special use conforms to all applicable requirements or standards of this Ordinance or other Township ordinances.

The proposed Wireless Communications Facility will meet all applicable requirements of this Ordinance or other Township Ordinances. Any item found on the accompanying plans that doesn't meet the requirements will be updated.

6. Approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.

Approval of the proposed Special Use will not adversely affect the surrounding area.

7. The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to roads, police and fire protection services, refuse disposal, municipal water or sewerage systems, other utilities, drainage facilities, and public or private requirements at public cost for services or infrastructure that will be detrimental to the economic welfare of the community.

As mentioned above, the proposed Wireless Communication Facility will be unmanned. It will not require water, sewer, police, fire, refuse disposal or any service that will require public cost or services.

RESPONSES AND ACKNOWLEDGEMENT OF SECTION 5.5 WIRELESS COMMUNICATION FACILITIES

Section 5.5 Wireless Communications Facilities

A. **General Requirements.** The following requirements shall apply to wireless communication equipment as referred and defined in Section 3514 of the Michigan Zoning Enabling Act, Act 110 of 2006, as amended:

1. Standard A. Wireless communications equipment is a permitted use of property and is not subject to special use approval or any other approval if all the following requirements are met: N/A
 - a. The wireless communications equipment will be collocated on an existing wireless communications support structure or in an existing equipment compound.
 - b. The existing wireless communications support structure or existing equipment compound is in compliance with the Township Zoning Ordinance or was approved by the Township Planning Commission.
 - c. The proposed collocation will not do any of the following:
 - i. Increase the overall height of the wireless communications support structure by more than twenty (20) feet or ten percent (10%) of its original height, whichever is greater.
 - ii. Increase the width of wireless communications support structure by more than the minimum necessary to permit collocation.
 - iii. Increase the area of the existing equipment compound to greater than 2,500 sq. ft.
 - d. The proposed collocation complies with the terms and conditions of any previous final approval by the Planning Commission.
2. Standard B. Wireless communications equipment is subject to special use approval, in accordance with Section 14.3 of the Zoning Ordinance, if the equipment does not meet requirements “(c)” and “(d)” under Standard A, but the equipment meets all of the following requirements: N/A
 - a. The wireless communications equipment will be collocated on an existing wireless communications support structure or in an existing equipment compound,
 - b. The existing wireless communications support structure or existing equipment compound is in compliance with the Township Zoning Ordinance or was approved by the Township Planning Commission.

3. Standard C. Wireless communication equipment is subject to special use approval, in accordance with Section 14.3 of the Zoning Ordinance if the proposal does not involve colocation (e.g., is a new facility). SEE SECTION 14.3 ACKNOWLEDGEMENTS ATTACHED

B. Approval Procedures.

The following procedures have been established to achieve approval of a proposed wireless communications facility:

1. Standard A. Standard A Wireless communication equipment proposals require no zoning approval. However, plans for Standard A improvements shall be submitted to the Township. N/A
2. Standard B. Standard B wireless communication equipment proposals require special use approval. Accordingly, such proposals are subject to the procedures in Section 14.3 and the following special procedures. N/A

Steps Action

1. Applicant submits plan and \$1,000 fee.
 2. Within 14 days Township administration determines if application is complete.
 3. If application is incomplete, administration notifies applicant.
 4. If application is complete, administration initiates SLU review by scheduling special use public hearing. Special use review must be complete (60) days after the application is considered complete.
 5. Township Planner reviews plan, transmits letter to Planning Commission.
 6. Planning Commission reviews plan, makes recommendation to Township Board.
 7. Township Board approves or denies application.
3. Standard C. Standard C wireless communication equipment proposals require special use approval. Accordingly, such proposals are subject to the procedures outlined for Standard B, except that in Step 4 the special use review must be complete not more than ninety (90) days after the application is considered complete. ACKNOWLEDGED & AGREED

C. Requirements.

All applications for wireless communication facilities that require special use approval shall be reviewed in accordance with the following standards and conditions. If approved, such facilities shall be constructed and maintained in accordance with such standards and conditions and any additional conditions imposed by the Planning Commission and Township Board.

1. Public Health and Safety. Facilities and/or support structures shall not be detrimental to the public health, safety and welfare. PROPOSED SITE WILL NOT BE HARMFUL. WILL PROVIDE CRITICAL
2. Harmony with Surroundings. To the extent feasible, facilities shall be designed to be harmonious with the surrounding areas. INFRASTRUCTURE FOR NEW TECHNOLOGY AND FIRST NET
PROPOSED SITE WILL BE IN COMMERCIAL ZONED DISTRICT
3. Compliance with Federal, State and Local Standards. Wireless communication facilities shall comply with applicable federal and state standards, including requirements promulgated by the Federal Aviation Administration (FAA), Federal Communication Commission (FCC), and Michigan Aeronautics Commission. Wireless communication support structures shall comply with all applicable building codes. PROPOSED FACILITY WILL COMPLY WITH ALL LOCAL STATE AND
FEDERAL REQUIREMENTS.
4. Maximum Height. Applicants shall demonstrate a justification for the proposed height of the structures and an evaluation of alternative designs which might result in lower heights. The maximum height of a new or modified support structure and antenna shall be the minimum height demonstrated to be necessary for reasonable communication by the applicant (and by other entities to collocate on the structure) but shall not exceed two hundred (200) feet. Higher towers may be permitted, however, if necessary, to achieve colocation. The buildings, cabinets, and other accessory structures shall not exceed twenty (20) feet in height.
PROPOSED MONOPOLE TOWER WILL BE 195' (199' WITH LIGHTNING ROD)
5. Minimum Setbacks. The setback of a new or modified support structure from any residential-zoned district or existing or proposed right-of-way or other publicly traveled road shall be no less than the total height of the structure and attachments thereto.
THE PROPOSED 195' (199' WITH LIGHTNING ROD) MEETS THE SETBACK REQUIREMENTS AS STATED ABOVE AND BELOW. PARCEL IS ADJACENT TO COMMERCIAL AND AGRICULTURAL EXCEPT TO NW WHERE TOWER IS 220' FROM RESIDENTIAL ZONED PARCEL.

Where the proposed new or modified support structure abuts a parcel of land zoned for a use other than residential, the support structure shall comply with the required setbacks for principal buildings specified in the Schedule of Regulations for the zoning district in which the facility is located.

Buildings and facilities accessory to the wireless communication facility (other than the support structure) shall be set back a minimum distance of fifty (50) feet from all property lines.

6. Access. Unobstructed permanent access to the support structure shall be provided for operation, maintenance, repair and inspection purposes, which may be provided through or over an easement. The permitted type of surfacing, dimensions and location of such access route shall be subject to approval by the Planning Commission, based on evaluation of the location of adjacent roads, layout of buildings and equipment on the site, utilities needed to service the facility, proximity to residential districts, disturbance to the natural landscape, and the type of vehicles and equipment that will visit the site. ACCESS WILL BE VIA AN EXTENSION OF EXISTING COMMERCIAL DRIVE
FACILITY WILL BE UNMANNED AND ONLY REQUIRE ACCESS APPROX. ONCE PER MONTH.
7. Division of Property. The division of property for the purpose of locating a wireless communication facility shall be permitted only if all zoning requirements, including lot size and lot width requirements are met. DIVISION IS NOT REQUESTED.
8. Equipment Enclosure. If an equipment enclosure is proposed as a building or ground-mounted structure, it shall comply the required setbacks and other requirements specified for principal buildings in the Schedule of Regulations for the zoning district in which the facility is located. If an equipment enclosure is proposed as a roof appliance on a building, it shall be designed, constructed and maintained to be architecturally compatible with the principal building.
PROPOSED GROUND EQUIPMENT WILL BE EXTERIOR CABINETS OF NEUTRAL COLOR
9. Design Objectives. The support structure and all accessory buildings shall be designed to minimize distraction, reduce visibility, maximize aesthetic appearance, and ensure compatibility with surroundings. Accordingly, support structures shall be grey or white and shall not have lights unless required otherwise by the Federal Aviation Administration (FAA). Only monopole towers are permitted; lattice towers and towers with guy wires are prohibited. Equipment buildings shall have a brick exterior. No signs or logos visible from off-site shall be permitted on a support structure.
ACKNOWLEDGED AND AGREED
10. Fencing. Wireless communication facilities shall be enclosed by an open weave, green or black vinyl-coated, chain link fence having a maximum height of six (6) feet. Barbed wire may be permitted. ACKNOWLEDGED AND AGREED
11. Structural Integrity. Wireless communication facilities and support structures shall be constructed and maintained in structurally sound condition, using the best available technology, to minimize any threat to public safety. ACKNOWLEDGED AND AGREED
12. Maintenance. A plan for the long term, continuous maintenance of the facility shall be submitted. The plan shall identify who will be responsible for maintenance and shall include a method of notifying the Township if maintenance responsibilities change. ACKNOWLEDGED AND AGREED
13. Proximity to Airports. Wireless communication facilities shall be subject to the approval of the Federal Aviation Administration (FAA) and Michigan Bureau of Aeronautics with respect to location, height, and lighting in relation to public airports, airstrips, and helipads.
ACKNOWLEDGED AND AGREED
14. Interference with Reception. Wireless communication facilities shall not interfere with television and radio reception in nearby areas. ACKNOWLEDGED AND AGREED

D. Removal of Unused or Obsolete Facilities.

1. A condition of every approval of a wireless communication facility shall be adequate provision for removal of all or part of the facility by users and owners upon the occurrence of one or more of the following events:
 - a. When the facility has not been used for one hundred eighty (180) days or more. For purposes of this section, the removal of antennas or other equipment from the facility, or the cessation of operations (transmission and/or reception of radio signals) shall be considered as the beginning of a period of no use.

ACKNOWLEDGED AND AGREED

- b. Six (6) months after new technology is available at reasonable cost, as determined by the Township Board, which permits the operation of the communication system without the requirement of the support structure. [ACKNOWLEDGED AND AGREED](#)
2. The situations in which removal of a facility is required, as set forth in paragraph (1) above, may be applied and limited to portions of a facility. [ACKNOWLEDGED AND AGREED](#)
3. Upon the occurrence of one or more of the events requiring removal, the property owner or persons who had used the facility shall immediately apply for any required demolition or removal permits, and immediately proceed with and complete the demolition, removal, and site restoration. [ACKNOWLEDGED AND AGREED](#)
4. If the required removal of a facility or a portion thereof has not been lawfully completed within sixty (60) days of the applicable deadline, and after at least thirty (30) days written notice, the Township may remove or secure the removal of the facility or required portions thereof, with its actual cost and reasonable administrative charge to be drawn or collected and/or enforced from or under the security posted at the time application was made for establishing the facility. [ACKNOWLEDGED AND AGREED](#)

E. Application Requirements.

1. Site Plan and Special Use Review. A site plan prepared in accordance with Section 14.2 shall be submitted, showing the location, size, screening and design of all buildings, outdoor equipment, and structures. Where the wireless communication facility is subject to special use approval the procedures and standards in Section 14.3 shall be followed. [SEE ATTACHED 14.3 RESPONSES](#)
2. Landscape Plan. A detailed landscaping plan shall be submitted illustrating the number, species, location, and size at the time of planting of all proposed trees and shrubs. The purpose of landscaping is to provide screening and aesthetic enhancement for the structure base, accessory buildings and enclosure. [PROPOSED FACILITY IS BEHIND COMMERCIAL BUILDING WITH EXISTING NATURAL SCREENING. WILL PROVIDE LANDSCAPING AT REQUEST OF BOARD IF DEEMED NECESSARY.](#)
3. Structural Specifications. Structural specifications for the support structure and foundation shall be submitted for review. The structural specifications shall state the number of various types of antennae capable of being supported on the structure. A soils report prepared by a geotechnical engineer licensed in the State of Michigan shall also be submitted confirming that the soils on the site will support the structure. Structural plans shall be subject to review and approval by the Township Engineer. [ACKNOWLEDGED AND AGREED](#)
4. Security. The application shall include a description of security to be posted immediately upon issuance of a building permit for the facility to ensure removal of the facility when it has been abandoned or is no longer needed, as previously noted. In this regard, the security shall, at the election of the applicant, be in the form of: (1) cash; (2) surety bond; (3) letter of credit; or, (4) an agreement in a form approved by the Township Attorney and recordable at the office of the Register of Deeds, establishing a promise of the applicant and owner of the property to remove the facility in a timely manner as required herein, with the further provision that the applicant and owner shall be responsible for the payment of any costs and attorney's fees incurred by the Township in securing removal. [ACKNOWLEDGED AND AGREED](#)
5. Contact Person. The application shall include the name, address and phone number of the person to contact for engineering, maintenance and other notice purposes. [PROVIDED](#)



April 17, 2022

Peter Gallinat
Zoning Administrator
Charter Township
2010 s. Lincoln
Mt. Pleasant, MI 48858

**Re: Parallel Infrastructure / AT&T Application for a Special Use Permit and Necessary Approvals
to Construct an Unmanned Multi-Carrier Wireless Communications Facility located at
5450 S. Mission Road, Mt. Pleasant, MI 48858 PARCEL # 14-034-20-005-00
Parallel Site # PIMI429**

Dear Commissioners,

Enclosed for consideration, please find the Parallel Infrastructure / AT&T application for a Special Use Permit and Minor Site Plan Review for the necessary approvals to construct a New 195' (199' with Lightning Rod) Monopole Tower with the latest AT&T antennas and a 60' x 60' Fenced Equipment Compound for the AT&T support equipment at the above referenced location per the attached plans. In support of the application, please find enclosed the following documentation:

- **Special Use Application**
- **Minor Site Plan Review Application**
- **Redacted Lease providing Authorization to Obtain Govt. Approvals**
- **Responses to Ordinances**
- **AT&T Affidavit**
- **AT&T Letter to SBA (Current Landlord)**
- **Propagation Maps (coverage before & after)**
- **Structural Summary's of Current Tower**
- **2-24"x36" & 8-11"x17" Copies of Construction Drawings including Site Plan and Survey**
- **15 - 11"x17" Copies of Site Plan**

Parallel would like to emphasize that their proposal to construct an additional tower in your jurisdiction is intended for the consideration of any and all wireless providers (carriers, wireless internet providers and E911) interested in improving service to your area. We have approached this project as thoughtfully as possible with an emphasis on blending the needs of the local citizenry with the need of our wireless clients. A clear requirement for additional antenna siting options spurred this request from the wireless providers.

Parallel is constructing this tower to allow their client (AT&T) flexibility, efficiency, and economy in providing upgrades and improving its service to all consumers. Parallel's client's business arrangement with their current infrastructure provider (SBA) does not include provisions for AT&T's future needs. Additionally, delays by the current infrastructure provider have adversely affected our client's wireless functionality and impacts both the carrier's customers and public safety users. **More importantly, the current tower is at or near structural capacity, with no room for expansion by current or future carriers without substantial modifications at the expense of the tenant.**

The search area request by Parallel's client asked for a site within 2300' of their existing facility that has become a Financial Hardship. No existing towers or structures that meet their requirements, other than the current tower, were found within that geographical area. The proposed tower will meet AT&T's requirements, and, per the attached Coverage Maps, **will provide increased seamless coverage between their other locations.**

Unfortunately, the current rent charged to co-locate upon the existing structure is multiple times the going market rate and is economically challenging to the wireless provider, who in turn must share these additional costs with the end user customers. Our proposal not only allows for better and more comprehensive mobile wireless service to your community, it also allows Parallel's tenants the ability to control and reduce costs, which are part of the basis of the costs charged their customers, the wireless users. **See attached AT&T Sworn Affidavit and Letter to current landlord (SBA) requesting a reduction in rent following their last costly renewal. SBA has repeatedly refused to negotiate on a national basis.**

This proposed Parallel tower will enhance AT&T's deployment of 5G and other next generation technology across the U.S., including FirstNet, public safety's dedicated, nationwide communications platform. The First Net program, which is a federally funded program for local, state & federal agencies First Responders, is designed to help all E911 agencies communicate and access data quickly to fulfill their duties.

For the record, AT&T has reluctantly worked with SBA when needed updates were required. This should not be interpreted as an agreeable arrangement, rather the dedication AT&T has to providing essential services to their customers and anyone that communicates with their customers, including first responders.

Upon review of the submittal package, please advise if the application package is considered complete for a Special Use and any other necessary approvals needed to construct this proposed facility.

We look forward to working with you and staff to help bring a state of the art, **affordable**, wireless communications facility to the residents and workforce in your area. It will immediately encourage co-location vs a current tower that clearly discourages co-location and new technology. Please do not hesitate to contact us if you have questions, concerns, or require additional information.

Sincerely,

Tony Phillips

Tony Phillips

Zoning & Permitting Manager

Fullerton Engineering for Parallel & AT&T

847-331-3659

tphillips@fullertonengineering.com



August 02, 2017

SBA Corporation
8051 Congress Avenue
Boca Raton, FL 33487-1310

Re: AT&T Cell Site Lease | FA: **10138403** | Site Name: Mount Pleasant/Mission Road

Dear SBA Corporation,

AT&T is in a very competitive space and we need to ensure that our lease terms and conditions are supportive of our current and future needs. AT&T has the option to either extend or terminate the above referenced lease ("Lease") in approximately three years. AT&T is instituting a new program to evaluate terms and conditions of all leases coming up for renewal, explore advance renegotiation options and consider possible alternative site locations. Our first choice is to create a new agreement that serves both parties well. Conditions we desire to implement in all new "go forward" leases include:

- "Real Estate Rights": In its simplest form, a lease right to utilize the entire RAD center without any "per touch" rent upcharges.
- Rents reduced to competitive rates.
- Reduced or no annual escalators (depending on other terms of the overall new deal).
- "Fair" early termination rights.

As you know, it takes time to negotiate, plan and execute a site relocation. That is why AT&T's review process is starting now. Please review the specifics of our Lease agreement and advise if you are willing to enter into discussions regarding a new, modified contract. For new terms consistent with the above, AT&T will in turn consider additional term extensions.

AT&T will appreciate a reply within 60 days of receipt of this letter. A "no" or non-response will trigger AT&T's review of alternate locations. A positive response will be appreciated, but satisfactory terms and conditions must be negotiated within 90 days or AT&T will continue to evaluate alternative site locations. Responses may be sent via email, standard mail, or called in as designated below. Please reference FA number **10138403** in your response so that AT&T may ensure your response is documented accordingly. AT&T values its association with you and looks forward to continuing this relationship for the long term.

Sincerely,

A handwritten signature in blue ink that reads "Gregory D. Ohmer".

Gregory D. Ohmer
Director – Network Planning

Email Responses to: g03998@att.com with a Subject line of **Partnership** - FA 10138403

Mail Responses to: AT&T Cell Site Partnership 1347 (FA 10138403)
1025 Lenox Park Blvd. NE, 3rd Floor
Atlanta, GA 30319
Attn: Kevin Diehl

Telephone Number: **888-517-1212** (8am to 5pm PDT)



DALLAS COUNTY)
) ss.
STATE OF TEXAS)

4. AT&T currently leases space on the SBA Tower, along with related ground space at the base of the SBA Tower, to locate its communications equipment (the **"Wireless Facilities"**). AT&T has located its Wireless Facilities on the SBA Tower since August 2005, but AT&T now desires to relocate its Wireless Facilities onto the Parallel Infrastructure Tower as the SBA Tower has become a high-cost antenna site structure for AT&T.

5. This sworn statement is made to attest that having its Wireless Facilities remain on the SBA Tower, which is the only existing communications support structure in AT&T's search ring, is economically burdensome for AT&T and would not result in the same cost-effective operation as compared to what AT&T could achieve if it relocated its Wireless Facilities to the Parallel Infrastructure Tower.

Co-Location on the SBA Tower is Economically Burdensome

6. AT&T maintains a co-location agreement with SBA for the SBA Tower. Under this agreement, SBA increases the rent, assesses other costs and poses other logistical issues when AT&T installs additional Wireless Facilities on the SBA Tower. AT&T anticipates future rent increases and costs from SBA if it remains co-located at the SBA Tower. Those rent increases and costs would result from, among other things, AT&T's equipment rights on the SBA Tower.

7. The current rent charged by SBA to co-locate on the SBA Tower is over one- & one-half times what Parallel Infrastructure will charge AT&T to co-locate on the Parallel Infrastructure Tower. Pursuant to the agreement between AT&T and Parallel Infrastructure, annual rent increases are less than the annual rent increases charged by SBA. At the current rate of rent increases, over the next twenty (20) years, the difference in rent paid by AT&T to remain on the SBA Tower versus relocating on the Parallel Infrastructure Tower is well over one & a half million dollars.

8. Since AT&T located on the SBA Tower in August 2005, rent and escalators have become more competitive in the tower marketplace. New tower companies have entered the marketplace since August 2005, which has also led to more competitive economic terms in tower lease agreements. Considering these competitive economic terms from other tower companies, AT&T has requested tower rent reductions from SBA. Unlike other tower companies, SBA has resisted an economically sustainable cost structure with its existing AT&T co-location leases, such that many of these leases have become economically burdensome for AT&T.

9. Decommissioning an existing Wireless Facility in favor of moving to an alternate tower location is something AT&T will only do in limited circumstances. AT&T will bear a significant capital cost in decommissioning its Wireless Facilities installation on the SBA Tower and relocating to the Parallel

Infrastructure Tower. Despite these relocation costs, the Parallel Infrastructure Tower remains a better co-location option for AT&T.

10. AT&T has made this determination because the current rents and other charges to co-locate on the SBA Tower have been categorized as high-cost as compared to other existing sites in AT&T's portfolio and the rents charged by other tower companies, such as Parallel Infrastructure.

11. AT&T has entered into nationwide development and master lease agreements with Parallel Infrastructure, which I am familiar with. Under these agreements, Parallel Infrastructure will construct at its own expense and own communications towers upon which AT&T will lease space to install its Wireless Facilities. AT&T does not bear any costs for the construction of a tower owned by Parallel Infrastructure.

12. Per these agreements and as is the case with the Parallel Infrastructure Tower, AT&T pays Parallel Infrastructure rent in return for 30,000 square inches of wind load surface area of loading and defined space on each tower and does not pay increased rent for additions to its Wireless Facilities provided said facilities remain within the predetermined space and loading limits. The agreed upon tower space and loading limits have taken into consideration the future additions and upgrades projected for AT&T's Wireless Facilities.

13. There are no other structures (other than the SBA Tower) located in AT&T's search ring capable of accommodating its Wireless Facilities.

14. The economic terms imposed upon AT&T by SBA to remain co-located on the SBA Tower are not cost-effective and are economically burdensome for AT&T especially when the nearby Parallel Infrastructure Tower presents a more competitive and flexible co-location option.

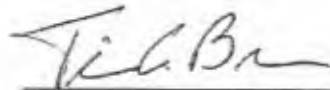
The Parallel Infrastructure Tower provides superior mobile service functionality.

15. Technological changes and market trends in the wireless communications industry require AT&T to continuously upgrade its Wireless Facilities. AT&T is also obligated to build out FirstNet, which is our country's first nationwide integrated data network for providers of emergency services.

AT&T's lease agreement for the SBA Tower does not include "set aside" capacity reserved for the future needs of AT&T's Wireless Facilities. Every time AT&T desires to improve the Wireless Facilities installed on the SBA Tower, it must apply to SBA which then triggers an application fee and a lengthy

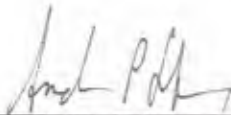
administrative review process, which typically includes a structural analysis of the tower and an amendment to the existing lease agreement. This administrative process may take several months and results in unnecessary time delay and additional costs in the deployment of the upgraded Wireless Facilities.

16. Conversely, AT&T's master tower lease agreement with Parallel Infrastructure allows AT&T to rent 30,000 square inches of tower space and loading on a Parallel Infrastructure Tower. This space and loading capacity is reserved exclusively for AT&T and will accommodate the needs for AT&T's Wireless Facilities well into the future. This arrangement benefits AT&T because it increases the speed of deploying Wireless Facilities and gives AT&T greater flexibility to upgrade technologies and respond to the ever-changing coverage and capacity demands of its wireless network. Provided it does not exceed the reserved space and capacity limits in the co-location agreement, AT&T is free to upgrade its Wireless Facilities on the Parallel Infrastructure Tower with little to no delay.



Tim Brenner

Subscribed and sworn to before me
this 21st day of March, 2022.



Notary Public State of Maryland
My Commission Expires 5/20/22



NARRATIVE

NEW MULTI-CARRIER WIRELESS TELECOM FACILITY

5450 S MISSION ROAD – PARCEL # 14-034-20-005-00

On August 2, 2017, AT&T sent a letter to their Landlord (SBA Corporation) announcing they would soon be evaluating the terms and conditions of leases coming up for renewal. (attached) Since that time, AT&T has been successful in negotiating terms nationally with the other major tower companies, including the two largest, American Tower and Crown Castle. These other tower owners realized there was competition in the market, and it made more sense to work with their tenants, versus fighting them.

SBA Corporation has taken a different stance. They have refused to establish a national lease agreement that would allow their tenants “Real Estate Rights” for upgrading equipment. Instead, every time their tenants want to upgrade equipment (3G/4G/etc.) the rent goes up, in addition to the escalations already in place. As you can imagine, with technology changing by the minute, this is not sustainable. To make matters worse, in many cases, the towers are so old, they require structural modifications paid for by the tenant if they want to add anything new.

Since SBA continues to refuse negotiations, AT&T has asked Parallel Infrastructure for help by researching, designing, and building alternative support structures within their existing coverage areas. In this case, AT&T RF engineers gave Parallel a search radius of 2300’. Parallel Infrastructure retained Fullerton Engineering Consultants, LLC and its vendor partners to research possible locations and provide the best candidates to AT&T for review. Per below (and attached) forty-two (42) parcels were in the search ring. They were evaluated by Zoning, Distance to Residential Structures, Size of Parcel, and Elevation of Parcel. The list was narrowed down to Eighteen (18) possibilities. The Township Owned property in the ring is surrounded by residential structures and was found to have an elevation much lower than the preferred parcels. Of those eighteen, only two property owners were interested, and a Lease was negotiated with Candidate B.



(Cont.)

NARRATIVE (Continued)

Per the attached Sworn Affidavit from AT&T, by relocating to a Parallel Infrastructure tower, the savings for AT&T is well over a million dollars after 20 years. Multiply this by hundreds of towers owned by SBA, its easy to understand why they would want to negotiate or relocate.

It's important to note, the proposed Parallel Tower would not just be for AT&T. It would immediately be ready for 2 additional carriers. Per the attached structural analysis summaries of the existing SBA tower, (Full Reports on File with Township) it can barely handle the load created with only AT&T on the tower. The tower and foundation were both at/near failing prior to AT&T's last upgrade in 2019. Some modifications were done to the foundation, but the tower remains at 102%. That means if AT&T wanted to add anything new, more modifications would be required. That also means the tower can't handle any additional carriers.

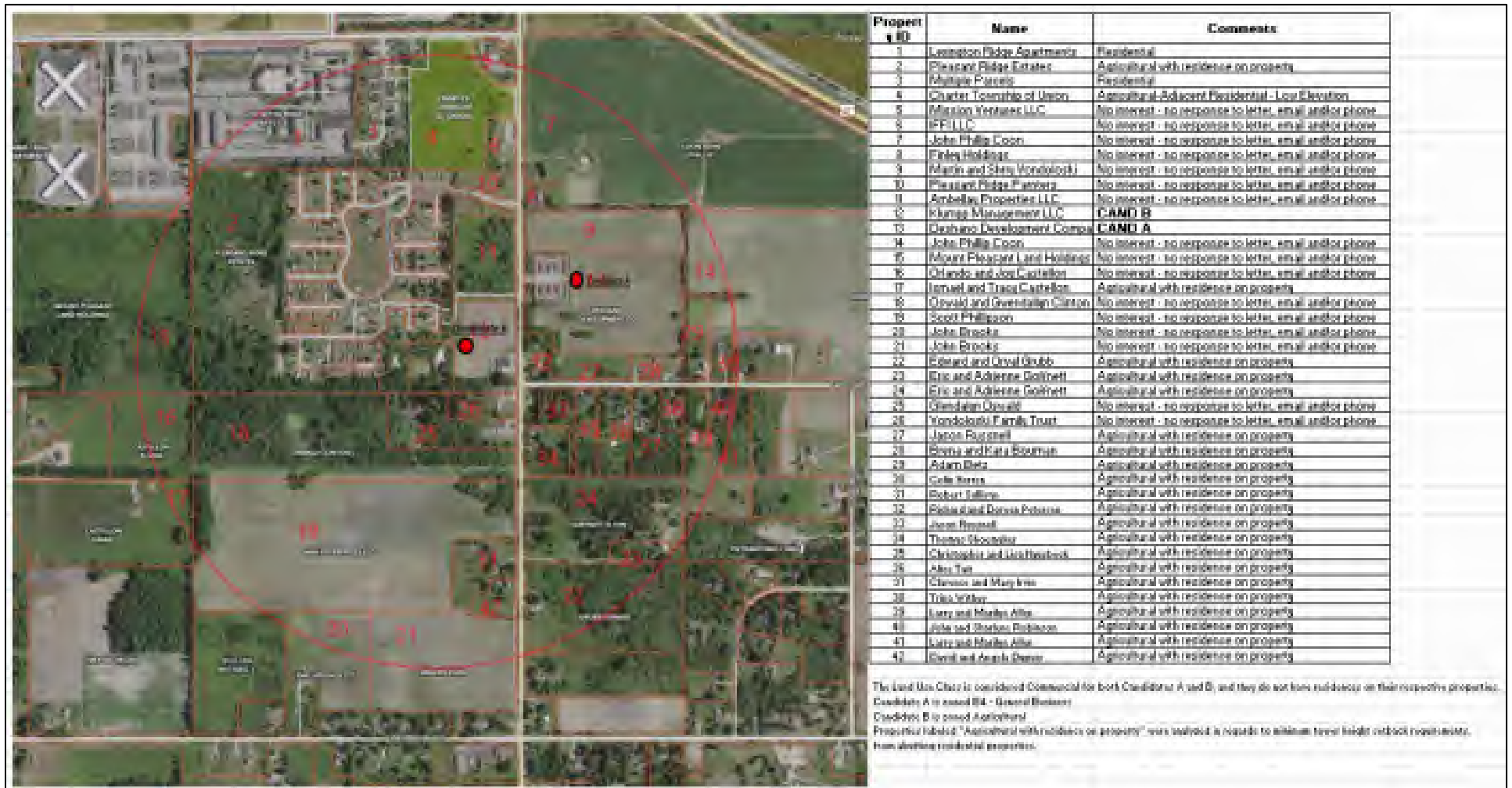
SBA will try to convince you a new tower isn't needed. They will do everything possible to prevent you from allowing competition. But having a tower that nobody wants to be on, that can only handle one carrier, is not the best thing for your community. You want an affordable tower that encourages co-location, not an overpriced tower that discourages new technology. There's a reason most SBA towers only have one carrier on them. The major wireless carriers only locate on SBA towers when forced to do so by local ordinances. They rely on the jurisdictions to help them enforce the monopoly inadvertently created by the ordinance. It's as if you have one apartment building in town, and the township said everyone has to live there. What do you think the landlord would charge for rent?

A tenant that is unhappy with their lease should have the right to look for an alternative support structure. Since AT&T wants to provide as good or better coverage, they are forced to stay within that 2300' search ring. No other structures, beside the existing site, met the requirements.

We understand there will be reluctance to approve another tower immediately adjacent to an existing tower. Per Section 5.5 D. of the Charter Township of Union Zoning Ordinance, Removal of Unused or Obsolete Facilities, the tower would need to be removed if unused for one hundred eighty (180) days.

We look forward to bringing an affordable support structure that will provide critical infrastructure for the residents, workforce, and First Responders of this area for many years to come.

DUE DILIGENCE – 2300' SEARCH RING



220' Modified Guyed Tower

5418 South Mission Rd. Rte 2
Mt. Pleasant, MI 48858

SBA Site Name: Mt. Pleasant 6, MI
SBA Site Number: MI13243-A

AT&T Site Name: ZOD_VZW PCS_MI_CMU
AT&T Site ID Number: TRAVMI5774
AT&T Site FA Number: 10138403
AT&T Application Number: 97074, v1

GPD Project Number: 2019778.13243.04

Analysis Results

Tower Components	102.8%	Sufficient
Foundation	118.3%	Insufficient
Net Change in Tower Stress Ratio	+ 16.2%	As compared to the Previous Structural Analysis detailed on Page 2

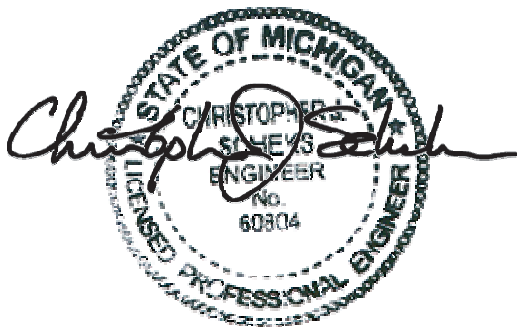
*Capacities up to 105.0% are within customary engineering tolerances and are considered acceptable

AT&T Mount Reinforcement

Net Change in Tower Stress Ratio due to Mount Reinforcement	- 6.8%	See page 7 for additional details
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February 5, 2019

Respectfully submitted by:



Christopher J. Scheks

2/5/2019

Christopher J. Scheks, P.E.
Michigan #: 6201060804

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APPENDICES

1. TNXTOWER OUTPUT
2. ADDITIONAL CALCULATIONS

Executive Summary

The purpose of this analysis is to verify whether the modified guyed tower is structurally capable of carrying the proposed antenna and coax loads as specified by AT&T to SBA. This report was commissioned by Ms. Lillian Strom of SBA.

The modified structure and its foundations have been analyzed per the following requirements:

Governing Codes	TIA-222-G, 2015 IBC & ASCE7-10
Wind Speed*	89 MPH Nominal 3-Second Gust
Wind Speed w/ Ice	40 MPH 3-Second Gust
Radial Ice Thickness	3/4"
Risk Category	II
Exposure Category	C
Topographic Category	1

This analysis has been performed in accordance with the 2015 Michigan Building Code and the 2015 International Building Code based upon an ultimate 3-second gust wind speed of 115 mpg converted to a nominal 3-second gust wind speed of 89 mph per section 1609.3.1 as required for use in the TIA-222-G Standard per Exception #5 of Section 1609.1.1. Exposure Category C and Risk Category II were used in this analysis.

Conclusions & Recommendations

Below grade, we recommend adding a collar around the existing tower base foundation. All modifications are outside the scope of this report and will need to be engineered.

However, the above grade design of the tower is sufficient for the proposed loading in accordance with the above loading criteria and will not require modification.

Our estimate of the probable construction cost is between \$30,000 & \$50,000.

220' Modified Guyed Tower

5418 South Mission Rd. Rte 2
Mt. Pleasant, MI 48858

SBA Site Name: Mt. Pleasant 6, MI
SBA Site Number: MI13243-A

AT&T Site Name: ZOD_VZW PCS_MI_CMU
AT&T Site ID Number: TRAVMI5774
AT&T Site FA Number: 10138403
AT&T Application Number: 97074, v1

GPD Project Number: 2019778.13243.05

Analysis Results

Tower Components	102.8%	Sufficient
Foundation	68.8%	Sufficient
Net Change in Tower Stress Ratio	-15.5%	As compared to the Previous Structural Analysis detailed on Page 2

*Capacities up to 105.0% are within customary engineering tolerances and are considered acceptable

May 2, 2019

Respectfully submitted by:



Christopher J. Scheks, P.E.
Michigan #: 6201060804

5/2/2019

Christopher J. Scheks, P.E.
Michigan #: 6201060804

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APPENDICES

1. TNXTOWER OUTPUT
2. ADDITIONAL CALCULATIONS
3. MODIFICATION DRAWINGS

Executive Summary

The purpose of this analysis is to verify whether the modified guyed tower is structurally capable of carrying the proposed antenna and coax loads as specified by AT&T to SBA. This report was commissioned by Ms. Lillian Strom of SBA.

Modifications by GPD Project #: 2019778.13243.05, dated 5/02/2019, have been considered in this analysis.

The modified structure and its foundations have been analyzed per the following requirements:

Governing Codes	TIA-222-G, 2015 IBC & ASCE7-10
Wind Speed*	89 MPH Nominal 3-Second Gust
Wind Speed w/ Ice	40 MPH 3-Second Gust
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Conclusions & Recommendations

Therefore, based on our analysis, the design for the existing structure is structurally satisfactory for the proposed loading configuration once the aforementioned modifications have been properly installed.

Pre-Mod Installation Verification

The structure was evaluated and found to be adequate considering the installation of the proposed loading prior to the installation of the required modifications.

The review was completed in accordance with the guidelines outlined in the TIA-322 and TIA-222-G standards using a 72 mph 3-second gust wind speed for a construction period not to exceed 6 months from the date the proposed loading is installed. Proceeding with the installation of the proposed loading without modifications is at the discretion of SBA as it is possible for the tower to experience a wind event greater than that as stated in the TIA-322 guidelines within the allotted construction period. SBA holds sole liability to approve proceeding with installing the proposed equipment and understands the damage risk associated should a wind event occur within the construction period. GPD Group should be notified immediately to complete an additional review should the structural modification(s) not be completed within the approved construction period.

Therefore, the installation of the proposed loading prior to the completion of the required modifications is approved for a timeframe not to exceed 6 months from the date the proposed loading is installed.

AT&T Zoning Maps for OML06772(relo for OML05774)

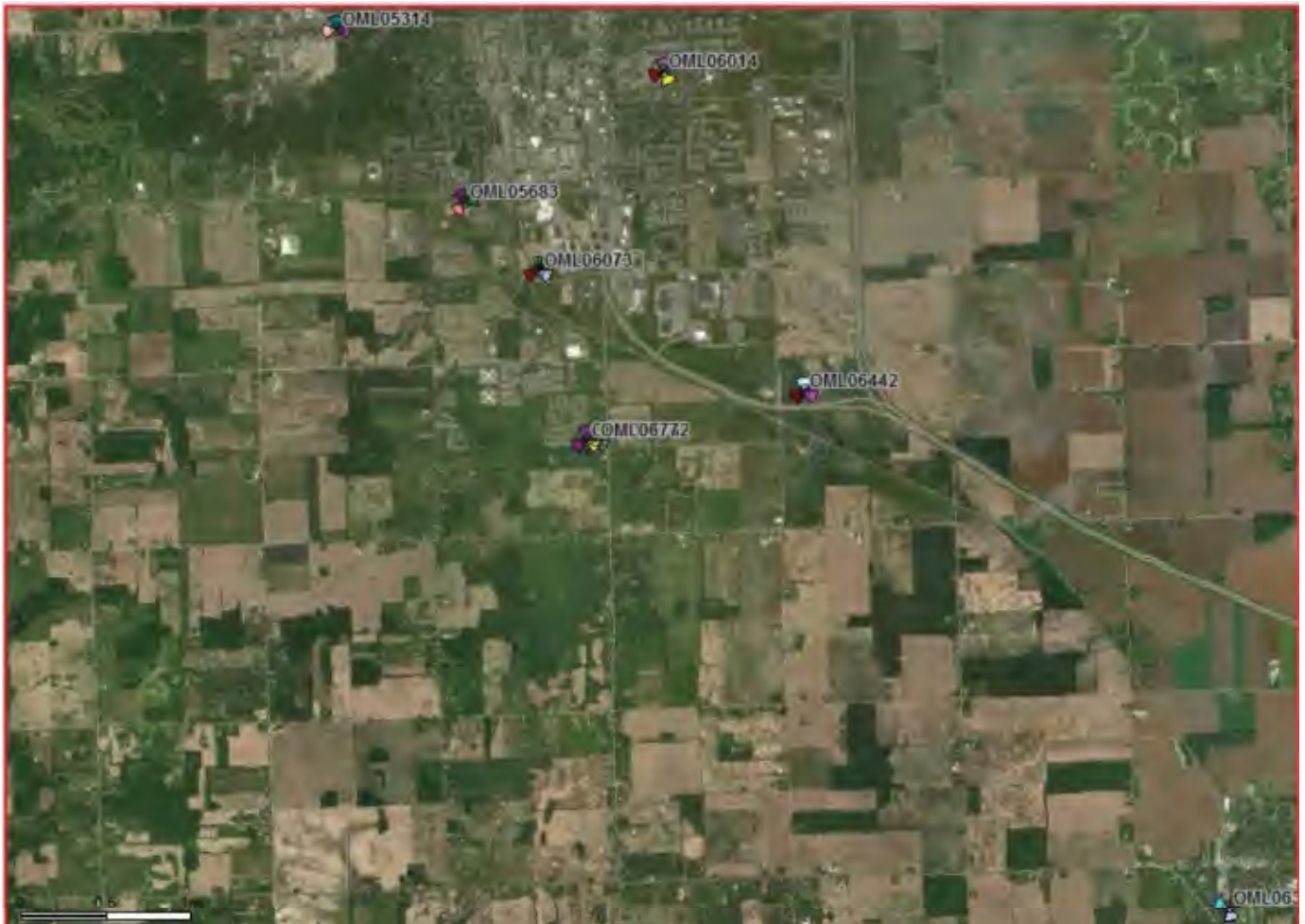


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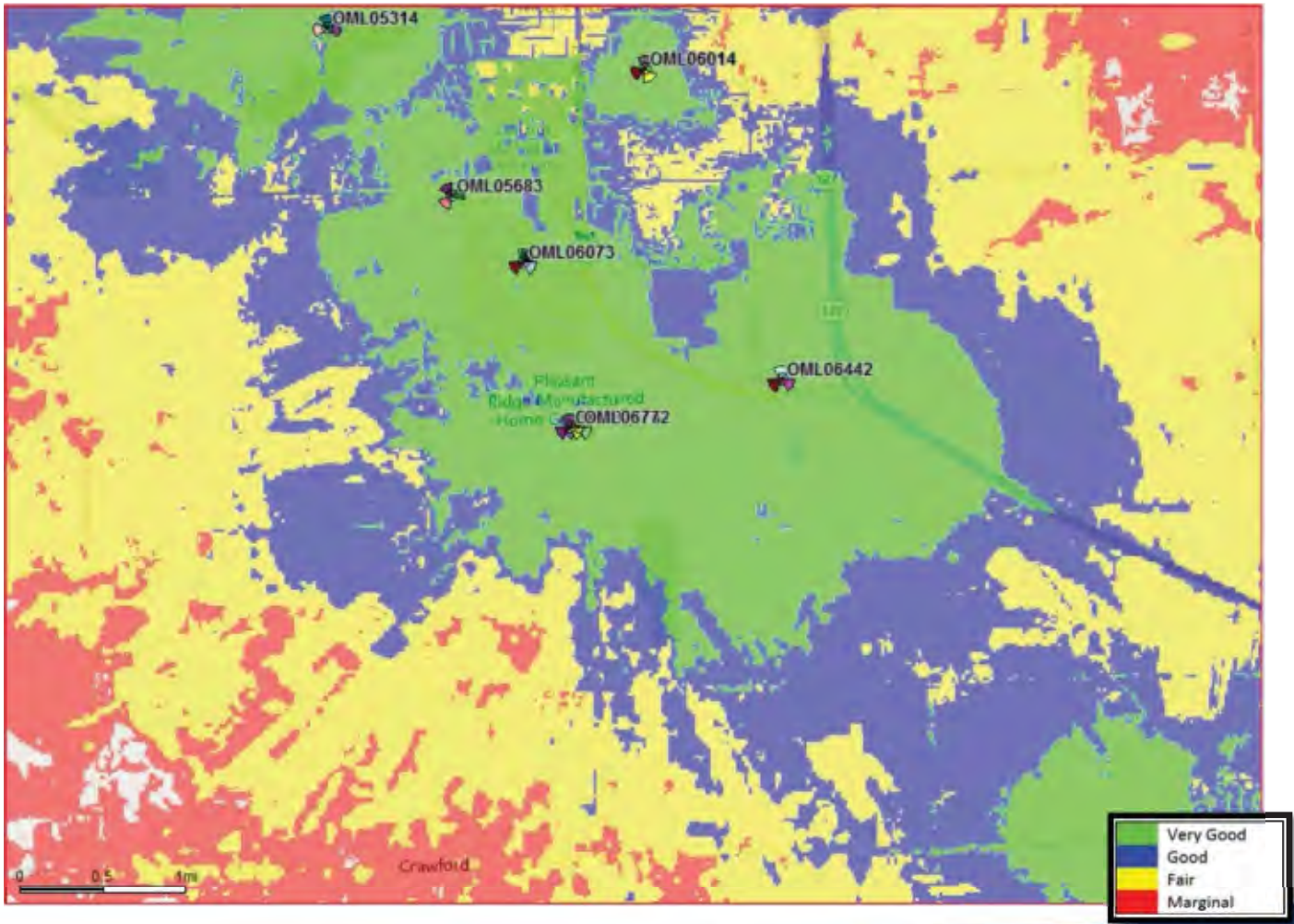
Surrounding sites and clutter



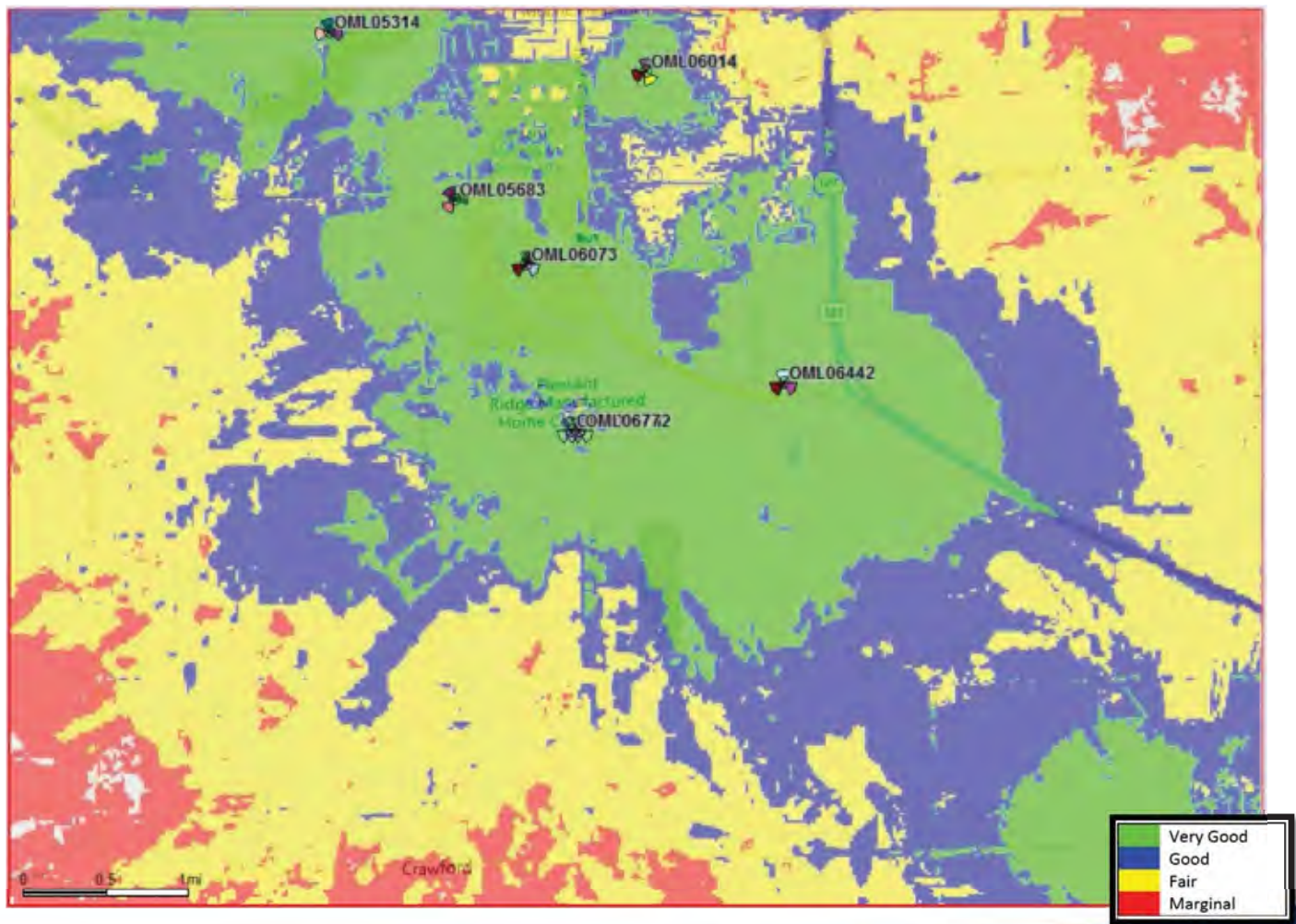
Aerial View of Surrounding sites and clutter



AT&T In door LTE Existing Coverage



AT&T In door LTE Coverage with OML06772 Relo Active



Comments:

Proposed location improved wireless coverage all around this area especially to the southwest, this will not only benefit the residents of this area, but also provide reliable wireless communications to many private and public service organizations. Even those residents of your community who are not direct subscribers to AT&T will benefit when law enforcement, emergency services, courier and delivery companies, and others call your residents using AT&T's network.



WIRELESS COMMUNICATION FACILITY SPECIAL USE PERMIT AND PRELIMINARY SITE PLAN REPORT

TO:	Planning Commission	DATE:	May 8, 2022
FROM:	Rodney C. Nanney, AICP Community and Economic Development Director	ZONING:	B-4, General Business
PROJECT:	PSUP 22-03 Special Use Permit Application and PSPR22-07 Preliminary Site Plan Application from Fullerton Engineering with Parallel/AT&T for a new wireless communications facility (cell tower).		
PARCEL(S):	PID 14-034-20-005-00		
OWNER(S):	Klumpp Management LLC		
LOCATION:	Approximately 7.58 acres of land at 5450 S. Mission Road in the NE 1/4 of Section 34 and in the B-4 (General Business) zoning district.		
EXISTING USE:	Existing commercial building, farmland	ADJACENT ZONING:	AG, B-4, R-4
FUTURE LAND USE DESIGNATION:	<i>Neighborhood Service:</i> Located primarily along corridors adjoining lower intensity land uses, the intent of this district is to limit future retail and focus on small-scale personal service and office uses. This district accommodates shallow lots, providing a good buffer and transition to residential uses and limiting heavy commercial and general retail uses so they can be focused on other areas of the township. Rear yards adjoining residential areas should be well-screened to limit impacts of higher intensity uses. These areas should be accessible and comfortable for the pedestrian and should create a sense of place along the roadway.		
ACTIONS REQUESTED:	To review the PSUP 22-03 Special Use Permit Application and the PSPR22-07 Preliminary Site Plan Application from Fullerton Engineering with Parallel/AT&T for a new wireless communications facility located on 7.58 acres of land at 5450 S. Mission Road (PID 14-034-20-005-00) in the NE 1/4 of Section 34 and in the B-4 (General Business) zoning district.		

Background Information

These applications are for development of a new cell tower at a location approximately 285 feet east of an existing cell tower on the adjacent parcel to the west (5420 E. Mission Rd.; PID 14-034-20-006-00) owned by SBA Infrastructure LLC. As noted in the application, AT&T intends to establish a new cellular telephone and data antennae cluster on the proposed tower, which would replace and cause the removal of an older AT&T antennae cluster and associated ground equipment from the existing tower site.

The applicant has provided extensive documentation intended to demonstrate the necessity of the new tower and AT&T antennae relocation, including a Sworn Statement of Tim Brenner in Support of New Tower Construction (3/21/2022), a letter from AT&T to SBA Corporation

(8/2/2017) with an undated Narrative statement, and existing and proposed AT&T coverage maps. A Structural Analysis Report has also been provided for the existing tower showing the need for \$30,000 - \$50,000 in necessary modifications for the existing tower to be structurally capable of carrying the load of the proposed antennae cluster.

Special Use Permit Review Comments

Special use permit applications are subject to Planning Commission review and action, following a public hearing. However, special use permit applications for new wireless communications facilities (cell towers) are not subject to the general standards for special use permit approval found in Section 14.03J. of the Zoning Ordinance. Instead, the standards for approval of a new tower can be found in Section 5.5 (Wireless Communications Facilities).

The Planning Commission's decision should include affirmative findings of fact to support a conclusion that the proposed special use conforms to the standards of Section 5.5.C. (Requirements). Each of the 14 standards from this subsection are listed in the following table in bold printed text. Staff review comments follow under each standard:

Section 5.5.C. (Requirements)		Status
1	<p><u>Public Health and Safety.</u> Facilities and/or support structures shall not be detrimental to the public health, safety and welfare.</p> <p>The applicant acknowledged this standard, but failed to include any documentation on the site plan of the tower's anticipated fall zone. This is necessary to verify that, in the event of a catastrophic failure, the collapsed tower would be contained within the lot boundaries and would not affect the existing building on the lot. No other public health, safety or welfare impacts are anticipated from this project. <i>This deficiency can be addressed on an updated final site plan.</i></p>	Can Conform
2	<p><u>Harmony with Surroundings.</u> To the extent feasible, facilities shall be designed to be harmonious with the surrounding areas.</p> <p>If the Planning Commission determines that additional equipment enclosure screening is necessary for consistency with this standard, <i>staff recommends that an opaque metal privacy fence design without barbed-wire be required for the site in place of the proposed fence depicted on sheet C-6.</i> No additional landscaping is recommended, because this site is in an AG District and in the midst of a cultivated farmfield. Trees used for screening purposes would likely be harmed by common agricultural chemicals or denuded by the local deer population. <i>Fence changes can be addressed on an updated final site plan.</i></p>	Can Conform
3	<p><u>Compliance with Federal, State and Local Standards.</u> Wireless communication facilities shall comply with applicable federal and state standards, including requirements promulgated by the Federal Aviation Administration (FAA), Federal Communication Commission (FCC), and Michigan Aeronautics Commission. Wireless communication support structures shall comply with all applicable building codes.</p> <p>The applicant included a note in the application materials to confirm that the <i>"proposed facility will comply"</i> with all local, state, and federal requirements.</p>	Conforms

Section 5.5.C. (Requirements)		Status
4	<p>Maximum Height. Applicants shall demonstrate a justification for the proposed height of the structures and an evaluation of alternative designs which might result in lower heights. The maximum height of a new or modified support structure and antenna shall be the minimum height demonstrated to be necessary for reasonable communication by the applicant (and by other entities to collocate on the structure) but shall not exceed two hundred (200) feet. Higher towers may be permitted, however, if necessary, to achieve colocation. The buildings, cabinets, and other accessory structures shall not exceed twenty (20) feet in height.</p> <p>The proposed tower height is fully consistent with this standard.</p>	Conforms
5	<p>Minimum Setbacks. The setback of a new or modified support structure from any residential-zoned district or existing or proposed right-of-way or other publicly traveled road shall be no less than the total height of the structure and attachments thereto. Where the proposed new or modified support structure abuts a parcel of land zoned for a use other than residential, the support structure shall comply with the required setbacks for principal buildings specified in the Schedule of Regulations for the zoning district in which the facility is located. Buildings and facilities accessory to the wireless communication facility (other than the support structure) shall be set back a minimum distance of fifty (50) feet from all property lines.</p> <p>The applicant acknowledged this standard but the zoning classifications of the subject lot and surrounding lots are missing from the site plan. The proposed setback dimensions to the nearest (west and south) lot boundaries and to the nearest residential-zoned district are also missing from the site plan. As scaled by staff from the site plan, it appears possible for the proposed location to conform to this standard. <i>These deficiencies can be addressed on an updated final site plan.</i></p>	Can Conform
6	<p>Access. Unobstructed permanent access to the support structure shall be provided for operation, maintenance, repair and inspection purposes, which may be provided through or over an easement. The permitted type of surfacing, dimensions and location of such access route shall be subject to approval by the Planning Commission, based on evaluation of the location of adjacent roads, layout of buildings and equipment on the site, utilities needed to service the facility, proximity to residential districts, disturbance to the natural landscape, and the type of vehicles and equipment that will visit the site.</p> <p>The applicant has proposed to use an existing access from S. Mission Rd. and a new 12.0-foot wide gravel driveway to serve the tower site. Staff would have no objection to a Planning Commission determination that this access route is adequate to service the facility.</p>	Conforms
7	<p>Division of Property. The division of property for the purpose of locating a wireless communication facility shall be permitted only if all zoning requirements, including lot size and lot width requirements are met.</p> <p>No land division is proposed or required for this project.</p>	Conforms

Section 5.5.C. (Requirements)		Status
8	<p>Equipment Enclosure. If an equipment enclosure is proposed as a building or ground-mounted structure, it shall comply the required setbacks and other requirements specified for principal buildings in the Schedule of Regulations for the zoning district in which the facility is located. If an equipment enclosure is proposed as a roof appliance on a building, it shall be designed, constructed and maintained to be architecturally compatible with the principal building.</p> <p>The proposed equipment enclosure is fully consistent with this standard.</p>	Conforms
9 (a)	<p>Design Objectives. The support structure and all accessory buildings shall be designed to minimize distraction, reduce visibility, maximize aesthetic appearance, and ensure compatibility with surroundings. Accordingly, support structures shall be grey or white and shall not have lights unless required otherwise by the Federal Aviation Administration (FAA). Only monopole towers are permitted; lattice towers and towers with guy wires are prohibited. ...</p> <p>The applicant acknowledged this standard but the monopole tower design details on sheet C-6 of the site plan are missing any reference to the color of the tower. In addition, a note needs to be added to confirm that no tower lighting is required or proposed. <i>These deficiencies can be addressed on an updated final site plan.</i></p>	Can Conform
9 (b)	<p>Design Objectives. ... Equipment buildings shall have a brick exterior. ...</p> <p>In addition to the tower, two (2) structural installations are proposed within the equipment enclosure area:</p> <ol style="list-style-type: none"> 1. Generator structure: A perspective sketch of an unroofed platform of unknown height for above-the-ground installation of a 30kV diesel generator is also included on sheet C-4, <i>but the corresponding elevation drawing with dimensions is missing from sheet E-3.</i> 2. Equipment Building: A perspective sketch of a 6.0-foot high roofed platform for above-the-ground installation of a "WUC" equipment cabinet is included on sheet C-4, along with the corresponding elevation drawing with dimensions on sheet E-3. This installation meets the Zoning Ordinance definition for a "building," and so is subject to the "equipment building" standards of this Section 5.5.C.9. for a "brick exterior." <p><i>These deficiencies can be addressed on an updated final site plan.</i></p>	Can Conform
9 (c)	<p>Design Objectives. ... No signs or logos visible from off-site shall be permitted on a support structure.</p> <p>The applicant acknowledged this standard, and no signs or logos are depicted on the elevation drawing of the proposed tower (sheet C-3).</p>	Conforms
10	<p>Fencing. Wireless communication facilities shall be enclosed by an open weave, green or black vinyl-coated, chain link fence having a maximum height of six (6) feet. Barbed wire may be permitted.</p> <p>The applicant acknowledged this standard but the fence details on sheet C-6 of the site plan reference a "2"x2" wire mesh fabric" fence rather than the required "green or black vinyl coated chain-link fence." <i>This deficiency can be addressed on an updated final site plan.</i></p>	Can Conform

Section 5.5.C. (Requirements)		Status
11	<p>Structural Integrity. Wireless communication facilities and support structures shall be constructed and maintained in structurally sound condition, using the best available technology, to minimize any threat to public safety.</p> <p>The applicant included a note in the application materials to confirm that the “<i>proposed facility will comply</i>” with all local, state, and federal requirements, which would include the Michigan Building Code.</p>	Conforms
12	<p>Maintenance. A plan for the long term, continuous maintenance of the facility shall be submitted. The plan shall identify who will be responsible for maintenance and shall include a method of notifying the Township if maintenance responsibilities change.</p> <p>The applicant acknowledged this standard but failed to include the required plan. <i>This deficiency can be addressed on an updated final site plan.</i></p>	Can Conform
13	<p>Proximity to Airports. Wireless communication facilities shall be subject to the approval of the Federal Aviation Administration (FAA) and Michigan Bureau of Aeronautics with respect to location, height, and lighting in relation to public airports, airstrips, and helipads.</p> <p>The proposed 195-foot tower height (plus 4-foot high lightning rod) fully conforms to federal and state aviation related standards. The nearest airport is approximately four (4) miles away to the north-northeast.</p>	Conforms
14	<p>Interference with Reception. Wireless communication facilities shall not interfere with television and radio reception in nearby areas.</p> <p>The proposed tower will not interfere with television or radio reception. The antennae operators are required to conform to federal requirements related to use of the electromagnetic spectrum to minimize interference.</p>	Conforms

Limited Timeline for Special Use Permit Action

Township regulatory authority for cell towers and similar types of wireless communication facilities has been partially pre-empted by federal telecommunication laws and corresponding provisions of the Michigan Zoning Enabling Act (Public Act 110 of 2006, as amended). in accordance with Section 5.5.B. (Approval Process), the Planning Commission is required to take action on the special use permit application by no later than July 26, 2022, which is 90 calendar days from the date staff took action to schedule the public hearing.

If the Commission fails to act within the timeframe, then Section 514(6) of the state Act requires that the special use permit is automatically “*considered approved and the [Commission] shall be considered to have made any determination required for approval.*”

Preliminary Site Plan Review Comments

Township regulation of new cell towers is predominantly governed by the requirements of Section 5.5 (Wireless Communications Facilities of the Zoning Ordinance, resulting in substantial

overlap between the special use permit standards and applicable site plan requirements. With the exception of the missing items of information noted elsewhere in this report, the site plan dated 2/24/2022 substantially conforms to the informational requirements of the Zoning Ordinance that apply to a preliminary site plan for a wireless communications facility, including Section 5.5.E. (Application Requirements) and Section 14.2.P (Required Site Plan Information).

The following details will need to be addressed by the applicant as part of the final site plan approval application for this project:

1. **Section 5.5.E.2, Landscape Plan.** A detailed landscape plan will only be required if the Planning Commission determines that landscape plantings are necessary *“to provide screening and aesthetic enhancement for the structure base, accessory buildings and enclosure”* in order for this project to be considered *“harmonious”* with its surroundings.
2. **Section 5.5.E.3, Structural Specifications.** The applicant acknowledged this standard but did not provide the required documentation. *This documentation must be provided for review as part of the application for final site plan approval.*
3. **Section 5.5.E.4, Security.** The applicant acknowledged this standard but did not provide the required documentation. *This documentation must be provided for review as part of the application for final site plan approval.*

Objectives

Following the hearing, the Planning Commission shall review the application materials, together with any reports and recommendations, and any public comments. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve, approve with conditions, or deny the special use permit application; or to postpone further consideration of the application to a date certain in accordance with the provisions of Section 14.3.F.4.

If the special use permit is approved, then a separate motion to approve, approve with conditions, or deny the associated preliminary site plan application would be in order.

Key Findings

1. The special use permit and preliminary site plan applications are missing a number of items of information required per Section 5.5 of the Zoning Ordinance, but were determined by staff to be sufficiently complete for purposes of a public hearing and Planning Commission review and action.
2. The proposed tower can conform to applicable Zoning Ordinance standards.
3. The information deficiencies and additional required documentation can be addressed by the applicant as part of the application for final site plan approval.
4. In accordance with Section 5.5.B. (Approval Process), the Planning Commission is required to take action on the special use permit application by no later than July 26, 2022.

Special Use Permit Recommendations

Based on the above findings, I would ask that the Planning Commission consider taking action to approve the PSUP 22-03 Special Use Permit Application for a new wireless communications facility at 5450 S. Mission Road (PID 14-034-20-005-00) in the NE 1/4 of Section 34 and in the B-4 (General Business) zoning district, subject to the following conditions:

1. Preliminary and final site plan review and approval by the Planning Commission.
2. Add the proposed tower's anticipated fall zone in the event of a catastrophic failure to the final site plan.
3. Replace the proposed wire mesh fabric fence depicted on sheet C-6 with
 - a. the green or black vinyl coated chain-link fence required per Section 5.5.E.10, with barbed-wire. [OR]
 - b. an opaque metal privacy fence design without barbed-wire for harmony with surroundings and to provide adequate screening of the equipment enclosure.
4. Update the roofed platform for the equipment cabinet on the final site plan to conform to the brick exterior equipment building standards of Section 5.5.C.9.

Preliminary Site Plan Recommendations

If the special use permit is approved for this project, I would ask that the Planning Commission consider taking action to approve the PSPR22-07 Preliminary Site Plan dated 2/24/2022 for a new wireless communications facility at 5450 S. Mission Road (PID 14-034-20-005-00) in the NE 1/4 of Section 34 and in the B-4 (General Business) zoning district, subject to the following conditions:

1. Add the existing zoning classifications for the subject parcel and surrounding parcels to the updated Survey sheets for the final site plan.
2. Add the setback dimensions from the proposed tower to the west and south lot boundaries and to the nearest residential-zoned district to sheet C-1 for the final site plan.
3. Add the proposed tower color and a note confirming that no tower lighting is required or proposed to sheet C-3 for the final site plan.
4. Add an elevation detail with dimensions for the unroofed generator structure to the final site plan.
5. Provide the documentation required by Sections 5.5.E.3 (Structural Specifications) and 5.5.E.4 (Security) for review as part of the final site plan application.

Please contact me at (989) 772-4600 ext. 232, or via email at rnanney@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Rodney C. Nanney, AICP

Community and Economic Development Director

**Draft Motions: PSUP 22-03 Special Use Permit Application for a new
wireless communications facility at 5450 S. Mission Road**

MOTION TO APPROVE THE SPECIAL USE PERMIT:

Motion by _____, supported by _____, to approve the PSUP 22-03 Special Use Permit Application for a new wireless communications facility at 5450 S. Mission Road (PID 14-034-20-005-00) in the northeast quarter of Section 34 and in the B-4 (General Business) zoning district, finding that it fully complies with the standards for special use approval of a wireless communications facility found in Section 5.5 of the Zoning Ordinance.

MOTION TO APPROVE THE SPECIAL USE PERMIT WITH CONDITIONS:

Motion by _____, supported by _____, to approve the PSUP 22-03 Special Use Permit Application for a new wireless communications facility at 5450 S. Mission Road (PID 14-034-20-005-00) in the northeast quarter of Section 34 and in the B-4 (General Business) zoning district, finding that it can comply with the standards for special use approval of a wireless communications facility found in Section 5.5 of the Zoning Ordinance, subject to the following conditions:

1. Preliminary and final site plan review and approval by the Planning Commission.
 2. Add the proposed tower's anticipated fall zone in the event of a catastrophic failure to the final site plan.
 3. Replace the proposed wire mesh fabric fence depicted on sheet C-6 with
 - a. the green or black vinyl coated chain-link fence required per Section 5.5.E.10, with barbed-wire. [OR]
 - b. an opaque metal privacy fence design without barbed-wire for harmony with surroundings and to provide adequate screening of the equipment enclosure.
 4. Update the roofed platform for the equipment cabinet on the final site plan to conform to the brick exterior equipment building standards of Section 5.5.C.9.
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MOTION TO POSTPONE ACTION ON THE SPECIAL USE PERMIT:

Motion by _____, supported by _____, to postpone action on the PSUP 22-03 Special Use Permit Application for a new wireless communications facility at 5450 S. Mission Road until _____, 2022 for the following reasons:

Charter Township of Union

APPLICATION FOR SITE PLAN REVIEW

☒ Minor Site Plan☐ Preliminary Site Plan☐ Final Site Plan

A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project	PARALLEL / AT&T PIMI429		
Common Description of Property & Address (if issued)	5450 S MISSION ROAD, MT. PLEASANT, MI 48858		
Applicant's Name(s)	TONY PHILLIPS-FULLERTON ENGINEERING FOR PARALLEL / AT&T		
Phone/Fax numbers	847-331-3659	Email	tphillips@fullertonengineering.com
Address	1100 E. WOODFIELD RD. SUITE 500	City:	SCHAUMBURG, IL Zip: 60173

Legal Description:	<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s):	14-034-20-005-00	
Existing Zoning:	B-4	Land Acreage:	7.52	Existing Use(s):	COMMERCIAL BLDG / FARM
<input checked="" type="checkbox"/>	ATTACHED: Letter describing the project and how it conforms to Section 14.2.S. (Standards for Site Plan Approval)				

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: FULLERTON ENGINEERING Phone: 847-908-8400 Email: dzrnic@fullertonengineering.com
	2. Address: 1100 E WOODFIELD RD. SUITE 500 City: SCHAUMBURG State: IL Zip: 60173 Contact Person: DALIBOR ZRNIC Phone 847-908-8400
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: KLUMP MANAGEMENT, LLC Phone: 989-621-3577
	Address: 1955 E WALTON ROAD City: SHEPHARD State: MI Zip: 48883
	Signature: SEE ATTACHED LEASE Interest in Property: OWNER
	2. Name: Phone: Address: City: State: Zip: Signature: Interest in Property:

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.

Tony Phillips

Digitally signed by Tony Phillips
DN: cn=Tony Phillips, o=Fullerton Engineering,
ou=Zoning & Permitting,
email=tphillips@fullertonengineering.com, c=US
Date: 2022.04.18 00:13:20 -05'00'

4/17/22

Signature of Applicant

Date

Office Use Only

Application Received By: _____ Fee Paid: \$ _____

Date Received: _____ Escrow Deposit Paid: \$ _____

Preliminary Site Plan Review Procedure

Each preliminary site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Preliminary Site Plan Approval

Approval of a preliminary site plan by the Planning Commission shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas in accordance with the standards for preliminary site plan approval specified in subsection 14.2(S). The Planning Commission may, at its discretion and with appropriate conditions attached, authorize limited work to begin for soils exploration, incidental site clearing, and other preliminary site work as specified in the authorization.

Outside Agency Approvals

The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval.

Final Site Plan Review Procedure

Each final site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Final Site Plan Approval

Approval of a final site plan by the Planning Commission constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met.

Minor Site Plan Review Procedure

A minor site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee, and two (2) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and site plans, at a maximum sheet size of 11 inches by 17 inches, at the Township Hall. The Zoning Administrator shall review the application materials and site plan for completeness, accuracy, and compliance with all applicable requirements and standards of this Ordinance and other Township ordinances.

The minor site plan shall be approved by the Zoning Administrator upon determination that all required information for the type of site plan has been provided per subsection 14.2(P), the site plan satisfies the applicable standards for site plan approval per subsection 14.2(S); and the site plan conforms to all other applicable requirements and standards of this Ordinance and other Township ordinances.

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: AT&T MOBILITY

Name of business owner(s): ANNETTE FULLERTON - PROGRAM MANAGER

Street and mailing address: 308 S. AKARD ST. 19TH FLOOR CUBE 1930.02
DALLAS, TX 75202

Telephone: _____

Fax: 925-549-4281

Email: av8320@att.com

I affirm that the information submitted is accurate.

Owner(s) signature and date: Tony Phillips Digitally signed by Tony Phillips
DN: cn=Tony Phillips, o=Fullerton
Engineering, ou=Zoning & Permitting,
email=tphillips@fullertonengineering.com,
c=US
Date: 2022.04.18 00:13:52 -05'00' 4/17/22

TONY PHILLIPS - AUTHORIZED REPRESENTATIVE

Information compiled by: _____

FULLERTON ENGINEERING CONSULTANTS, LLC

Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

COMMON NAME	CHEMICAL NAME (components)	FORM	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
DIESEL FUEL		LIQUID	190	AGT
<div> <div></div> <div>NONE</div> </div>	<div> <div>KEY:</div> <div>LIQ. = liquid</div> <div>P.LIQ = pressurized liquid</div> <div>S = solids</div> <div>G = gas</div> <div>PG = pressurized gas</div> </div>			<div>KEY:</div> <div>AGT = above ground tank</div> <div>DM = drums</div> <div>UGT = underground tank</div> <div>Cy = cylinders</div> <div>CM = metal cylinders</div> <div>OW = wooden or composition container</div> <div>TP = portable tank</div>

PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

Michigan.gov/EGLEpermits

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: Michigan.gov/EHSGuide. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

How Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
1) Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), Permit Section	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
2) Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, Asbestos Program , 517-284-6777	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
3) Please consult the Permitting at the Land and Water Interface Decision Tree document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - Joint Permit Application , 517-284-5567:		
a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
d. Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
4) Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? Union Township and Isabella County	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
5) Does the project involve the construction or alteration of a water supply system? Union Township Public Services Department and Drinking Water & Environmental Health Division (DWEHD), 517-284-6524	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
6) Does the project involve construction or alteration of any sewage collection or treatment facility? Union Township Public Services Department and WRD, Part 41 Construction Permit Program (staff) , 906-228-4527, or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
7) Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? Union Township and Public Swimming Pool Program , 517-284-6541, or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
8) Does the project involve the construction or modification of a campground? Union Township and DWEHD,Campgrounds program , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

9) Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), Solid Waste , 517-284-6588, or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
10) Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, Hazardous Waste Section, Treatment, Storage and Disposal , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Drinking (Potable) Water Supply?		
11) I am buying water from the municipal water supply system Contact the Union Township Public Services Dept.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
12) I have a Non-Community Water Supply (Type II) Guide , Contact (District or County) Local Health Department , 517-485-0660	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
13) I am a community water supply (Type I) Community Water Supply, DWEHD District Office Community Water Supply Program , 517-284-6512	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
14) Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Wastewater Discharge System?		
15) NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, EGLE District Office , or National Pollutant Discharge Elimination (NPDES) Permit Program , 517-284-5568	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
16) Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, Permits Section , or EGLE District Office , 517-284-5588	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
17) Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, Groundwater Permits Program , 517-290-2570	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
18) Does the project involve the drilling or deepening of wells for waste disposal? Oil, Gas and Minerals Division (OGMD), 517-284-6841	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Operation and Air Emissions?		
19) Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, Permit Section , 517-284-6634	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
20) Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, Acid Rain Permit Program , 517-780-7843	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Waste Management?		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? MMD , 517-284-6588 or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? MMD, Hazardous and Liquid Waste , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (Hazardous Waste Program Forms & License Applications) MMD, EGLE District Office , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, Radioactive Material and Standards Unit , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD Radioactive Material and Standards Unit , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, Medical Waste Regulatory Program , 517-284-6594	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Sector-Specific Permits May be Relevant to My Business?		
Transporters	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste? MMD, Transporter Program , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
28) Does the project involve the <i>transport</i> of hazardous waste? MMD, Transporter Program , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, Water Hauler Information , 517-284-6527	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, Septage Program , 517-284-6535	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
31) Do you store, haul, shred or process <i>scrap tires</i> ? MMD, Scrap Tire Program , 517-284-6586	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Sectors	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, Dry Cleaning Program , 517-284-6780	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? Laboratory Services Certifications , 517-284-5424	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, Public Swimming Pools Program , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
35) Does the project involve the operation of a <i>campground</i> ? Union Township and DWEHD, Campgrounds , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Permits Do I Need to Add Chemicals to Lakes and Streams?		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, Aquatic Nuisance Control , 517-284-5593	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, Surface Water Assessment Section , 517-331-5228	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Why would I be subject to Oil, Gas and Mineral Permitting?

38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, Petroleum Geology and Production Unit , 517-284-6826	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, Sand Dune Mining Program , 517-284-6826	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, Radioactive Protection Programs , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Petroleum & Mining , OGMD, 517-284-6826		
41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
42) Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
44) Does the project involve mining coal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
45) Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Contact **Union Township** and [EGLE Permits & Bonding](#), OGMD, 517-284-6841

Cell Site Number: PIMI429
Cell Site Name: MI-UNION Mission

M1 - Mount Pleasant - Mission

LEASE AGREEMENT

THIS LEASE AGREEMENT ("**Agreement or Lease**"), dated as of the latter of the signature dates below (the "**Effective Date**"), is entered into by Klumpp Management, LLC, a limited liability company, having a mailing address of 1955 E. Walton Rd., Shepherd, MI 48883 ("**Landlord**") and Parallel Towers III LLC, a Delaware limited liability company, having a mailing address of 15105 John J. Delaney Drive, Suite D-3, Charlotte, NC 28277 ("**Tenant**").

BACKGROUND

Landlord owns or controls that certain plot, parcel or tract of land, as described on **Exhibit 1**, together with all rights and privileges arising in connection therewith, located at 5450 S. Mission Rd., Mount Pleasant, in the County of Isabella, State of Michigan (collectively, the "**Property**"). Landlord desires to grant to Tenant the right to use a portion of the Property in accordance with this Agreement.

The parties agree as follows:

1. LEASE.

(a) Landlord hereby leases to Tenant and Tenant hereby leases from Landlord under the terms and conditions set forth herein a certain portion of the Property containing approximately 10,000 square feet including the air space above such ground space, as described on attached **Exhibit 1**, (the "**Premises**"), for the placement of a Communication Facility in accordance with the terms of this Agreement, together with an easement, or easements, for ingress, egress, utilities, fiber, and any other easements required by the local governing authorities, including, without limitation, a landscape buffer or "Fall Zone" (if applicable), for the duration of the lease on the property which is more particularly described on **Exhibit 1** attached hereto and made a part hereof. The easement rights herein granted include the right and authority of Tenant to grant or assign to third parties all or some of the easement rights granted to Tenant herein without additional consideration paid to Landlord.

(b) During the Due Diligence Period, Tenant and its agents, engineers, surveyors and other representatives will have the right to enter upon the Property to inspect, examine, conduct soil borings, drainage testing, material sampling, radio frequency testing and other geological or engineering tests or studies of the Property (collectively, the "**Tests**"), to apply for and obtain licenses, permits, approvals, or other relief required of or deemed necessary or appropriate at Tenant's sole discretion for its use of the Premises and include, without limitation, applications for zoning variances, zoning ordinances, amendments, special use permits, and construction permits (collectively, the "**Government Approvals**"), initiate the ordering and/or scheduling of necessary utilities, and otherwise to do those things on or off the Property that, in the opinion of Tenant, are necessary in Tenant's sole discretion to determine the physical condition of the Property, the environmental history of the Property, Landlord's title to the Property and the feasibility or suitability of the Property for Tenant's Permitted Use, all at Tenant's expense. Tenant will not be liable to Landlord or any third party on account of any pre-existing defect or condition on or with respect to the Property, whether or not such defect or condition is disclosed by Tenant's inspection. Tenant will restore the Property to its condition as it existed at the commencement of the Effective Date, reasonable wear and tear and loss by casualty or other causes beyond Tenant's control excepted. Any such Tests as referenced herein shall not be deemed 'commencement of construction' for purposes of establishing the Rent Commencement Date (as hereinafter defined).

2. PERMITTED USE. Tenant may use the Premises for the transmission and reception of communications signals and the installation, construction, maintenance, operation, repair, replacement and upgrade of communications fixtures and related equipment, cables, accessories and improvements, which may include a suitable support structure ("**Structure**"), associated antennas, equipment shelters or cabinets and fencing and any other items necessary to the successful and secure use of the Premises (the "**Communication Facility**"), as well as the right to test, survey and review title on the Property; Tenant further has the right but not the obligation to add, modify and/or replace equipment in order to be in compliance with any current or future federal, state or local mandated application, including, but not limited to, emergency 911 communication services, at no additional cost to Tenant or Landlord (collectively, the "**Permitted Use**"). Landlord and Tenant agree that any portion of the Communication Facility that may be conceptually described on **Exhibit 1** will not be deemed to limit Tenant's Permitted Use. If **Exhibit 1** includes drawings of the initial installation of the Communication Facility, Landlord's execution of this Agreement will signify Landlord's approval of **Exhibit 1**. For a period of ninety (90) days following the start of construction, Landlord grants Tenant, its subtenants, licensees and sublicensees, the right to use such portions of the Surrounding Property as may reasonably be required during construction and installation of the Communication Facility. Tenant has the right to install and operate transmission cables from the equipment shelter or cabinet to the antennas, electric lines from the main feed to the equipment shelter or cabinet and communication lines from the Property's main entry point to the equipment shelter or cabinet, install a generator and to make other improvements, alterations, upgrades or additions appropriate for Tenant's Permitted Use, including the right to construct a fence around the Premises or equipment, install warning signs to make individuals aware of risks, install protective barriers, install any other control measures reasonably required by Tenant's safety procedures or applicable law, and undertake any other appropriate means to secure the Premises or equipment at Tenant's expense. Tenant has the right to modify, supplement, replace, upgrade, expand the Communication Facility (including, for example, increasing the number of antennas or adding microwave dishes) or relocate the Communication Facility within the Premises at any time during the Term. Tenant will be allowed to make such alterations to the Property in order to ensure that the Communication Facility complies with all applicable federal, state or local laws, rules or regulations. In the event Tenant desires to modify or upgrade the Communication Facility, in a manner that requires an additional portion of the Property (the "**Additional Premises**") for such modification or upgrade, Landlord agrees to lease to Tenant the Additional Premises, upon the same terms and conditions set forth herein, except that the Rent shall increase, in conjunction with the lease of the Additional Premises by the amount equivalent to the then-current per square foot rental rate charged by Landlord to Tenant times the square footage of the Additional Premises. Landlord agrees to take such actions and enter into and deliver to Tenant such documents as Tenant reasonably requests in order to effect and memorialize the lease of the Additional Premises to Tenant.

3. TERM.

4. RENT.

5. APPROVALS.

(a) Landlord agrees that Tenant's ability to use the Premises is contingent upon the suitability of the Premises and Property for the Permitted Use and Tenant's ability to obtain and maintain all Government Approvals. Landlord authorizes Tenant to prepare, execute and file all required applications to obtain Government Approvals for the Permitted Use and agrees to reasonably assist Tenant with such applications and with obtaining and maintaining the Government Approvals.

(b) Tenant has the right to obtain a title report or commitment for a leasehold title policy from a title insurance company of its choice and to have the Property surveyed by a surveyor of its choice.

(c) Tenant may also perform and obtain, at Tenant's sole cost and expense, soil borings, percolation tests, engineering procedures, environmental investigation or other tests or reports on, over, and under the Property, necessary to determine if Tenant's use of the Premises will be compatible with Tenant's engineering specifications, system, design, operations or Government Approvals.

IN WITNESS WHEREOF, the parties have caused this Agreement to be effective as of the Effective Date.

"LANDLORD"

Klumpp Management, LLC,
a limited liability company

By: Jaimie Klumpp
Print Name: Jaimie Klumpp
Its: member/President
Date: 2/3/22

"TENANT"

Parallel Towers III LLC
a Delaware limited liability company

By: [Signature]
Print Name: YANNIS NIKITZAKIS
Its: CEO
Date: 2/23/22

[ACKNOWLEDGMENTS APPEAR ON NEXT PAGE]

TENANT ACKNOWLEDGMENT



STATE OF NC)
COUNTY OF Mecklenburg) ss:

On the 23 day of February, 2022, before me personally appeared Yannis Machras who acknowledged under oath that he/she is the CEO of Parallel Towers III LLC, a Delaware limited liability company, the Tenant named in the attached instrument, and as such was authorized to execute this instrument on behalf of the Tenant.

Emily Jenkins
Notary Public: _____
My Commission Expires: 9.28.26

LANDLORD ACKNOWLEDGMENT

CORPORATE ACKNOWLEDGMENT

STATE OF Michigan)
COUNTY OF Isabella) ss:

I CERTIFY that on February 3rd, 2022, Jaime Klump [name of representative] personally came before me and acknowledged under oath that he or she:

- (a) is the CEO [title] of Klump Management, LLC [name of corporation], the corporation named in the attached instrument,
- (b) was authorized to execute this instrument on behalf of the corporation and
- (c) executed the instrument as the act of the corporation.

Notary Public: Jennifer M. Stoneman
My Commission Expires: 11-18-2026

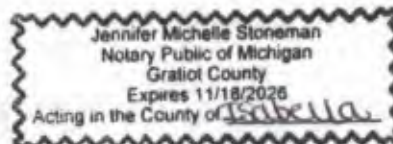


EXHIBIT 1

DESCRIPTION OF PREMISES

Page 1 of 2

to the Lease Agreement dated _____, 20____, by and between Klumpp Management, LLC, a limited liability company, as Landlord, and Parallel Towers III LLC, a Delaware limited liability company, as Tenant.

The Property is legally described as follows:

An interest in land, said interest being over a portion of the following described parent parcel:

The following described premises situated in Union Township, County of Isabella and State of Michigan, to-wit: A parcel of land commencing at the Southeast corner of the Southeast 1/4 of the Northeast 1/4 of Section 34, T14N, R4W, Union Township, Isabella County, Michigan; thence North, 40 rods; thence West, 32 rods; thence South 40 rods; thence East, 32 rods to the place of beginning, except the South, 92 feet of the East, 200 feet thereof, and more particularly described as beginning at a point on the East section line, which is North 00°15'00" West, 92.0 feet from the East 1/4 corner of said Section 34; thence North 00°15'00" West, 568.0 feet; thence South 89°38'30" West, 528.00 feet; thence South 00°15'00" East, 660.0 feet; thence North 89°38'30" East, 328.0 feet along the East and West 1/4 line; thence North 00°15'00" West, 92.0 feet; thence North 89°38'30" East, 200 feet to the Place of Beginning.

AND BEING the same property conveyed to Klumpp Management, LLC, a limited liability corporation from Richard and Joanne Green Revocable Trust dated July 25, 2007 by Warranty Deed dated February 23, 2018 and recorded February 23, 2018 in Liber 1799, Page 202.

Tax Parcel No. 14-034-20-005-00

The Premises are described and/or depicted as follows:



Notes:

1. THIS EXHIBIT MAY BE REPLACED BY A LAND SURVEY AND/OR CONSTRUCTION DRAWINGS OF THE PREMISES ONCE RECEIVED BY TENANT.
2. ANY SETBACK OF THE PREMISES FROM THE PROPERTY'S BOUNDARIES SHALL BE THE DISTANCE REQUIRED BY THE APPLICABLE GOVERNMENT AUTHORITIES.
3. WIDTH OF ACCESS ROAD SHALL BE THE WIDTH REQUIRED BY THE APPLICABLE GOVERNMENT AUTHORITIES, INCLUDING POLICE AND FIRE DEPARTMENTS.
4. THE TYPE, NUMBER AND MOUNTING POSITIONS AND LOCATIONS OF ANTENNAS AND TRANSMISSION LINES ARE ILLUSTRATIVE ONLY. ACTUAL TYPES, NUMBERS AND MOUNTING POSITIONS MAY VARY FROM WHAT IS SHOWN ABOVE.

GENERAL:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL LAWS, REGULATIONS, AND RULES SET FORTH BY FEDERAL, STATE, AND LOCAL AUTHORITIES WITH JURISDICTION OVER THE PROJECT. THIS RESPONSIBILITY IS IN EFFECT REGARDLESS OF WHETHER THE LAW, ORDINANCE, REGULATION OR RULE IS MENTIONED IN THESE SPECIFICATIONS.
2. ALL WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS, PROJECT SPECIFICATIONS, AND THE CONSTRUCTION CONTRACT DOCUMENTS.
3. THE CONTRACTOR SHALL HAVE AND MAINTAIN A VALID CONTRACTOR'S LICENSE FOR THE LOCATION IN WHICH THE WORK IS TO BE PERFORMED. FOR JURISDICTIONS THAT LICENSE INDIVIDUAL TRADES, THE TRADESMAN OR SUBCONTRACTOR PERFORMING THOSE TRADES SHALL BE LICENSED.
4. FOLLOW ALL APPLICABLE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND STATE LAW AS DEFINED IN THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT.
5. PRIOR TO THE SUBMISSION OF THE BID, THE CONTRACTOR SHALL VISIT THE JOB SITE, VERIFY ALL DIMENSIONS AND BECOME FAMILIAR WITH THE FIELD CONDITIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER.
6. DRAWING PLANS SHALL NOT BE SCALED.
7. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK NOT CLEARLY IDENTIFIED ON THE DRAWINGS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE PROJECT MANAGER.
8. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE NOTED.
9. ALL MEANS AND METHODS OF CONSTRUCTION DEALING WITH TOWER CONSTRUCTION AND SAFETY, STEEL ERECTION, EXCAVATIONS, TRENCHING, SCAFFOLDING, FORMWORK, ELECTRICAL, AND WORK IN CONFINED SPACES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. WHEN THE CONTRACTOR ACTIVITIES IMPEDE OR OBSTRUCT TRAFFIC FLOW, CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL DEVICES, SIGNS, AND FLAGMEN IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, DOT AND LOCAL REQUIREMENTS.
11. THE CONTRACTOR SHALL COORDINATE SITE ACCESS AND SECURITY WITH THE PROPERTY OWNER AND THE PROJECT MANAGER PRIOR TO CONSTRUCTION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITIES.
13. THE CONTRACTOR SHALL CALL THE LOCAL PUBLIC UTILITY LOCATING PROVIDER (811) A MINIMUM OF THREE BUSINESS DAYS PRIOR TO EXCAVATING IN THE PUBLIC RIGHT OF WAY.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING PRIVATE UTILITIES.
15. THE CONTRACTOR SHALL PROVIDE ANY TEMPORARY UTILITIES OR FACILITIES IT DEEMS NECESSARY TO COMPLETE THE WORK. THIS INCLUDES, BUT IS NOT LIMITED TO WATER, SEWER, POWER, TELEPHONE, HEAT, LIGHTING OR SECURITY.
16. WHEN EXCAVATING IN THE AREA OF EXISTING UTILITIES, THE CONTRACTOR SHALL USE REASONABLE CARE IN PROTECTING SUCH UTILITIES. CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER IMMEDIATELY OF ANY CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION.
17. DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHALL BE REPORTED TO THE PROJECT MANAGER AND THE OWNER OF THE UTILITY IMMEDIATELY. ANY DAMAGE RESULTING FROM CONTRACTORS NEGLIGENCE OR FAILURE TO ACT WITH DUE REGARD SHALL BE REPAIRED AT CONTRACTORS EXPENSE.
18. UNLESS OTHERWISE NOTED ON THE PLANS, CONTRACTOR SHALL ASSUME ALL SURFACE FEATURES SUCH AS BUT NOT LIMITED TO BUILDINGS, PAVEMENTS, LANDSCAPING FEATURES, PLANTS, ETC. ARE TO BE SAVED AND PROTECTED FROM DAMAGE. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING SITE CONDITIONS AND UPON COMPLETION OF WORK REPAIR BACK TO ORIGINAL CONDITIONS ANY DAMAGE THAT OCCURRED DURING CONSTRUCTION.
19. KEEP THE CONSTRUCTION SITE CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION AND SHALL BE SUBJECT TO APPROVAL BY THE PROPERTY OWNER AND THE PROJECT MANAGER.
20. THE CONTRACTOR SHALL PROVIDE ON-SITE TRASH RECEPTACLES FOR COLLECTION OF NON-TOXIC DEBRIS. ALL TRASH SHALL BE COLLECTED ON A DAILY BASIS.
21. ALL TOXIC AND ENVIRONMENTALLY HAZARDOUS SUBSTANCES SHALL BE USED AND DISPOSED OF IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. UNDER NO CIRCUMSTANCES SHALL RINSING OR DUMPING OF THESE SUBSTANCES OCCUR ON-SITE.
22. UNLESS NOTED OTHERWISE, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS NECESSARY FOR CONSTRUCTION.
23. THE PROJECT MANAGER MAY RETAIN THE SERVICES OF A TESTING LABORATORY TO PERFORM QUALITY ASSURANCE TESTING ON VARIOUS PORTIONS OF THE CONTRACTORS WORK. WHEN REQUESTED, THE CONTRACTOR SHALL INFORM THE TESTING LABORATORY AND ASSIST THEM IN COMPLETING TESTS.
24. THE CONTRACTOR SHALL MAINTAIN AND SUPPLY THE PROJECT MANAGER WITH AS-BUILT PLANS UPON COMPLETION OF THE PROJECT.

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AGL	ABOVE GROUND LEVEL
AMSL	ABOVE MEAN SEA LEVEL
APPROX	APPROXIMATE
ATS	AUTOMATIC TRANSFER SWITCH
AWG	AMERICAN WIRE GAUGE
BLDG	BUILDING
BBU	BASE BAND UNIT
℄	CENTERLINE
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CND	CONDUIT
CRAN	CENTRALIZED RAN
C-RAN	CLOUD RAN
DWG	DRAWING
FT	FOOT(FEET)
EGB	EQUIPMENT GROUND BAR
ELEC	ELECTRICAL
EMT	ELECTRICAL METALLIC TUBING
ELEV	ELEVATION
EQUIP	EQUIPMENT
(E)	EXISTING
EXT	EXTERIOR
FND	FOUNDATION
F	FIBER
GA	GAUGE
GALV	GALVANIZED
GPS	GLOBAL POSITIONING SYSTEM
GND	GROUND
GSM	GLOBAL SYSTEM FOR MOBILE COMMUNICATION
LTE	LONG TERM EVOLUTION
MAX	MAXIMUM
MFR	MANUFACTURER
MGB	MASTER GROUND BAR
MIN	MINIMUM
MIMO	MULTIPLE IN MULTIPLE OUT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
PPC	POWER PROTECTION CABINET
℄	PROPERTY LINE
RAN	RADIO ACCESS NETWORK
RBS	RADIO BASED STATION
RRH	REMOTE RADIO HEAD
RGS	RIGID GALVANIZED STEEL
IN	INCH(ES)
INT	INTERIOR
LB(S), #	POUND(S)
SF	SQUARE FOOT
STL	STEEL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UMTS	UNIVERSAL MOBILE TELE-COMMUNICATION SYSTEM
VIF	VERIFY IN FIELD
W/	WITH
XFMR	TRANSFORMER

SYMBOLS

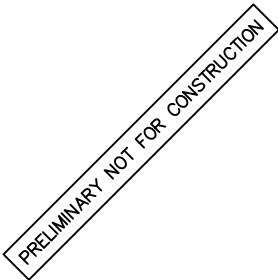
	REVISION
	WORK POINT
	UTILITY POLE
	BRICK
	COMPRESSED STONE
	CONCRETE
	EARTH
	GRAVEL
	MASONRY
	STEEL
	CENTERLINE
	PROPERTY LINE
	LEASE LINE
	EASEMENT LINE
	FENCE
	CHAINLINK
	WOOD
	WROUGHT IRON
	ELECTRIC
	OVERHEAD
	UNDERGROUND
	FIBER
	OVERHEAD
	UNDERGROUND
	TELEPHONE
	OVERHEAD
	UNDERGROUND
	DCPOWER
	SECTION REFERENCE



1100 E. WOODFIELD ROAD, SUITE 500
SCHAUMBURG, ILLINOIS 60173
TEL: 847-908-8400
www.FullertonEngineering.com

REV	DATE	DESCRIPTION	BY
A	02/24/22	90% REVIEW	LA
B	03/24/22	90% REVIEW	LA

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF ALL APPLICABLE CODES.



SITE NAME

OML06772

SITE NUMBER:

PIMI429

SITE ADDRESS

5450 S. MISSION ROAD
MT. PLEASANT, MI 48858

SHEET NAME

GENERAL
NOTES

SHEET NUMBER

GN-I
064

SURVEYOR'S NOTE

THE PARENT PARCEL BOUNDARY OF THIS DRAWING IS ILLUSTRATED FROM RECORD INFORMATION AND IS APPROXIMATE.

THE TOPOGRAPHICAL SURVEY FOR THIS MAP WAS PERFORMED ON FEBRUARY 09, 2022.

NOT TO BE USED AS CONSTRUCTION DRAWINGS.

THE LEASED PREMISES IS CONTIGUOUS ALONG ITS COMMON BOUNDARIES TO THE ACCESS AND UTILITY EASEMENT WHICH IN TURN IS CONTIGUOUS ALONG ITS COMMON BOUNDARIES TO THE SOUTH MISSION ROAD RIGHT OF WAY. THERE ARE NO GAPS, GORES, SPACES OR OVERLAPS BETWEEN OR AMONG ANY OF SAID PARCELS OF LAND.

NO WETLANDS AREAS HAVE BEEN INVESTIGATED BY THIS SURVEY.

NO IRONS WERE SET AT THE TIME OF SURVEY.

NO UTILITY PROVIDERS GIVEN AT THE TIME OF SURVEY.

AREA

PARENT PARCEL AREA: 330,079 SQUARE FEET, MORE OR LESS
100'x100' LEASED PREMISES: 10,000 SQUARE FEET OR 0.23 ACRES, MORE OR LESS
30.00' WIDE ACCESS & UTILITY EASEMENT: 9,790 SQUARE FEET OR 0.22 ACRES, MORE OR LESS

BASIS OF BEARINGS

LATITUDE AND LONGITUDE OF SITE REFERENCE POINT ARE BASED ON THE HARN (HIGH ACCURACY REFERENCE NETWORK) NAD83 (CORS 96)

BEARINGS ARE BASED ON MICHIGAN STATE PLANE, MI SOUTH 2113 TO ORIENT DRAWING TO TRUE NORTH, ROTATE COUNTERCLOCKWISE 00°16'21.61".

ELEVATION DATUM

ALL ELEVATIONS ARE BASED ON NAVD 88 DATUM.

CONTOURS ARE ILLUSTRATED AT 1.0' INTERVALS.

BM#1) ELEV. 838.61
DESCRIPTION: RAILROAD SPIKE ON NORTH SIDE OF UTILITY POLE, NORTH SIDE OF DRIVEWAY ENTRANCE.

ZONING DATA

ACCORDING TO THE SITE CANDIDATE INFORMATION PACKAGE THE SUBJECT SITE ZONING:

SETBACKS:

FRONT: ZONING NOT PROVIDED

REAR:

SIDE:

PROPRIETOR

FEE OWNER
KLUMPP MANAGEMENT, LLC
1955 E WALTON RD
SHEPHERD, MI 48883

TOWER CENTROID

LATITUDE: 43°33'40.84" N
LONGITUDE: 84°46'07.66" W
GROUND ELEVATION: 844'±

FLOOD PLAIN INFORMATION

WE HAVE CONSULTED THE FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE MAP AS PREPARED FOR THE CHARTER TOWNSHIP OF UNION, ISABELLA COUNTY, MICHIGAN, COMMUNITY PANEL NUMBER 26073C0325D DATED FEBRUARY 05, 2014 AND FIND THAT THE PROJECT SITE IS ZONED X (UNSHADED)(AREA OF MINIMAL FLOOD HAZARD).

EASEMENTS, COVENANTS, CONDITIONS, AND RESTRICTIONS

THE TITLE COMMITMENT ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY AS COMMITMENT NO. 35870213, DATED OCTOBER 11, 2021, LISTS THE FOLLOWING EASEMENTS, COVENANTS, CONDITIONS, AND RESTRICTIONS, THAT ARE MATTERS OF SURVEY, AFFECTING THE PARENT PARCEL UNDER "SCHEDULE B-II":

SEE SHEET 2 OF 2

LEGAL DESCRIPTION

PROPOSED 100'X100' LEASED PREMISES

LEGAL DESCRIPTION

PROPOSED 30.00' WIDE ACCESS & UTILITY EASEMENT

PIMI429
OML06772

FOUND MON IN BOX
NE CORNER
SECTION 34
T14N, R4W

06°±

SCALE IN FEET



VICINITY MAP
N.T.S.

LEGEND

- ▲ - TRAVERSE POINT
- ▲ - WELL
- ⬢ - HIGHWAY
- ⊙ - MONUMENT
- ⬢ - MONUMENT BOX
- - RIGHT OF WAY MARKER
- - SET WOODSTAKE
- ✂ - XCUT
- PK - PK NAIL
- - FOUND IRON STAKE
- - SET IRON STAKE
- ⊙ - SIGN
- RR - RR SIGN
- AC - AC UNIT
- - U.G. UTILITY MARKER
- ⊙ - FIRE HYDRANT
- ⊙ - PIV - POST INDICATOR VALVE
- ⊙ - WATER VALVE
- ⊙ - GAS VALVE
- ⊙ - UST FILL PORT
- ⊙ - GAS PUMP
- - GUY POLE
- - GUY ANCHOR
- - UTILITY POLE
- ✿ - SHRUB
- ☁ - TREE
- ★ - PINE TREE
- (ELEV) — - EXISTING CONTOURS
- - TELEPHONE UTILITY LINE
- - ELECTRIC UTILITY LINE
- - WATER UTILITY LINE
- - GAS UTILITY LINE
- - STEAM UTILITY LINE
- - STORM UTILITY LINE
- - SANITARY UTILITY LINE
- - FIBER OPTIC UTILITY LINE
- - OVERHEAD UTILITY LINE
- X — X — X — - FENCE LINE
- ● — - GUARD RAIL
- △ - CONCRETE

All utilities as shown are approximate locations derived from actual measurements and available records. They should not be interpreted to be in exact location nor should it be assumed that they are the only utilities in the area.

CERTIFICATION:

To: Parallel Towers III LLC, a Delaware limited liability company; its successors, assigns and/or designees and Old Republic National title Insurance Company.

I, Curtis R. Zack, a Michigan Professional Land Surveyor, certify that the information shown hereon was compiled using data from an actual field survey made under my direct supervision and that the field survey and the compilation of information shown herein were conducted in accordance standard mapping procedures and that the relating positional precision of each corner is within the limits accepted by the practice of professional survey under the requirements of P.A. 132 of 1970 as amended. The field work was completed on February 09, 2022.

PRELIMINARY

Curtis R. Zack
Michigan Professional Land Surveyor No. 4001069464
Expires September 23, 2023

Note: This certification only applies to improvements within the lease site and easements as shown hereon.

Dated: _____

DATE: 02/09/22	DWG. BY: E.C.V.
SCALE: 1"=100'	SURVEYED: D.S.
UPDATE: -----	CHKD BY: C.R.Z.
PROJECT NO.: 220168.021	

Parallel
INFRASTRUCTURE

FULLERTON

1100 E. WOODFIELD ROAD, SUITE 500
SCHAUMBURG, ILLINOIS 60173
TEL: 847-908-8400
www.FullertonEngineering.com

PIMI429
OML06772

Project Manager: TIMOTHY MAY

REVISIONS		
NO.	DESCRIPTION	DATE
1	xxxxx	xx/xx/xx

SURVEYED BY:

williams&works
engineers | surveyors | planners

616.224.1500 phone
549 Ottawa Ave NW
http://williams-works.com
Grand Rapids, MI 49503

SITE NAME

OML06772

SITE NUMBER

PIMI429

SITE ADDRESS

5450 S. MISSION ROAD
MT. PLEASANT, MI
48868
ISABELLA COUNTY
PARCEL NO.
14-034-20-005-00

SHEET TITLE

SURVEY

SHEET 1 OF 2

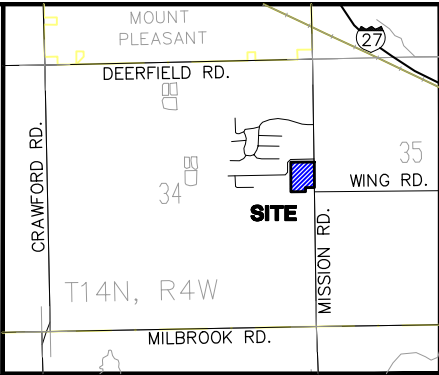
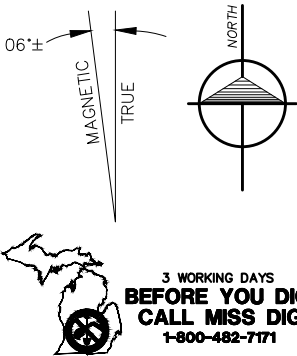
SURVEYOR'S NOTE

THE PARENT PARCEL BOUNDARY OF THIS DRAWING IS ILLUSTRATED FROM RECORD INFORMATION AND IS APPROXIMATE.

THE TOPOGRAPHICAL SURVEY FOR THIS MAP WAS PERFORMED ON FEBRUARY 09, 2022.

NOT TO BE USED AS CONSTRUCTION DRAWINGS.

PIMI429
OML06772



Parallel
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PIMI429
OML06772

Project Manager: TIMOTHY MAY

REVISIONS		
NO.	DESCRIPTION	DATE
1	xxxxx	xx/xx/xx

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engineers | surveyors | planners
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SITE NAME

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SITE ADDRESS

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MT. PLEASANT, MI
48868
ISABELLA COUNTY
PARCEL NO.
14-034-20-005-00

SHEET TITLE

SURVEY

SHEET 2 OF 2

066

LEGEND

- ▲ - TRAVERSE POINT
- ▲ - WELL
- - HIGHWAY
- - MONUMENT
- - MONUMENT BOX
- - RIGHT OF WAY MARKER
- - SET WOODSTAKE
- +CUT - XCUT
- PK - PK NAIL
- - FOUND IRON STAKE
- - SET IRON STAKE
- - SIGN
- RR - RR SIGN
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- - FIRE HYDRANT
- PIV - POST INDICATOR VALVE
- ◇ - WATER VALVE
- ⊗ - GAS VALVE
- ⊕ - UST FILL PORT
- ⊖ - GAS PUMP
- - GUY POLE
- - GUY ANCHOR
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- - OVERHEAD UTILITY LINE
- X - FENCE LINE
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- - CONCRETE

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PRELIMINARY

Curtis R. Zack
Michigan Professional Land Surveyor No. 4001069464
Expires September 23, 2023

Note: This certification only applies to improvements within the lease site and easements as shown hereon.

Dated: _____

DATE: 02/09/22	DWG. BY: E.C.V.
SCALE: VARIES	SURVEYED: D.S.
UPDATE: -----	CHKD BY: C.R.Z.
PROJECT NO.: 220168.021	

TOWER SETBACKS TO PROPERTY LINES (FROM EDGE OF MONOPOLE CONCRETE FOUNDATION)	
NORTH	457'-0"±
SOUTH	197'-6"±
EAST	405'-0"±
WEST	117'-6"±

NOTE:

PER SECTION 10.7 MODIFICATIONS
TO LANDSCAPE REQUIREMENTS,
LANDSCAPING WILL BE PROVIDED IF
DETERMINED TO BE NECESSARY.

NOTES:

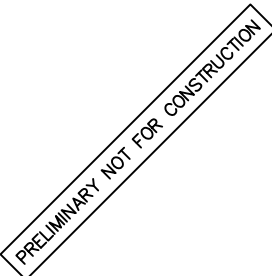
1. SITE DESIGN HAS NOT BEEN COORDINATED WITH FINAL STAMPED TOWER FABRICATION DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ANGLES ON THIS SITE DESIGN WITH FINAL STAMPED TOWER FABRICATION DRAWINGS PRIOR TO BEGINNING CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED.
2. CONTRACTOR TO CLEAR AND GRUB EXISTING VEGETATION AS NEEDED WITHIN LEASE AREA, ACCESS ROAD AND TURNAROUND AREA.



1100 E. WOODFIELD ROAD, SUITE 500
SCHAUMBURG, ILLINOIS 60173
TEL: 847-908-8400
www.FullertonEngineering.com

REV	DATE	DESCRIPTION	BY
A	02/24/22	90% REVIEW	LA
B	03/24/22	90% REVIEW	LA

I HEREBY CERTIFY THAT THESE DRAWINGS WERE
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION
AND CONTROL, AND TO THE BEST OF MY KNOWLEDGE
AND BELIEF COMPLY WITH THE REQUIREMENTS OF ALL
APPLICABLE CODES.



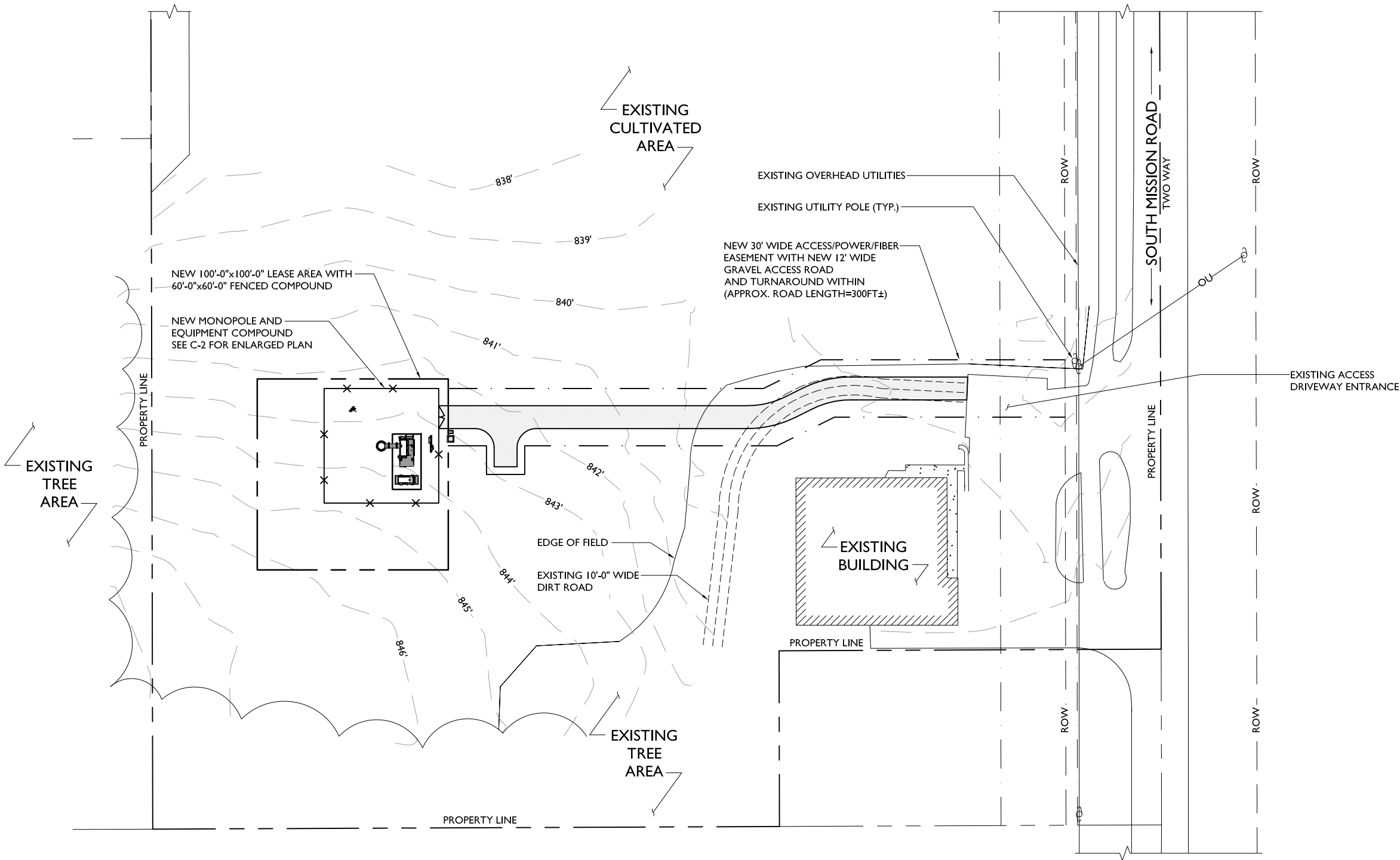
SITE NAME
OML06772

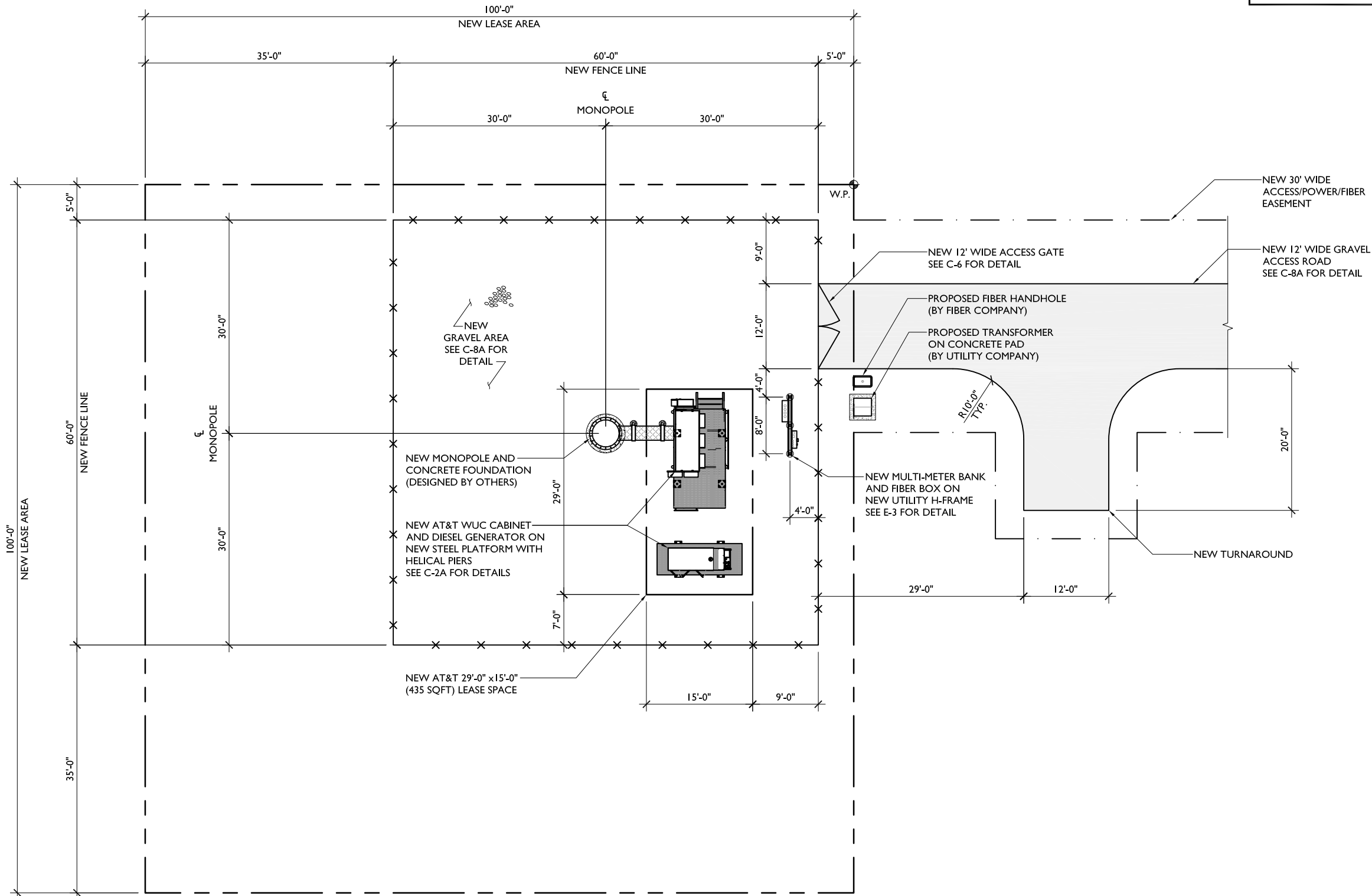
SITE NUMBER:
PIMI429

SITE ADDRESS
5450 S. MISSION ROAD
MT. PLEASANT, MI 48858

SHEET NAME
SITE PLAN

SHEET NUMBER
C-1
067





NOTE:
PER SECTION 10.7 MODIFICATIONS
TO LANDSCAPE REQUIREMENTS,
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AND BELIEF COMPLY WITH THE REQUIREMENTS OF ALL
APPLICABLE CODES.

PRELIMINARY NOT FOR CONSTRUCTION

SITE NAME

OML06772

SITE NUMBER:

PIMI429

SITE ADDRESS

5450 S. MISSION ROAD
MT. PLEASANT, MI 48858

SHEET NAME

ENLARGED
SITE PLAN

SHEET NUMBER

C-2

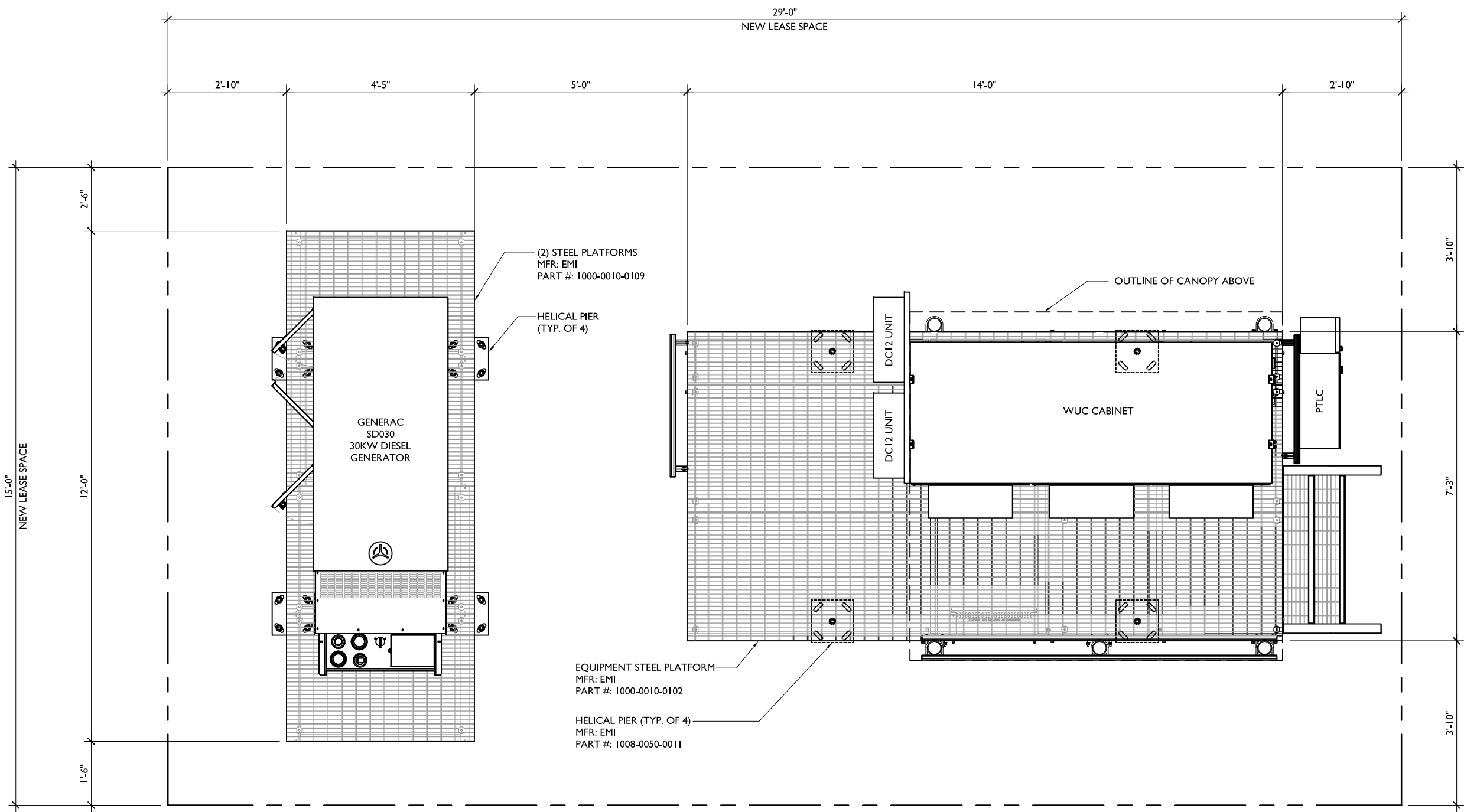
068

ENLARGED SITE PLAN



SCALE: 1/16" = 1'-0"





REV	DATE	DESCRIPTION	BY
A	02/24/22	90% REVIEW	LA
B	03/24/22	90% REVIEW	LA

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PRELIMINARY NOT FOR CONSTRUCTION

SITE NAME

OML06772

SITE NUMBER:

PIMI429

SITE ADDRESS

5450 S. MISSION ROAD
MT. PLEASANT, MI 48858

SHEET NAME

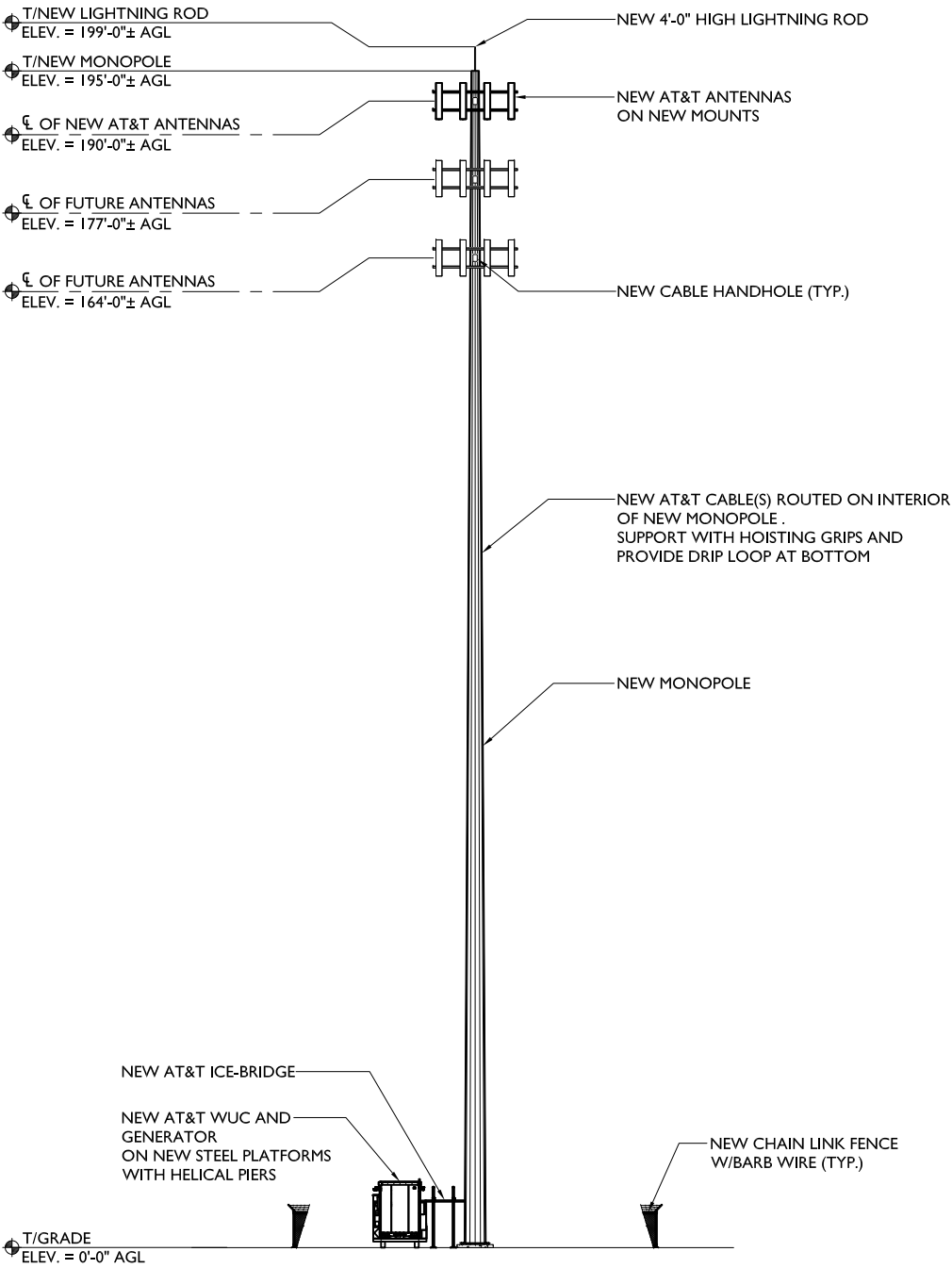
EQUIPMENT
LAYOUT

SHEET NUMBER

C-2A

069

- NOTES:
- 1. CALCULATIONS FOR THE STRUCTURE AND ANTENNA MOUNTS WERE PREPARED BY OTHERS AND THOSE CALCULATIONS CERTIFY THE CAPACITY OF THE STRUCTURE TO SUPPORT THE NEW EQUIPMENT
 - 2. CABLES NOT SHOWN FOR CLARITY
 - 3. SITE DESIGN HAS NOT BEEN COORDINATED WITH FINAL STAMPED TOWER FABRICATION DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ANGLES ON THIS SITE DESIGN WITH FINAL STAMPED TOWER FABRICATION DRAWINGS PRIOR TO BEGINNING CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED.
 - 4. TOWER LIGHTING DESIGNED BY OTHERS
 - 5. MONOPOLE PAINTING REQUIREMENTS BY OTHERS



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B	03/24/22	90% REVIEW	LA

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PRELIMINARY NOT FOR CONSTRUCTION

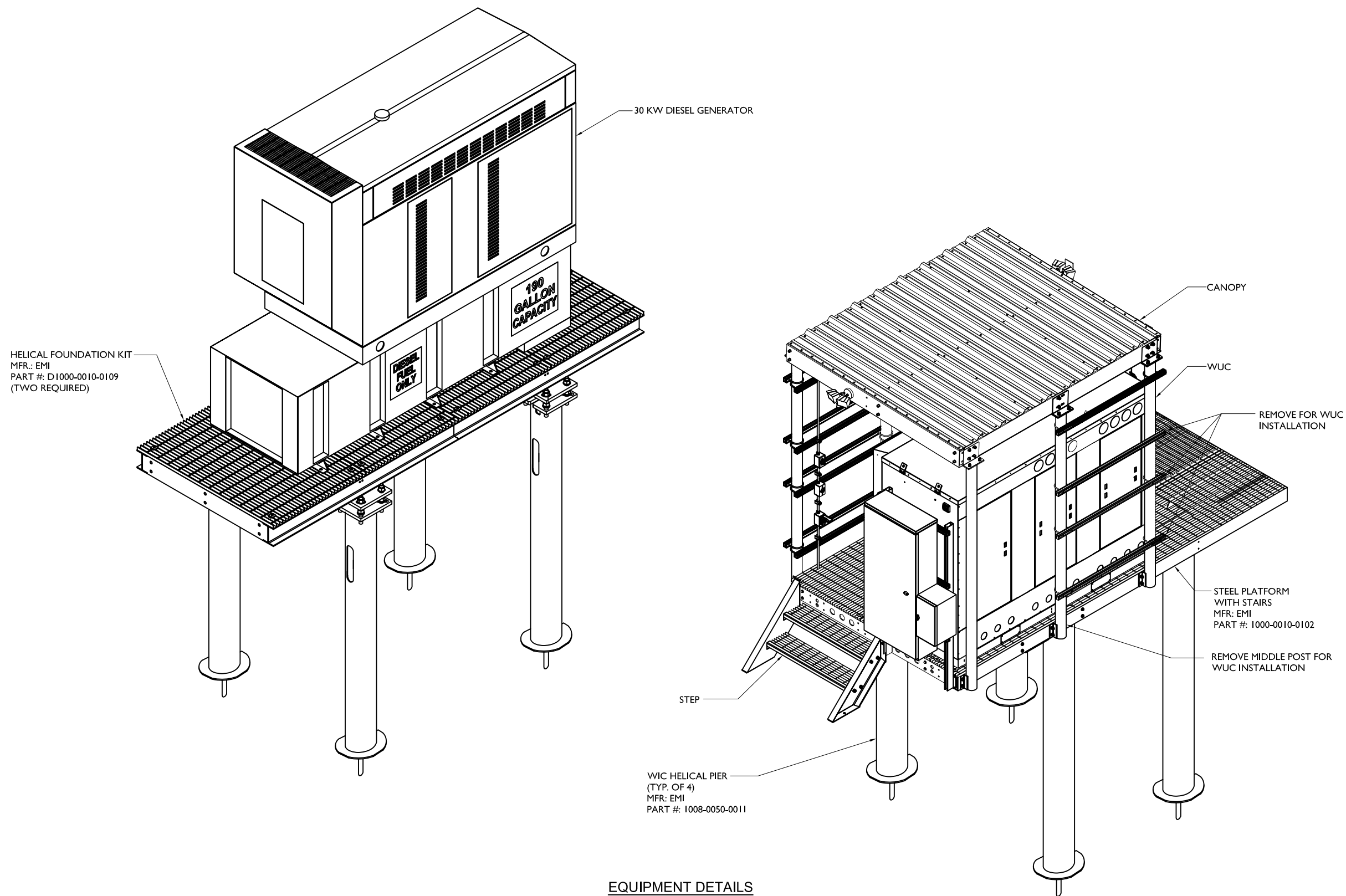
SITE NAME
OML06772

SITE NUMBER:
PIMI429

SITE ADDRESS
5450 S. MISSION ROAD
MT. PLEASANT, MI 48858

SHEET NAME
ELEVATION

SHEET NUMBER
C-3
070



EQUIPMENT DETAILS

REV	DATE	DESCRIPTION	BY
A	02/24/22	90% REVIEW	LA
B	03/24/22	90% REVIEW	LA

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF ALL APPLICABLE CODES.

PRELIMINARY NOT FOR CONSTRUCTION

SITE NAME

OML06772

SITE NUMBER:

PIMI429

SITE ADDRESS

5450 S. MISSION ROAD
MT. PLEASANT, MI 48858

SHEET NAME

EQUIPMENT
DETAILS

SHEET NUMBER

C-4

071

PROJECT# 2020.0198 . 0094

REV	DATE	DESCRIPTION	BY
A	02/24/22	90% REVIEW	LA
B	03/24/22	90% REVIEW	LA

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PRELIMINARY NOT FOR CONSTRUCTION

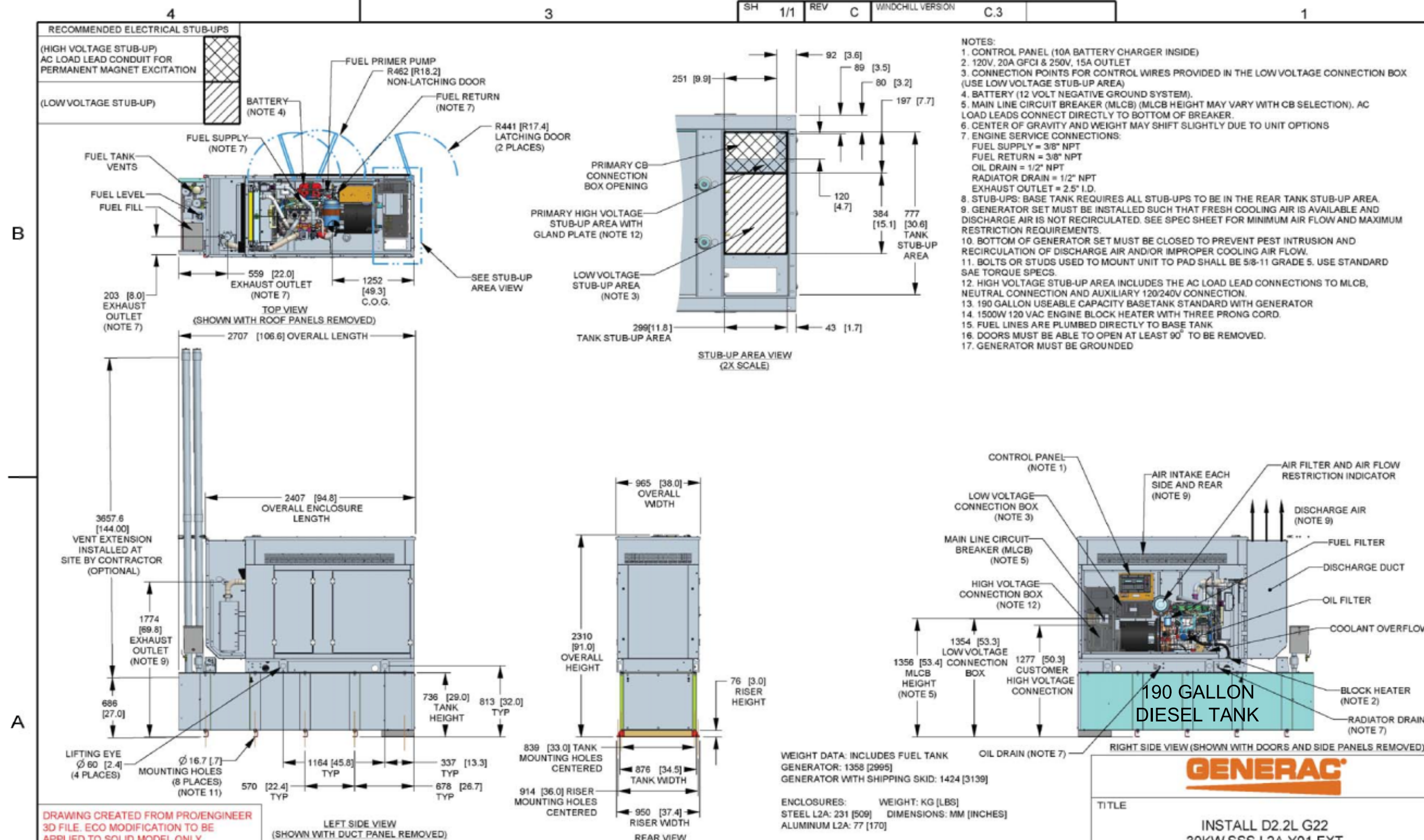
SITE NAME	OML06772
SITE NUMBER	PIMI429
SITE ADDRESS	5450 S. MISSION ROAD MT. PLEASANT, MI 48858
SHEET NAME	GENERATOR DETAILS
SHEET NUMBER	C-5

INSTALLATION DRAWING

SH 1/1 REV C WINDCHILL VERSION C.3

NOTES:

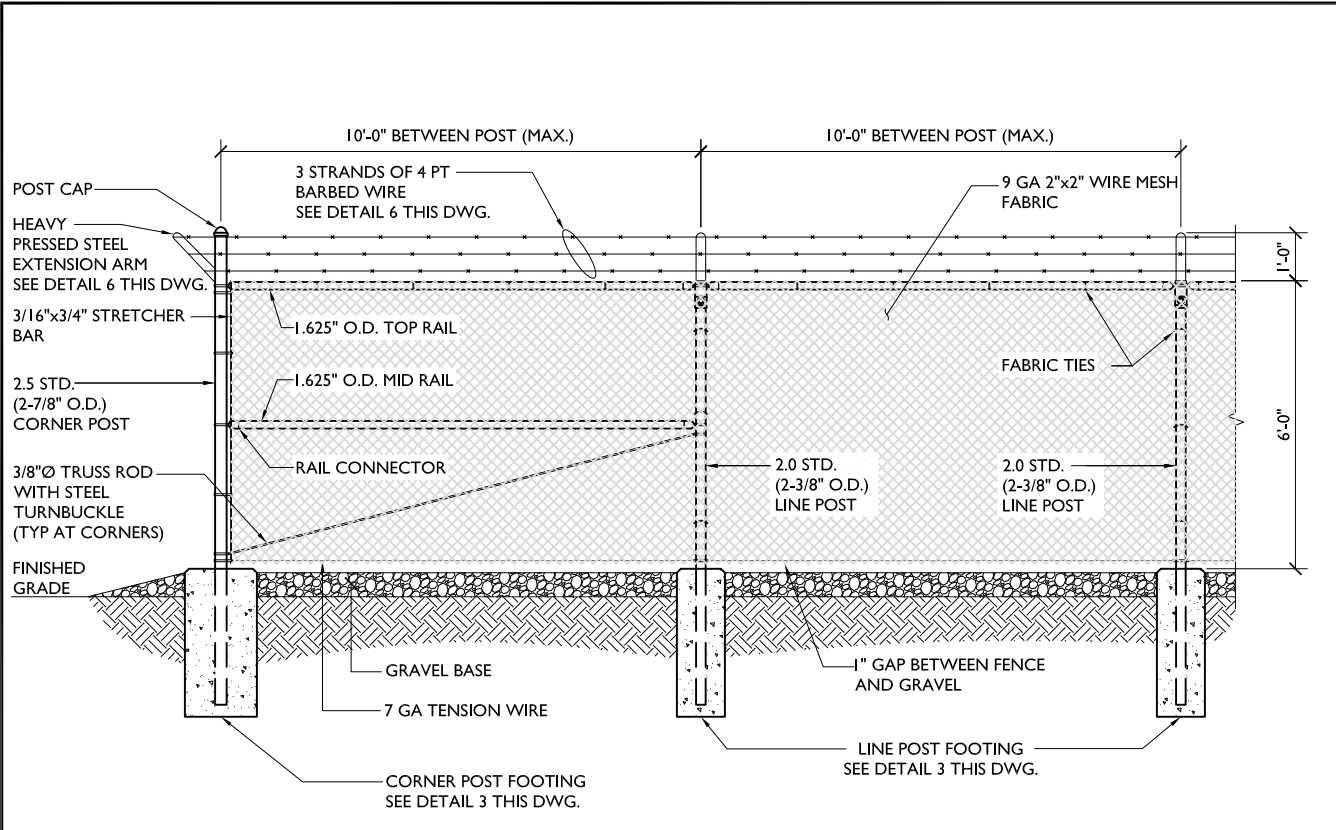
1. CONTROL PANEL (10A BATTERY CHARGER INSIDE)
2. 120V, 20A GFCI & 250V, 15A OUTLET
3. CONNECTION POINTS FOR CONTROL WIRES PROVIDED IN THE LOW VOLTAGE CONNECTION BOX (USE LOW VOLTAGE STUB-UP AREA)
4. BATTERY (12 VOLT NEGATIVE GROUND SYSTEM).
5. MAIN LINE CIRCUIT BREAKER (MLCB) (MLCB HEIGHT MAY VARY WITH CB SELECTION). AC LOAD LEADS CONNECT DIRECTLY TO BOTTOM OF BREAKER.
6. CENTER OF GRAVITY AND WEIGHT MAY SHIFT SLIGHTLY DUE TO UNIT OPTIONS
7. ENGINE SERVICE CONNECTIONS:
FUEL SUPPLY = 3/8" NPT
FUEL RETURN = 3/8" NPT
OIL DRAIN = 1/2" NPT
RADIATOR DRAIN = 1/2" NPT
EXHAUST OUTLET = 2.5" I.D.
8. STUB-UPS: BASE TANK REQUIRES ALL STUB-UPS TO BE IN THE REAR TANK STUB-UP AREA.
9. GENERATOR SET MUST BE INSTALLED SUCH THAT FRESH COOLING AIR IS AVAILABLE AND DISCHARGE AIR IS NOT RECIRCULATED. SEE SPEC SHEET FOR MINIMUM AIR FLOW AND MAXIMUM RESTRICTION REQUIREMENTS.
10. BOTTOM OF GENERATOR SET MUST BE CLOSED TO PREVENT PEST INTRUSION AND RECIRCULATION OF DISCHARGE AIR AND/OR IMPROPER COOLING AIR FLOW.
11. BOLTS OR STUDS USED TO MOUNT UNIT TO PAD SHALL BE 5/8-11 GRADE 5. USE STANDARD SAE TORQUE SPECS.
12. HIGH VOLTAGE STUB-UP AREA INCLUDES THE AC LOAD LEAD CONNECTIONS TO MLCB, NEUTRAL CONNECTION AND AUXILIARY 120/240V CONNECTION.
13. 190 GALLON USEABLE CAPACITY BASETANK STANDARD WITH GENERATOR
14. 1500W 120 VAC ENGINE BLOCK HEATER WITH THREE PRONG CORD.
15. FUEL LINES ARE PLUMBED DIRECTLY TO BASE TANK
16. DOORS MUST BE ABLE TO OPEN AT LEAST 90° TO BE REMOVED.
17. GENERATOR MUST BE GROUNDED



DRAWING CREATED FROM PRO/ENGINEER 3D FILE. ECO MODIFICATION TO BE APPLIED TO SOLID MODEL ONLY.

GENERAC POWER SYSTEMS OWNS THE COPYRIGHT OF THIS DRAWING WHICH IS SUPPLIED IN CONFIDENCE AND MUST NOT BE USED FOR ANY PURPOSE OTHER THAN FOR WHICH IT IS SUPPLIED WITHOUT THE EXPRESS WRITTEN CONSENT OF GENERAC POWER SYSTEMS. ©GENERAC POWER SYSTEMS 2015

TITLE			
INSTALL D2.2L G22 30KW SSS L2A Y01 EXT			
ISSUE DATE: 12/18/17			
SIZE	CAGE NO	DWG NO	REV
B	N/A	10000019290	C
SCALE	0.025	WT-KG	SEE ABOVE
SHEET		1 of 1	



FENCING ELEVATION

SCALE: N.T.S.

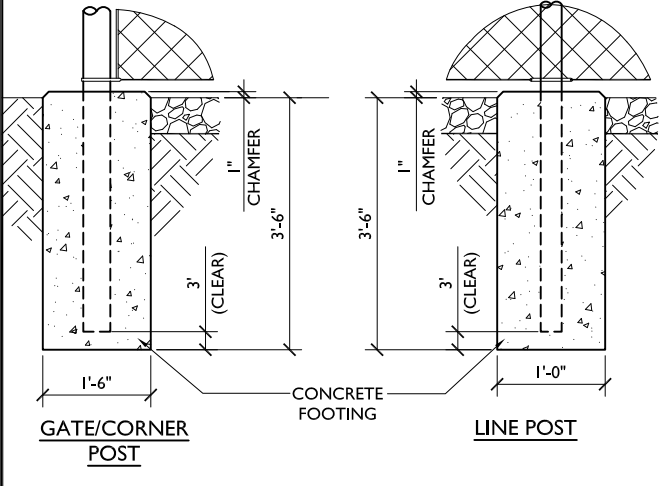
1

DOUBLE SWING GATE DETAIL

SCALE: N.T.S.

2

1. ALL POSTS AND RAILS SHALL BE SCHEDULE 40 PIPE AND SHALL MEET THE REQUIREMENTS OF ASTM-F1083
2. WIRE MESH FABRIC SHALL MEET THE REQUIREMENTS OF ASTM-392
3. ALL FENCE MATERIALS SHALL BE HOT DIP GALVANIZED. ANY DAMAGED FENCE COMPONENTS SHALL BE REPAIRED WITH COLD GALVANIZING SPRAY
4. ALL POST MUST BE PLUMB AND ALIGNED WITH ONE ANOTHER IN BOTH HORIZONTAL AND VERTICAL PLANES
5. CORNERS AND GATE POST SHALL EXTEND ABOVE THE TOP STRAND OF BARBED WIRE TO PROVIDE TENSIONING FOR THE BARBED WIRE
6. PROVIDE MIDRAILS AND BRACING AT ALL CORNER POSTS WHERE THE FENCE CHANGES DIRECTION BY MORE THAN 30 DEGREES
7. ALL CONCRETE FOOTINGS SHALL BE MINIMUM 2500 PSI AT 28 DAYS



POST FOOTING DETAIL

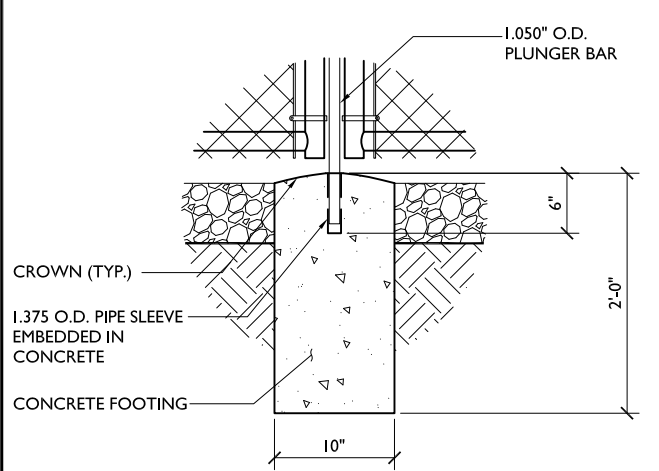
SCALE: N.T.S.

3

GATE LOCK DETAIL

SCALE: N.T.S.

4



GATE STOP DETAIL

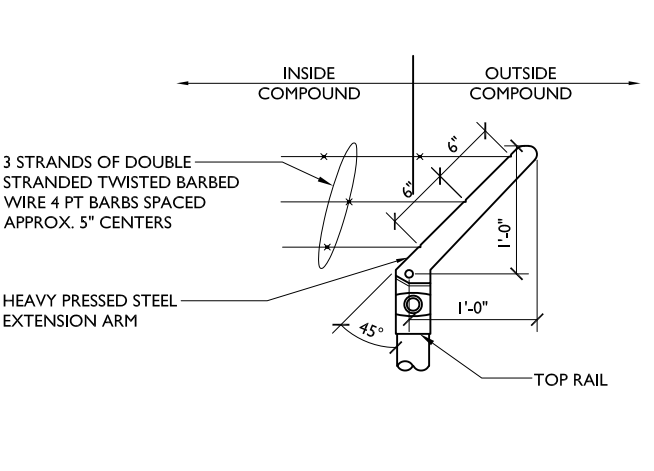
SCALE: N.T.S.

5

EXTENSION ARM DETAIL

SCALE: N.T.S.

6



NOTES

SCALE: N.T.S.

7

NOT USED

SCALE: N.T.S.

8

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FULLERTON

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B	03/24/22	90% REVIEW	LA

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PRELIMINARY NOT FOR CONSTRUCTION

SITE NAME

OML06772

SITE NUMBER:

PIMI429

SITE ADDRESS

5450 S. MISSION ROAD
MT. PLEASANT, MI 48858

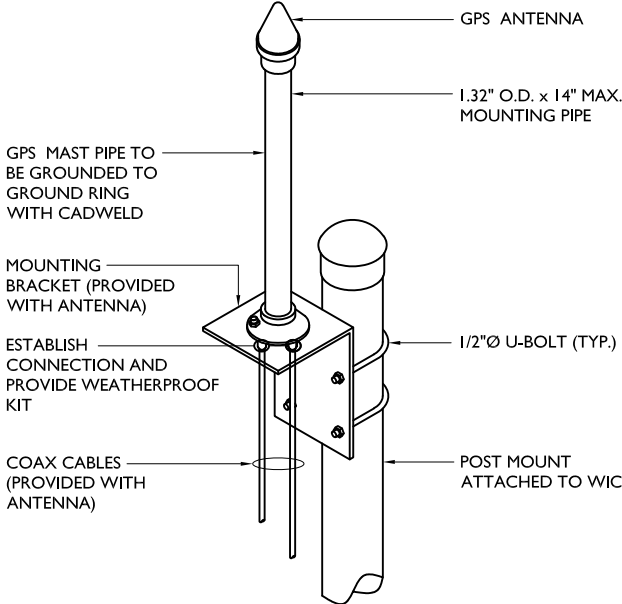
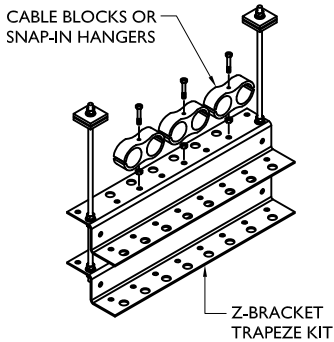
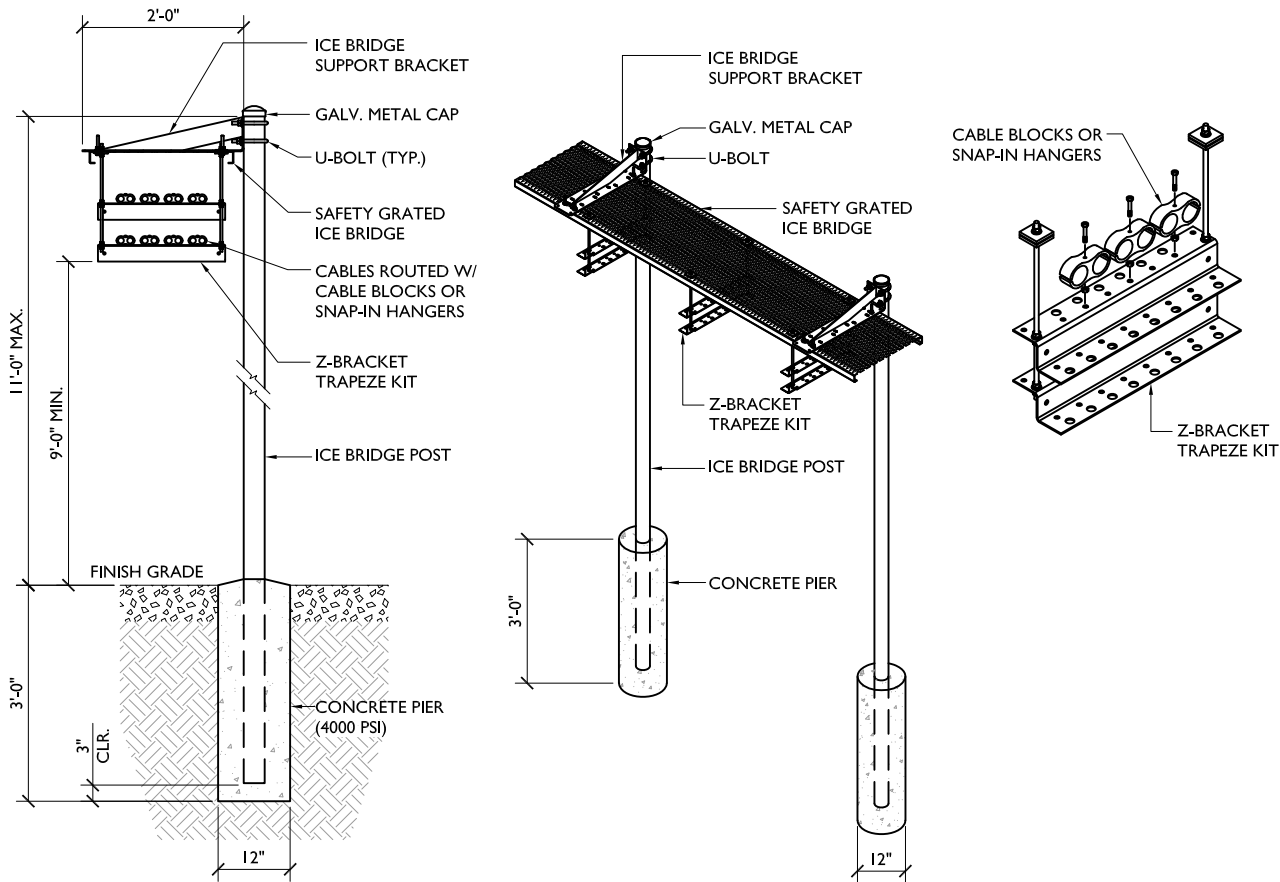
SHEET NAME

FENCE
DETAILS

SHEET NUMBER

C-6

073



- NOTES:
- 1. LOCATION OF GPS MUST HAVE CLEAR VIEW OF SOUTHERN SKY AND CANNOT HAVE ANY BLOCKAGES EXCEEDING 25% OF THE SURFACE AREA OF A HEMISPHERE AROUND THE GPS ANTENNA
 - 2. ALL GPS ANTENNA LOCATIONS MUST BE ABLE TO RECEIVE CLEAR SIGNALS FROM A MINIMUM OF 40UR (4) SATELLITES. VERIFY WITH HANDHELD PPS BEFORE FINAL LOCATION OF GPS ANTENNA

ICE BRIDGE DETAILS

SCALE: N.T.S.

1

GPS ANTENNA MOUNTING DETAILS

SCALE: N.T.S.

2

NOT USED

SCALE: N.T.S.

3

NOT USED

SCALE: N.T.S.

4

NOT USED

SCALE: N.T.S.

5

Parallel
INFRASTRUCTURE



FULLERTON

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A	02/24/22	90% REVIEW	LA
B	03/24/22	90% REVIEW	LA

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PRELIMINARY NOT FOR CONSTRUCTION

SITE NAME

OML06772

SITE NUMBER:

PIMI429

SITE ADDRESS

5450 S. MISSION ROAD
MT. PLEASANT, MI 48858

SHEET NAME

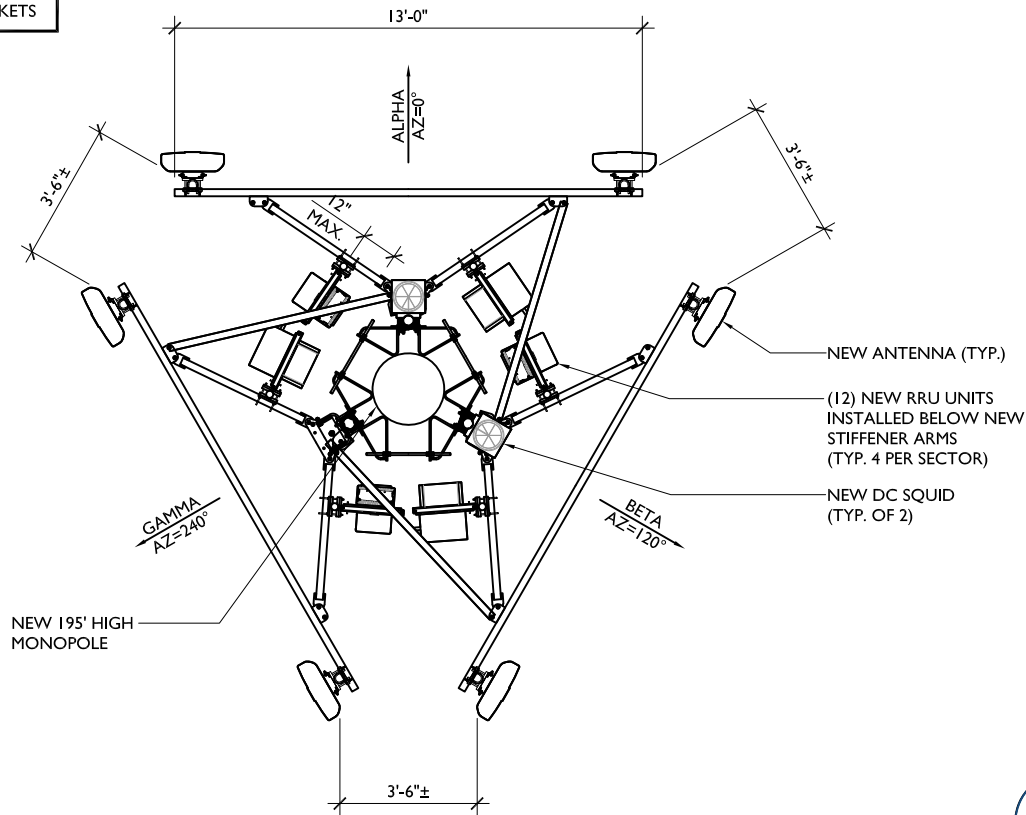
SITE
DETAILS

SHEET NUMBER

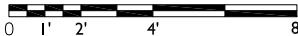
C-7

074

NOTE:
RRUS WILL BE MOUNTED
ON PIM-FRIENDLY BRACKETS



ANTENNA LAYOUT @ ELEV. = 190'-0' AGL

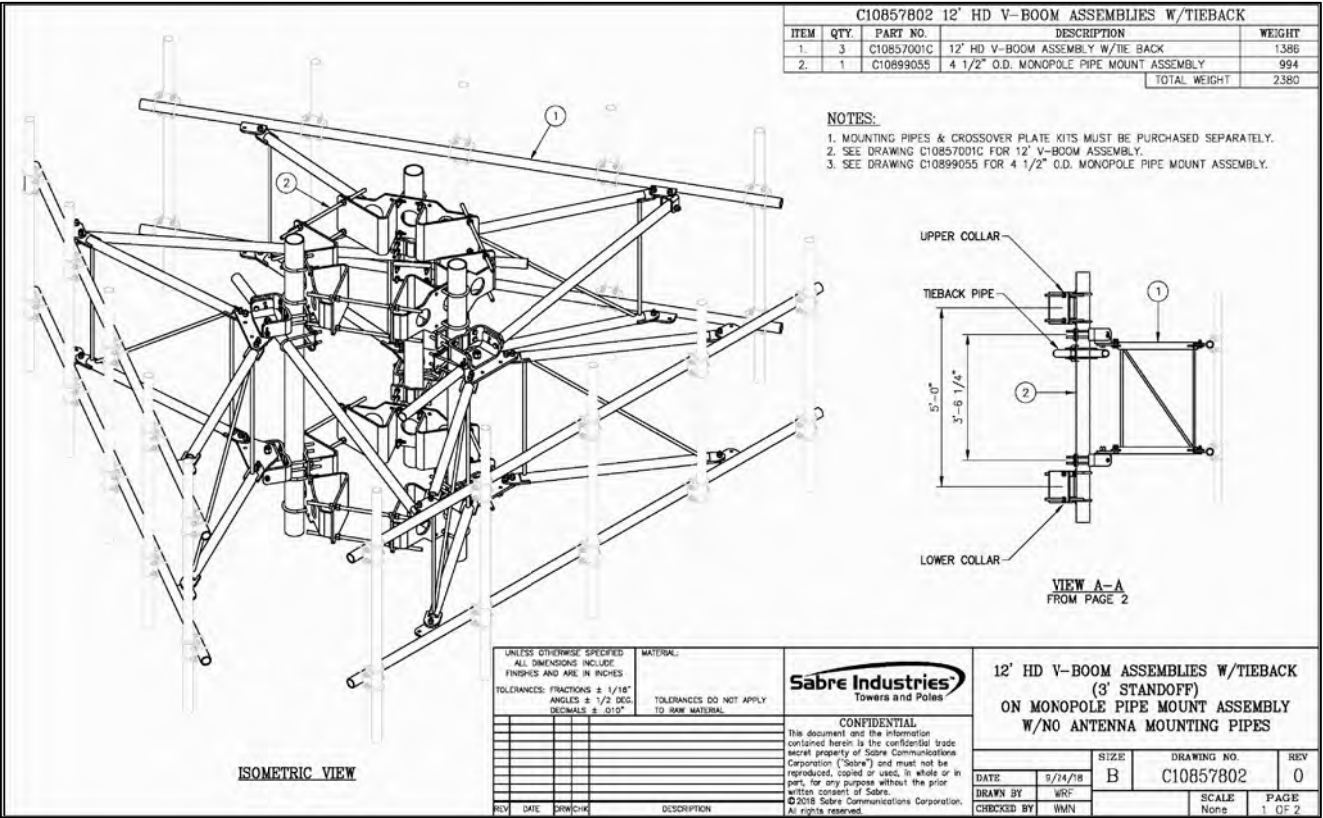


SCALE: 3/16" = 1'-0"

NOT USED

SCALE: N.T.S.

2



ANTENNA MOUNT SPECIFICATIONS

SCALE: N.T.S.

3

NOT USED

SCALE: N.T.S.

4

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SHEET NAME

ANTENNA PLAN
AND DETAILS

SHEET NUMBER

C-8

075

REV	DATE	DESCRIPTION	BY
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5450 S. MISSION ROAD
MT. PLEASANT, MI 48858

SHEET NAME

RF EQUIPMENT
SCHEDULE

SHEET NUMBER

C-8A

076

RF EQUIPMENT SCHEDULE

SECTOR/ POSITION		FREQUENCY BAND	ANTENNA MAKE / MODEL	RAD CENTER	AZIMUTH	ELECTRICAL TILT	MECHANICAL TILT	(QTY.) RADIO	(QTY.) TMA	(QTY.) SURGE PROTECTION	(QTY.) CABLES	CABLE LENGTH
ALPHA	A1	5G 850 LTE WCS	KMW EPBQ-654L8H8-L2-EPI-0T	190'±	0°	-	-	(1) 4T4R B5 160W AHCA (1) 4T4R B30 100W AHNA	-	(2) DC9-48060-24-8C-EV	(4) 1"Ø DC TRUNKS (PWRT-604-S) (2) 24 PR 10MM FIBER (RFFT-48SM-001)	220'-0"±
	A2	-	-	-	-	-	-	-	-	-	-	-
	A3	-	-	-	-	-	-	-	-	-	-	-
	A4	LTE 700 LTE 1900 LTE AWS	KMW EPBQ-654L8H8-L2-EPI-0T	190'±	0°	-	-	(1) 4T4R B12/14/29 370W AHLBBA (1) 4T4R B25/66 320W AHFIB	-	-	-	-
BETA	B1	5G 850 LTE WCS	KMW EPBQ-654L8H8-L2-EPI-0T	190'±	120°	-	-	(1) 4T4R B5 160W AHCA (1) 4T4R B30 100W AHNA	-	-	-	-
	B2	-	-	-	-	-	-	-	-	-	-	-
	B3	-	-	-	-	-	-	-	-	-	-	-
	B4	LTE 700 LTE 1900 LTE AWS	KMW EPBQ-654L8H8-L2-EPI-0T	190'±	120°	-	-	(1) 4T4R B12/14/29 370W AHLBBA (1) 4T4R B25/66 320W AHFIB	-	-	-	-
GAMMA	C1	5G 850 LTE WCS	KMW EPBQ-654L8H8-L2-EPI-0T	190'±	240°	-	-	(1) 4T4R B5 160W AHCA (1) 4T4R B30 100W AHNA	-	-	-	-
	C2	-	-	-	-	-	-	-	-	-	-	-
	C3	-	-	-	-	-	-	-	-	-	-	-
	C4	LTE 700 LTE 1900 LTE AWS	KMW EPBQ-654L8H8-L2-EPI-0T	190'±	240°	-	-	(1) 4T4R B12/14/29 370W AHLBBA (1) 4T4R B25/66 320W AHFIB	-	-	-	-
TOTALS			(6) ANTENNAS	N/A			(12) RRUs		(0) TMAs	(2) SPDs	(6) CABLES	N/A

<div><div><div><div><div><div></div><div>21.0"</div></div><div><div>6.3"</div><div>96.0"</div></div><div><div>6.3"</div><div>21.0"</div></div></div></div><div><div>PLAN VIEW</div><div>SIDE VIEW</div><div>FRONT VIEW</div></div><div><div><div>KMW - EPBQ-654L8H8-L2</div><div>12-PORT MULTI-BAND ANTENNA</div><div>FREQUENCY RANGE</div><div>698-806 MHz</div><div>806-894 MHz</div><div>1695-1850 MHz</div><div>1850-1910 MHz</div><div>1910-2180 MHz</div><div>2300-2400 MHz</div><div>ANTENNA 86.0 Lbs</div><div>BRACKET 7.5 Lbs</div><div>TOTAL WEIGHT 93.5 Lbs</div></div></div></div></div>				<div><div><div><div><div><div></div><div>14.09"</div></div><div><div>24.0"</div><div>12.7"</div></div><div><div>12.7"</div><div>14.09"</div></div></div></div><div><div>PLAN VIEW</div><div>SIDE VIEW</div><div>FRONT VIEW</div></div><div><div><div>NOKIA - AHLBBA-TRIBAND RRH B14/12/29</div><div>SUPPORTS 3 LOW BANDS IN 1 RRH</div><div>FREQUENCY RANGE</div><div>B12: DL 729-744 MHz, UL 699-714 MHz</div><div>B14: DL 758-768 MHz, UL 788-798 MHz</div><div>B29: DL 718-728 MHz</div><div>WEIGHT 94.8 Lbs</div></div></div></div></div>				<div><div><div><div><div><div></div><div>28.7"</div></div><div><div>15.4"</div><div>9.45"</div></div></div></div><div><div>NSN</div><div>AIRSCALE DUAL RRH 4T4R B25/B66 320W AHFIB</div><div>FREQUENCY RANGE</div><div>BAND B25: DL 1930-1995 MHz</div><div>UL 1850-1915 MHz</div><div>BAND B66: DL 2110-2200 MHz</div><div>UL 1710-1780 MHz</div><div>UNIT WEIGHT 88 Lbs</div></div></div></div>				<div><div><div><div><div><div></div><div>96.0"</div></div><div><div>21.0"</div><div>6.3"</div></div></div></div><div><div>PLAN VIEW</div><div>SIDE VIEW</div><div>FRONT VIEW</div></div><div><div><div>KMW - EPBQ-654L8H8-L2</div><div>12-PORT MULTI-BAND ANTENNA</div><div>FREQUENCY RANGE</div><div>698-806 MHz</div><div>806-894 MHz</div><div>1695-1850 MHz</div><div>1850-1910 MHz</div><div>1910-2180 MHz</div><div>2300-2400 MHz</div><div>ANTENNA 86.0 Lbs</div><div>BRACKET 7.5 Lbs</div><div>TOTAL WEIGHT 93.5 Lbs</div></div></div></div></div>				<div><div><div><div><div><div></div><div>14.09"</div></div><div><div>24.0"</div><div>12.7"</div></div><div><div>12.7"</div><div>14.09"</div></div></div></div><div><div>PLAN VIEW</div><div>SIDE VIEW</div><div>FRONT VIEW</div></div><div><div><div>NOKIA - AHLBBA-TRIBAND RRH B14/12/29</div><div>SUPPORTS 3 LOW BANDS IN 1 RRH</div><div>FREQUENCY RANGE</div><div>B12: DL 729-744 MHz, UL 699-714 MHz</div><div>B14: DL 758-768 MHz, UL 788-798 MHz</div><div>B29: DL 718-728 MHz</div><div>WEIGHT 94.8 Lbs</div></div></div></div></div>				<div><div><div><div><div><div></div><div>28.7"</div></div><div><div>15.4"</div><div>9.45"</div></div></div></div><div><div>NSN</div><div>AIRSCALE DUAL RRH 4T4R B25/B66 320W AHFIB</div><div>FREQUENCY RANGE</div><div>BAND B25: DL 1930-1995 MHz</div><div>UL 1850-1915 MHz</div><div>BAND B66: DL 2110-2200 MHz</div><div>UL 1710-1780 MHz</div><div>UNIT WEIGHT 88 Lbs</div></div></div></div>				<div><div><div><div><div><div></div><div>96.0"</div></div><div><div>21.0"</div><div>6.3"</div></div></div></div><div><div>PLAN VIEW</div><div>SIDE VIEW</div><div>FRONT VIEW</div></div><div><div><div>KMW - EPBQ-654L8H8-L2</div><div>12-PORT MULTI-BAND ANTENNA</div><div>FREQUENCY RANGE</div><div>698-806 MHz</div><div>806-894 MHz</div><div>1695-1850 MHz</div><div>1850-1910 MHz</div><div>1910-2180 MHz</div><div>2300-2400 MHz</div><div>ANTENNA 86.0 Lbs</div><div>BRACKET 7.5 Lbs</div><div>TOTAL WEIGHT 93.5 Lbs</div></div></div></div></div>			
ANTENNA SPECS		SCALE: N.T.S.		1		RRU SPECS		SCALE: N.T.S.		2		RRU SPECS		SCALE: N.T.S.		3		NOT USED		SCALE: N.T.S.		4					
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RRU SPECS		SCALE: N.T.S.		5		NOT USED		SCALE: N.T.S.		9		RAYCAP SPECS		SCALE: N.T.S.		10		NOT USED		SCALE: N.T.S.		11					

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INFRASTRUCTURE

AT&T

mobility corp.

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A	02/24/22	90% REVIEW	LA
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SITE NAME

OML06772

SITE NUMBER:

PIMI429

SITE ADDRESS

5450 S. MISSION ROAD

MT. PLEASANT, MI 48858

SHEET NAME

EQUIPMENT SPECIFICATIONS

SHEET NUMBER

C-8B

077

Parallel
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077

LEGEND

EXISTING CONTOURS — — — —

SILT FENCE ———— /// ———— ///

SILT FENCE /// ///

NOTES:

1. CIVIL ENGINEERING DESIGN AND CALCULATIONS NOT PERFORMED.
2. CONTRACTOR TO CLEAR AND GRUB EXISTING VEGETATION AS NEEDED WITHIN LEASE AREA, ACCESS ROAD AND TURNAROUND AREA.

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SHEET NAME

SITE GRADING PLAN

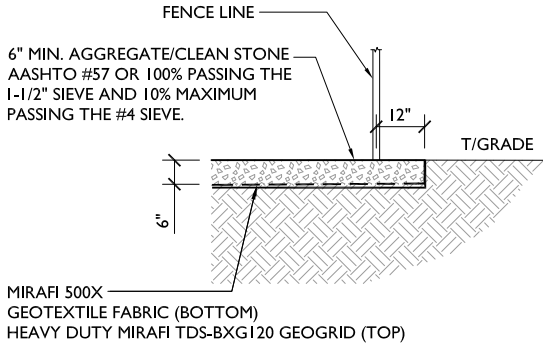
SHEET NUMBER

C-9

078

PROJECT# 2020.0198.0094

1. BEFORE STARTING GENERAL SITE PREPARATION ACTIVITIES, INSTALL EROSION AND SEDIMENT CONTROL MEASURES. THE WORK AREA SHALL BE CONSTRUCTED AND MAINTAINED IN SUCH CONDITION THAT IN THE EVENT OF RAIN THE SITE WILL BE WELL DRAINED AT ALL TIMES.
2. PERFORM ALL SURVEY, LAYOUT, STAKING AND MARKING TO ESTABLISH AND MAINTAIN ALL LINES, GRADES, ELEVATIONS AND BENCHMARKS NEEDED FOR EXECUTION OF THE WORK.
3. LOCATE AND CLEARLY FLAG TREES, VEGETATION AND EXISTING SITE CONDITIONS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL COORDINATE WITH PROJECT MANAGER TO ESTABLISH INSPECTIONS AND APPROVAL PROCESS FOR ALL SITE WORK.
5. EXCAVATION AND STRUCTURAL BACKFILL FOR TOWER AND EQUIPMENT FOUNDATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. CONTRACTOR IS REQUIRED TO OBTAIN A COPY OF THE REPORT PRIOR TO CONSTRUCTION.
6. SUITABLE NON-STRUCTURAL BACKFILL: EXCAVATED INORGANIC MATERIAL, COHESIVE AND NON-COHESIVE MATERIALS, INCLUDING GRAVEL, SAND, SILT, CLAY, AND COMBINATIONS THEREOF FREE FROM REFUSE, FROZEN LUMPS, STONES OR ROCKS LARGER THAN 3 INCHES.
7. UNSUITABLE BACKFILL: TOP SOIL, HIGH AND MODERATELY PLASTIC SILTS AND CLAY, MATERIAL CONTAINING REFUSE, FROZEN LUMPS, DEMOLISHED BITUMINOUS MATERIAL, VEGETATIVE MATTER, WOOD, STONES IN EXCESS OF 3 INCHES.
8. CLEAR AND GRUB THE AREA WITHIN THE LIMITS OF THE SITE AND ONLY THE IMMEDIATE SURROUNDINGS NECESSARY TO COMPLETE THE WORK. REMOVE THE FOLLOWING MATERIALS TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE ORIGINAL GROUND SURFACE: TREES, BRUSH, ROOTS, STUMPS, RUBBISH AND OTHER DEBRIS AND VEGETATION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE SITE AREA.
9. CLEAR, GRUB, STRIP AND EXCAVATE FOR THE ACCESS ROAD AND TOWER COMPOUND TO THE LINES AND GRADES INDICATED ON THE DRAWINGS. SCARIFY TO A DEPTH OF 6 INCHES AND PROOF-ROLL. ALL DEPRESSIONS, SOFT PLACES AND OTHER DEFECTS SHALL BE FILLED AND COMPACTED WITH SUITABLE FILL.
10. ALL MATERIALS AND DEBRIS RESULTING FROM CLEARING AND GRUBBING OPERATIONS SHALL BE REMOVED FROM THE SITE AND DISPOSED PROPERLY. BURNING IS NOT PERMITTED.
11. GEOTEXTILE FABRIC SHALL BE INSTALLED PER MANUFACTURER RECOMMENDATIONS.
12. REMOVE ALL FORMWORK RESULTING FROM CONCRETE CONSTRUCTION PRIOR TO BACKFILL.
13. UNDISTURBED SUBGRADE SHALL BE COMPACTED TO A DENSITY EQUAL TO ADJACENT GROUND.
14. ALL SUITABLE FILL MATERIAL SHALL BE INSTALLED IN HORIZONTAL LAYERS NOT EXCEEDING A LOOSE DEPTH OF 9 INCHES AND SHALL BE COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY PER THE MODIFIED PROCTOR TEST, ASTM D1557.
15. WHEN SOFT, YIELDING OR OTHERWISE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED AT THE REQUIRED TRENCH BOTTOM ELEVATION, OVER-EXCAVATE THE TRENCH TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE REQUIRED ELEVATION AND BACKFILL WITH GRANULAR BEDDING MATERIAL.
16. COMPACT FINAL BACKFILL TO A DENSITY EQUAL TO OR GREATER THAN THAT OF THE EXISTING UNDISTURBED MATERIAL IMMEDIATELY ADJACENT TO EXCAVATION BUT NO LESS THAN A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE MODIFIED PROCTOR TEST, ASTM D1557.
17. UTILIZE SUITABLE FILL MATERIALS RESULTING FROM THE EXCAVATION WORK IN THE CONSTRUCTION OF FILL, ACCESS ROAD, SITE GRADING AND FOR THE REPLACEMENT OF REMOVED UNSUITABLE MATERIALS.
18. SITE AND ACCESS ROAD AGGREGATE SUB-BASE, BASE AND SURFACE COURSES SHALL BE CONSTRUCTED IN LAYERS NOT MORE THAN 6 INCHES LOOSE THICKNESS AND COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE MODIFIED PROCTOR TEST, ASTM D1557.
19. PERFORM ALL FINISHED GRADING TO PROVIDE SMOOTH, EVEN SURFACE AND SUBSURFACE DRAINAGE OF THE ENTIRE AREA WITHIN THE LIMITS OF CONSTRUCTION. GRADING SHALL BE COMPATIBLE WITH ALL SURROUNDING TOPOGRAPHY AND STRUCTURES.



YARD DETAIL

SCALE: N.T.S.

2

NOT USED

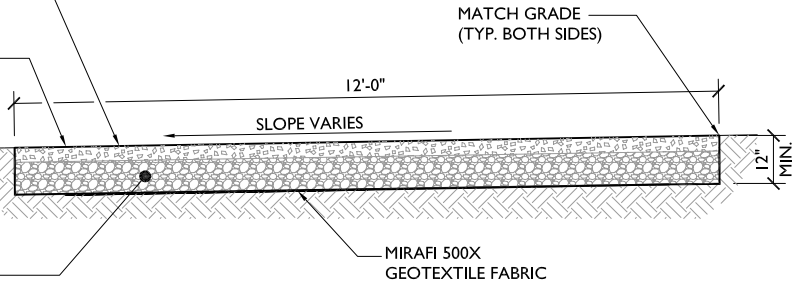
SCALE: N.T.S.

3

FINAL ACCESS ROAD SHALL BE PLACED
AFTER MAJOR CONSTRUCTION AND
TOWER ERECTION IS COMPLETED.

COMPACTED SCREENED ASPHALT MILLINGS,
2" AND SMALLER SIZE
NOTE: IF ASPHALT MILLINGS ARE NOT IN
SEASON OR READILY AVAILABLE, USE 6" CA-6
DENSE GRADED CRUSHER RUN AGGREGATE,
3/4" STONE AND SMALLER WITH FINES (100%
PASSING 1" SIEVE, ±8% PASSING #200 SIEVE)

6" MIN. BASE - COMPACTED SCREENED ASPHALT
MILLINGS, 2" AND SMALLER SIZE
NOTE: IF ASPHALT MILLINGS ARE NOT IN SEASON
OR READILY AVAILABLE, USE 6" AASHTO #3 OR 100%
PASSING 2-1/2" SIEVE AND A MAXIMUM OF 15%
PASSING THE 1" SIEVE



SITE NOTES

SCALE: N.T.S.

I

GRAVEL DRIVEWAY TYPICAL SECTION

SCALE: N.T.S.

4

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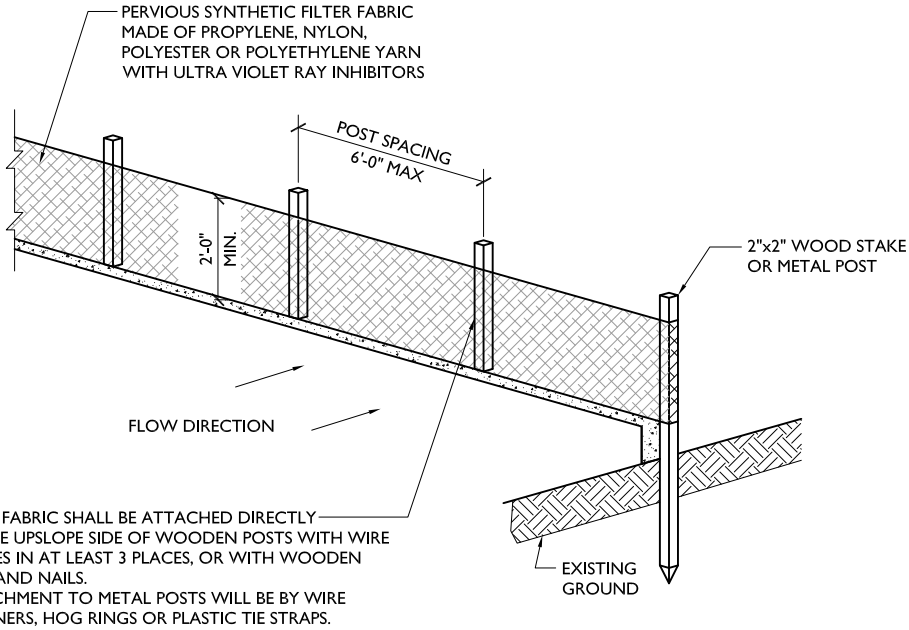
SHEET NUMBER

C-10

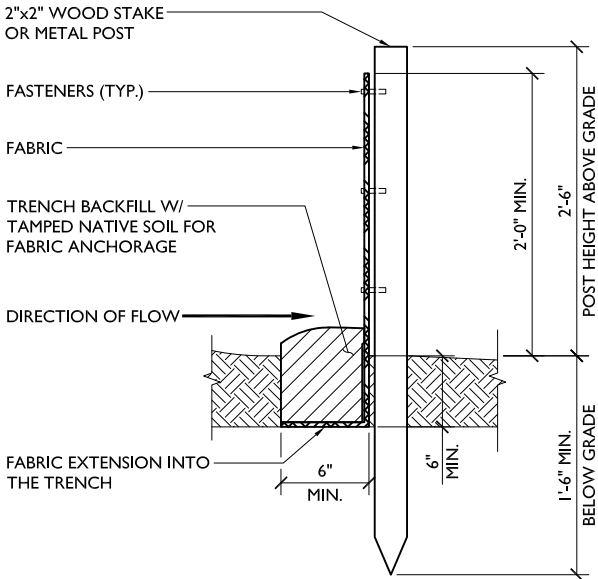
079

NOTES:

1. ALL VEGETATIVE AND STRUCTURAL EROSION CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE APPLICABLE STATE ADOPTED "PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL" AND THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" OF THE STATE ENVIRONMENTAL PROTECTION AGENCY.
2. A SOIL EROSION CONTROL FENCE SHALL BE INSTALLED BEFORE DISTURBING THE GROUND AND SHALL BE PROVIDED AS SHOWN ON THE PLAN. THE CONDITION OF THE FENCE SHALL BE INSPECTED REGULARLY AND AFTER EVERY RAINSTORM THAT MIGHT PRODUCE RUNOFF. DAMAGED OR DETERIORATED ITEMS SHALL BE REPLACED AND MAINTAINED IN AN EFFECTIVE CONDITION
3. SOIL EROSION CONTROL MEASURES SHALL BE INCLUDED IN CONTRACTOR BID AND PRICING
4. THE ENTIRE SITE SHALL BE GRADED SO THAT NO STORM WATER RUNOFF AND LIKEWISE SOIL SEDIMENT CAN FLOW UNRESTRICTED FROM THE SITE
5. ALL INLETS, STRUCTURES, PIPES, SWALES, AND ROADS SHALL BE KEPT CLEAN AND FREE OF DIRT AND SILT
6. MAINTAIN SOIL EROSION CONTROL MEASURES THROUGH THE DURATION OF THIS PROJECT
7. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN REACHING ONE HALF THE HEIGHT OF THE BARRIER
8. ALL SOIL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL ALL DISTURBED EARTH HAS BEEN PAVED OR VEGETATED
9. ANY EXCESS TOPSOIL THAT IS TO BE STOCKPILED FOR A PERIOD LONGER THAN 2 WEEKS SHALL BE PROTECTED BY EXCAVATING A TRENCH COMPLETELY AROUND THE STOCKPILE TO PREVENT THE ESCAPE OF SOIL MATERIAL THROUGH STORM WATER RUNOFF. STOCKPILES THAT ARE TO REMAIN LONGER THAN 14 DAYS SHALL BE SEEDED WITH AN APPROPRIATE GROUND COVER
10. TO PREVENT SOIL FROM LEAVING THE SITE ON CONSTRUCTION VEHICLE WHEELS, TEMPORARY GRAVEL ROADS AT WORK ENTRANCES SHALL BE CONSTRUCTED AND SHALL EXTEND INTO JOB SITE. THE EXISTING PAVEMENT SURFACES SHALL BE INSPECTED DAILY FOR SOIL DEBRIS AND SHALL BE CLEANED WHEN NECESSARY
11. REPLACE SOIL EROSION CONTROL MEASURES WITH SEED, SOD AND TOPSOIL AT THE COMPLETION OF THE PROJECT
12. SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN PROJECT IS COMPLETED



ISOMETRIC VIEW

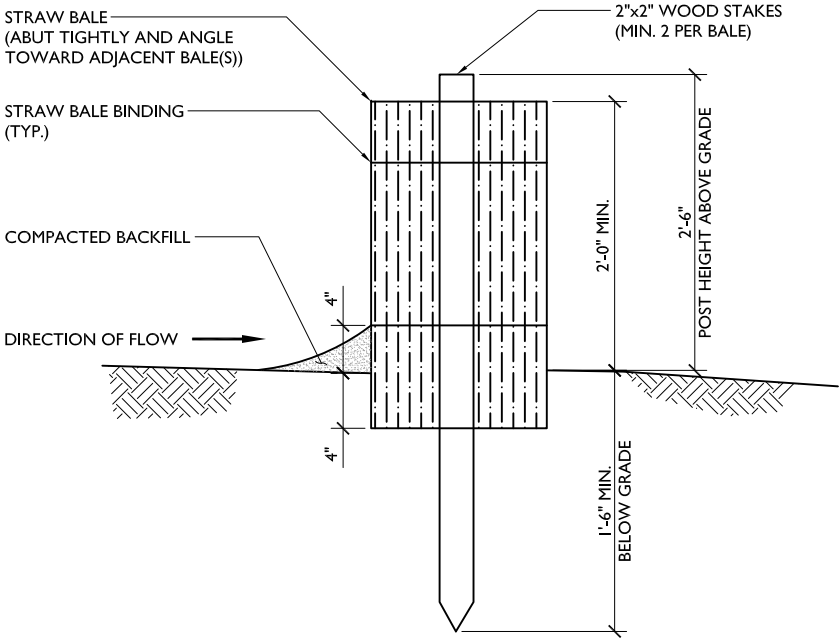


SECTION VIEW

EROSION CONTROL - SILT FENCE

SCALE: N.T.S.

2



SECTION VIEW

SOIL EROSION AND SEDIMENT CONTROL NOTES

SCALE: N.T.S.

I

EROSION CONTROL - STRAW BALE (OPTIONAL)

SCALE: N.T.S.

3

Parallel
INFRASTRUCTURE



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B	03/24/22	90% REVIEW	LA

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PRELIMINARY NOT FOR CONSTRUCTION

SITE NAME

OML06772

SITE NUMBER:

PIMI429

SITE ADDRESS

5450 S. MISSION ROAD
MT. PLEASANT, MI 48858

SHEET NAME

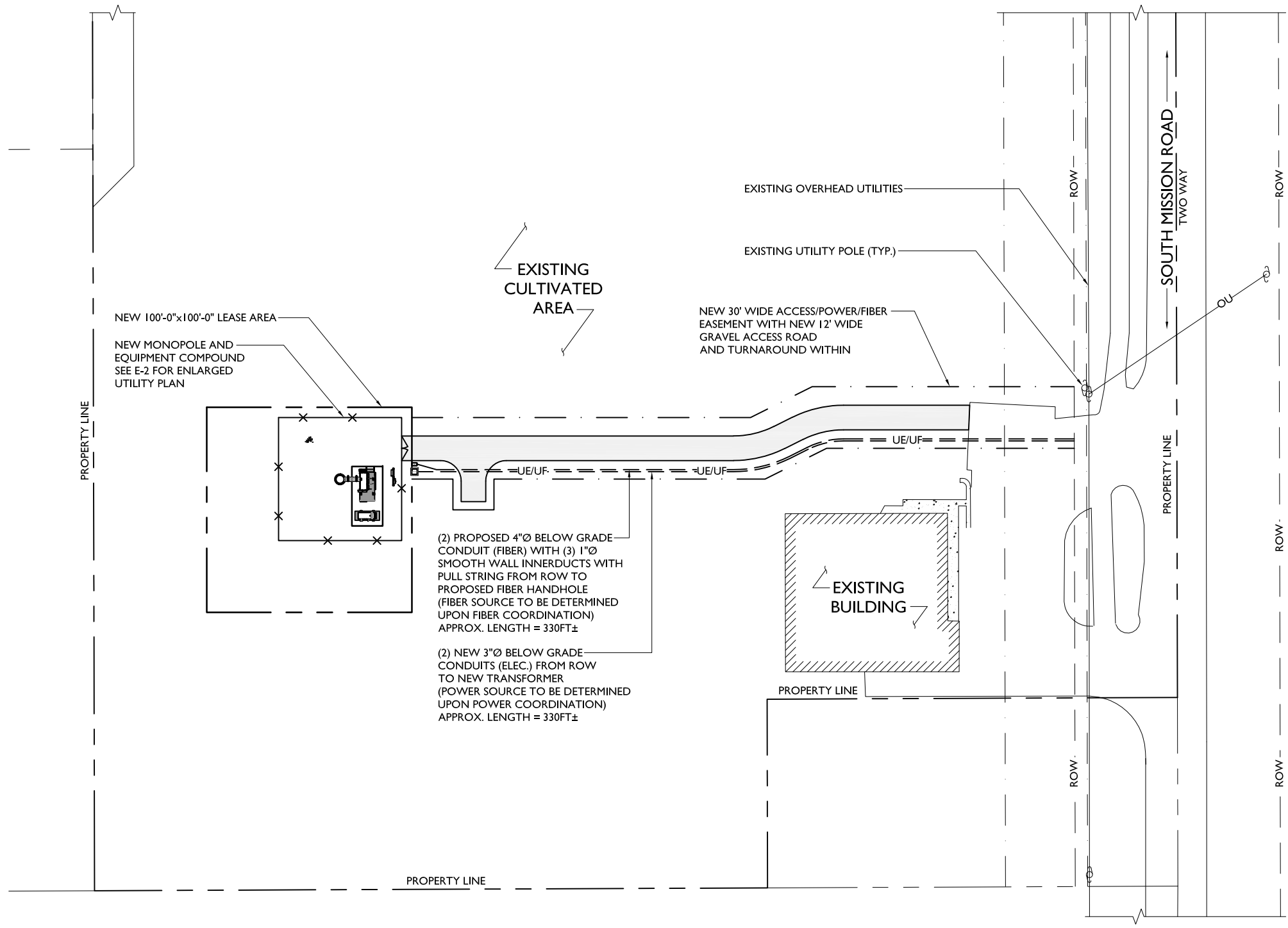
EROSION
CONTROL DETAILS

SHEET NUMBER

C-II

080

NOTE:
EXACT SOURCE AND ROUTING OF POWER AND FIBER TO BE DETERMINED UPON COORDINATION WITH POWER AND FIBER COMPANIES.



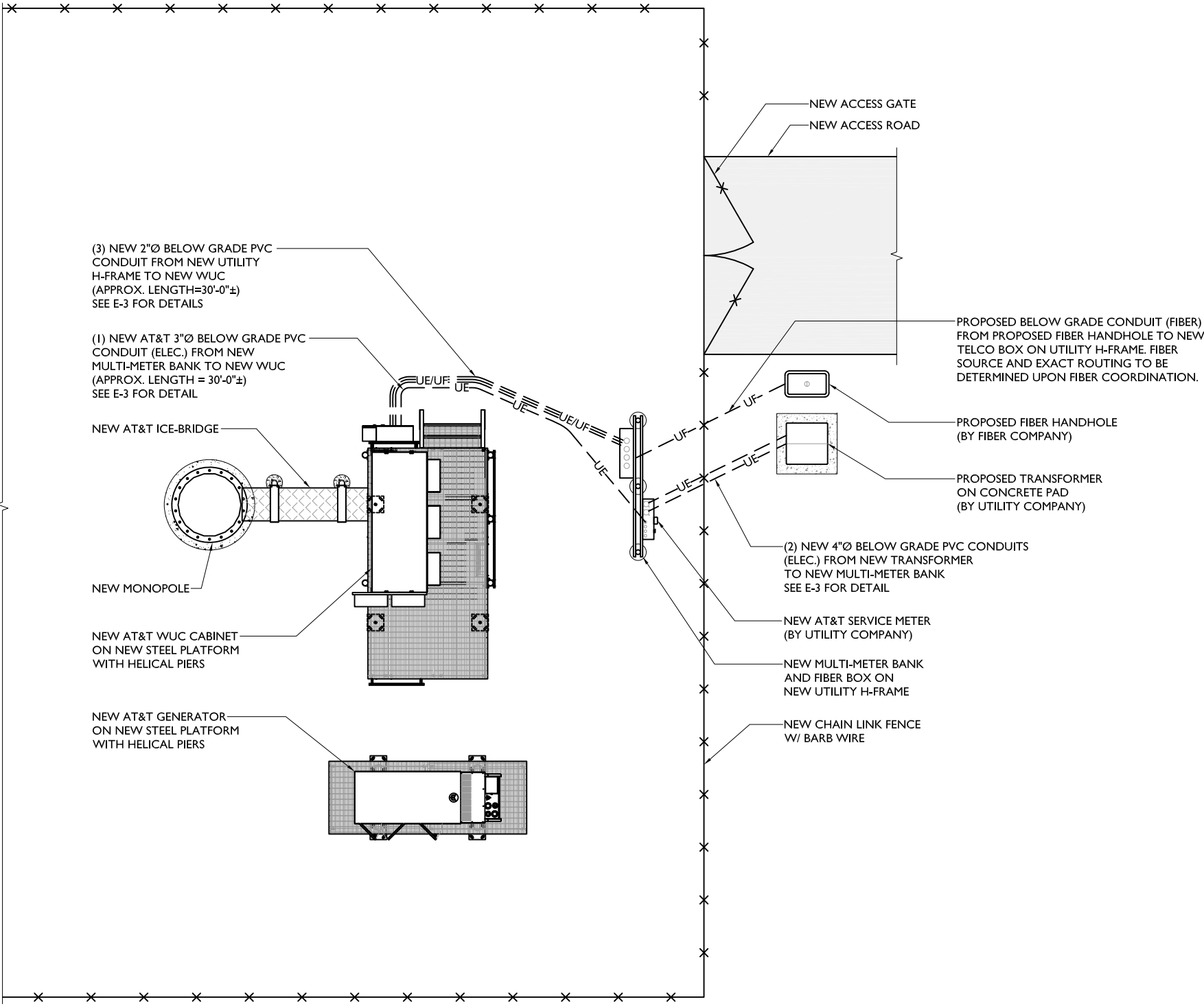
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SITE NAME	OML06772
SITE NUMBER:	PIMI429
SITE ADDRESS	5450 S. MISSION ROAD MT. PLEASANT, MI 48858
SHEET NAME	UTILITY PLAN
SHEET NUMBER	E-1



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SITE NAME

OML06772

SITE NUMBER:

PIMI429

SITE ADDRESS

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MT. PLEASANT, MI 48858

SHEET NAME

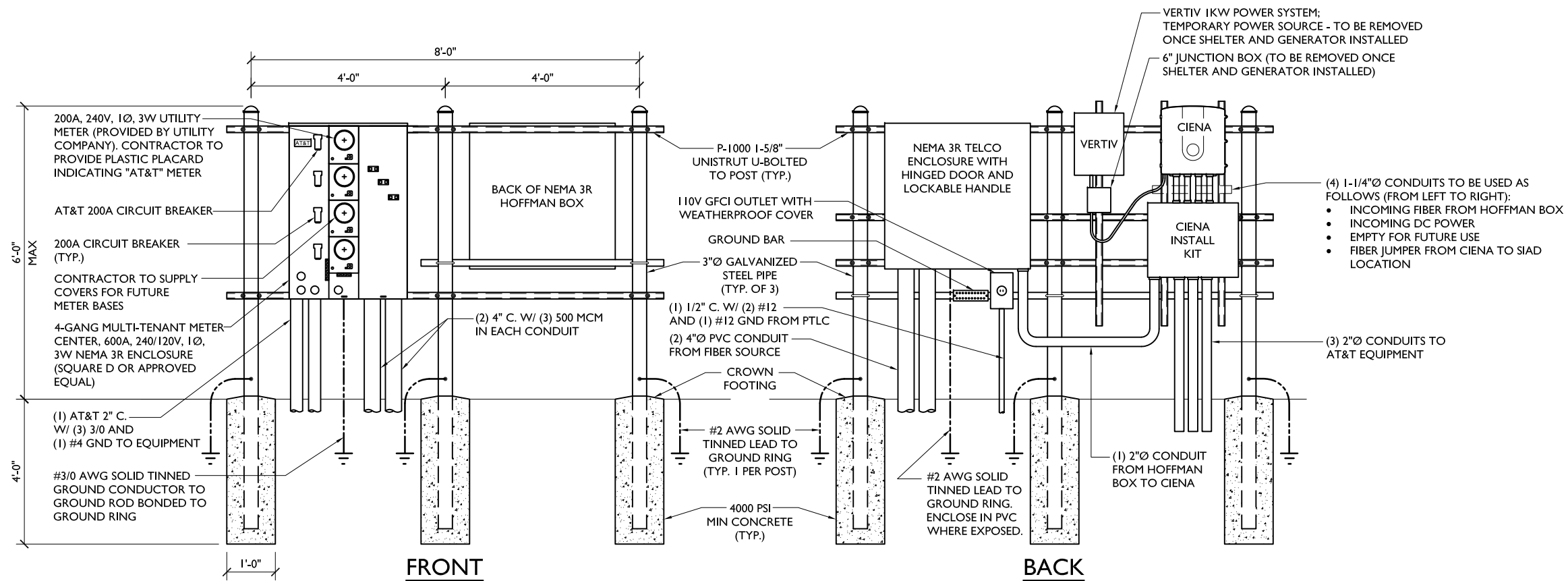
ENLARGED
UTILITY PLAN

SHEET NUMBER

E-2

082





Parallel
INFRASTRUCTURE



FULLERTON

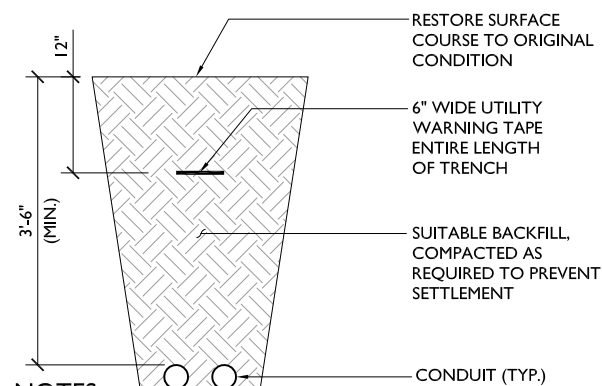
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UTILITY BACKBOARD H-FRAME

SCALE: N.T.S. | 1



TRENCH DETAIL

SCALE: N.T.S.

2

NOT USED

SCALE: N.T.S.

3

NOT USED

SCALE: N.T.S.

4

NOT USED

SCALE: N.T.S.

5

SITE NAME

OML06772

SITE NUMBER:

PIMI429

SITE ADDRESS

5450 S. MISSION ROAD
MT. PLEASANT, MI 48858

SHEET NAME

UTILITY
DETAILS

SHEET NUMBER

E-3

083

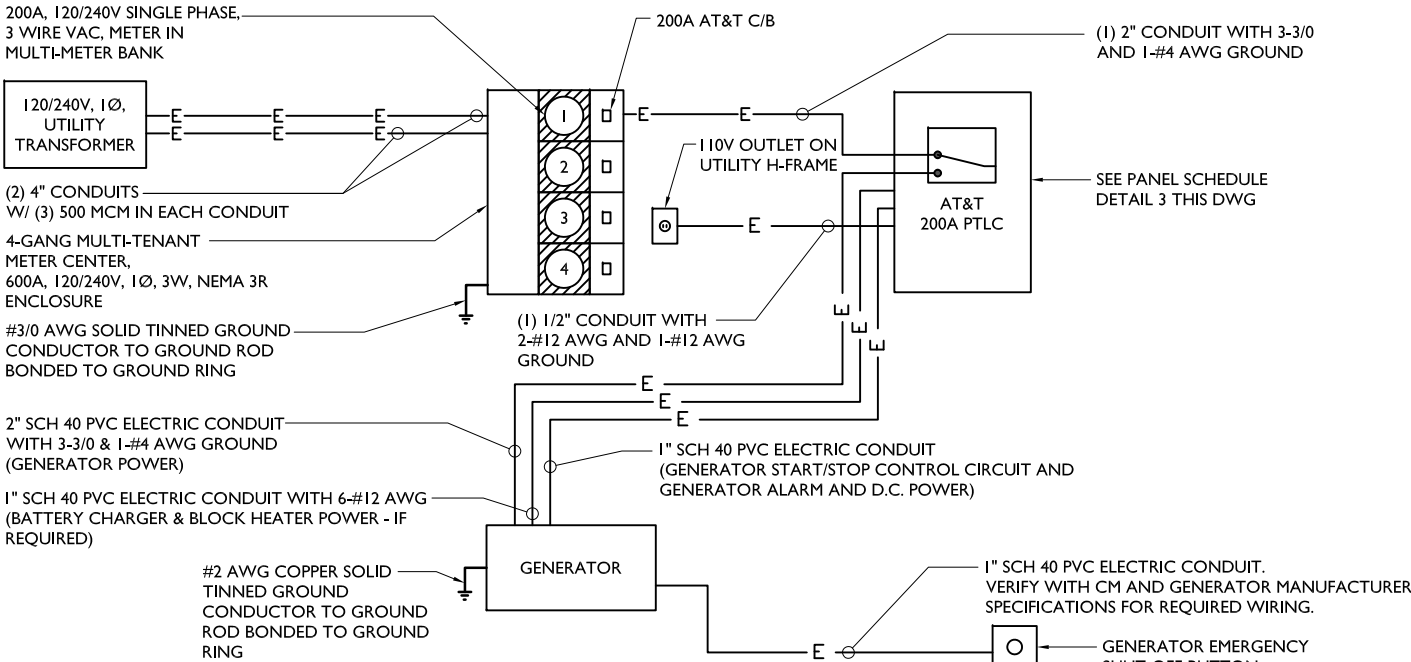
PROJECT# 2020.0198 . 0094

1. THE CONTRACTOR SHALL PERFORM WORK IN ACCORDANCE WITH ALL GOVERNING STATE, COUNTY AND LOCAL CODES AND OSHA REQUIREMENTS.
2. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY ALL APPLICABLE CODES.
3. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, INSTALLATION, CONSTRUCTION TOOLS AND TRANSPORTATION FOR A COMPLETE AND PROPERLY OPERATIVE SYSTEM ENERGIZED THROUGHOUT AND AS INDICATED ON DRAWINGS.
4. THE CONTRACTOR SHALL OBTAIN ALL PERMITS, PAY PERMIT AND INSPECTION FEES, AND BE RESPONSIBLE FOR SCHEDULING INSPECTIONS WITH THE AUTHORITY HAVING JURISDICTION.
5. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, IEEE, NEMA AND NFPA.
6. ALL MATERIALS SHALL BE U.L. LISTED.
7. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN PERFECT CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT.
8. MATERIALS SHALL MEET WITH APPROVAL OF THE AUTHORITY HAVING JURISDICTION.
9. THE CONTRACTOR SHALL PERFORM ALL VERIFICATION OBSERVATIONS TEST, AND EXAMINATION WORK PRIOR TO THE ORDERING OF THE ELECTRICAL EQUIPMENT AND STARTING CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE PROJECT MANAGER LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT AND DISCREPANCIES.
10. THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF THE TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL HOOKUP COSTS TO BE PAID BY CONTRACTOR.
11. UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT, AND FALL OF POTENTIAL GROUND TESTS FOR APPROVAL. SUBMIT TEST REPORTS TO THE PROJECT MANAGER.
12. ALL BROCHURES, OPERATING MANUALS, CATALOGS, SHOP DRAWINGS, ETC. SHALL BE TURNED OVER TO THE PROJECT MANAGER AT JOB COMPLETION.
13. POST-INSTALLATION, ANY WORK, MATERIAL OR EQUIPMENT FOUND TO BE FAULTY SHALL BE CORRECTED AT ONCE, UPON WRITTEN NOTIFICATION, AT THE EXPENSE OF THE CONTRACTOR.
14. PROVIDE THE PROJECT MANAGER WITH ONE SET OF COMPLETE ELECTRICAL "AS-INSTALLED" DRAWINGS AT THE COMPLETION OF THE JOB, SHOWING ACTUAL DIMENSIONS, ROUTINGS AND CIRCUITS.
15. ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENT ENGRAVED PLASTIC LABELS NOTING USE FUNCTION.
16. EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANEL BOARD, PULL BOX, J-BOX, SWITCH BOX, ETC.
17. ALL CONDUIT INSTALLED SHALL BE SURFACE MOUNTED OR DIRECT BURIAL UNLESS OTHERWISE NOTED.
18. ALL CONDUIT SHALL HAVE A PULL WIRE OR ROPE.
19. ALL CONDUCTORS SHALL BE COPPER.
20. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED, AND A MINIMUM OF 10,000 A.I.C.
21. PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
22. PENETRATIONS IN FIRE RATED WALLS SHALL BE FIRE STOPPED TO MATCH ORIGINAL RATING.
23. BX OR ROMEX CABLE IS NOT PERMITTED.
24. ALL ELECTRICAL/FIBER ENCLOSURES, JUNCTION BOXES, CONDUIT KNOCKOUTS, RACEWAYS, ETC. SHALL BE RODENT-PROOF.
25. CLEAN PREMISES OF ALL DEBRIS RESULTING FROM WORK AND LEAVE WORK IN A COMPLETE AND UNDAMAGED CONDITION.

ELECTRICAL NOTES

SCALE: N.T.S.

PANEL SCHEDULE



POWER DIAGRAM

SCALE: N.T.S.

2

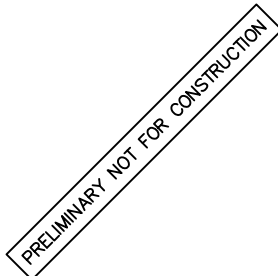
INTEGRATED LOAD CENTER																											
LOAD				LOAD PER PHASE (VA)		WIRE COLOR	LOADS CONTINUOUS	LOADS NON-CONTINUOUS	LOADS SUB-PANEL	WIRE SIZE	GROUNDING WIRE SIZE	TRIP	TRIP	GROUNDING WIRE SIZE	WIRE SIZE	LOADS SUB-PANEL	LOADS NON-CONTINUOUS	LOADS CONTINUOUS	WIRE COLOR	LOAD PER PHASE (VA)		UNIT V.A.	QTY.	LOAD			
DESCRIPTION		QTY.	UNIT V.A.	PHASE																PHASE				UNIT V.A.	QTY.	DESCRIPTION	
				A	B																						
I	RECTIFIER #1		I	I400	I400		BLK	X			8	(10)	40	40	(10)	8			X	BLK	I400		I400	I	RECTIFIER #5		2
3			I	I400		I400	RED												RED		I400	I400	I	4			
5	RECTIFIER #2		I	I400	I400		BLK	X			8	(10)	40	40	(10)	8			X	BLK	I400		I400	I	RECTIFIER #6		6
7			I	I400		I400	RED												RED		I400	I400	I	8			
9	RECTIFIER #3		I	I400	I400		BLK	X			8	(10)	40	40	(10)	8			X	BLK	I400		I400	I	RECTIFIER #7		10
12			I	I400		I400	RED												RED		I400	I400	I	12			
13	RECTIFIER #4		I	I400	I400		BLK	X			8	(10)	40	40	(10)	8			X	BLK	I400		I400	I	RECTIFIER #8		14
15			I	I400		I400	RED												RED		I400	I400	I	16			
17							BLK												BLK								18
19							RED	X			12	12	20						RED								20
21	GFCI RECEPTACLES		2	180	360		BLK	X			12	(12)	20						BLK								22
23	OPTIONAL FIBER BOX RECEPTACLE		I	180		180	RED	X			12	12	20						RED								24
25	BATTERY CHARGER / BLOCK HEATER (IF REQUIRED)		I	240	480		BLK	X			12	12	20						BLK								26
27							RED												RED								28
29	OIL HEATER (IF REQUIRED)		I	180	180		BLK	X			12	12	20						BLK								30
			SUBTOTAL CONTINUOUS		6,380	7,280											5,600	5,600	SUBTOTAL CONTINUOUS		TOTAL KVA CONTINUOUS x 1.25		31.075				
			SUBTOTAL NON-CONTINUOUS		-	-											-	-	SUBTOTAL NON-CONTINUOUS		TOTAL KVA NON-CONTINUOUS		-				
			SUBTOTAL SUB-PANEL		-	-											-	-	SUBTOTAL SUB-PANEL		TOTAL KVA SUB-PANEL		-				
PANEL DESIGNATIONELECTRICAL PANEL (ITEM 2)																											
MAIN LUGS N/A			MAIN BREAKER200 AMP								BRANCH BREAKER TYPEBIMENS - BL							TOTAL KVA		31.075							
VOLTAGE: 120/240			CYCLE: 60		PHASE: I		WIRES: 3		MAIN COPPER BUS: 200 AMPS				NEUTRA200 AMPS						TOTAL AMPS		129.48						



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SITE NAME

OML06772

SITE NUMBER:

PIMI429

SITE ADDRESS

5450 S. MISSION ROAD
MT. PLEASANT, MI 48858

SHEET NAME
**ELECTRICAL PANEL
SCHEDULE, DIAGRAM
AND NOTES**

SHEET NUMBER

E-4
084

1. GROUNDING SHALL COMPLY WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE.
2. ALL GROUNDING DEVICES SHALL BE U.L. APPROVED OR LISTED FOR THEIR INTENDED USE.
3. ALL WIRES SHALL BE AWG THHN/THWN COPPER UNLESS NOTED OTHERWISE.
4. GROUNDING CONNECTIONS TO GROUND RODS, GROUND RING WIRE, TOWER BASE AND FENCE POSTS SHALL BE EXOTHERMIC ("CADWELDS") UNLESS NOTED OTHERWISE. CLEAN SURFACES TO SHINY METAL. WHERE GROUND WIRES ARE CADWELDED TO GALVANIZED SURFACES, SPRAY CADWELD WITH GALVANIZING PAINT.
5. GROUNDING CONNECTIONS TO GROUND BARS ARE TO BE TWO-HOLE BRASS MECHANICAL CONNECTORS WITH STAINLESS STEEL HARDWARE (INCLUDING SCREW SET) CLEAN GROUND BAR TO SHINY METAL. AFTER MECHANICAL CONNECTION, TREAT WITH PROTECTIVE ANTIOXIDANT COATING.
6. GROUND COAXIAL CABLE SHIELDS AT BOTH ENDS WITH MANUFACTURER'S GROUNDING KITS.
7. ROUTE GROUNDING CONDUCTORS THE SHORTEST AND STRAIGHTEST PATH POSSIBLE. BEND GROUNDING LEADS WITH A MINIMUM 12" RADIUS.
8. INSTALL #2 AWG GREEN-INSULATED STRANDED WIRE FOR ABOVE GRADE GROUNDING AND #2 BARE TINNED COPPER WIRE FOR BELOW GRADE GROUNDING UNLESS OTHERWISE NOTED.
9. REFER TO GROUNDING PLAN FOR GROUND BAR LOCATIONS. GROUNDING CONNECTIONS SHALL BE EXOTHERMIC TYPE ("CADWELDS") TO ANTENNA MOUNTS AND GROUND RING. REMAINING GROUNDING CONNECTIONS SHALL BE COMPRESSION FITTINGS. CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO-HOLE LUGS.
10. THE GROUND ELECTRODE SYSTEM SHALL CONSIST OF DRIVEN GROUND RODS POSITION ACCORDING TO GROUNDING PLAN. THE GROUND RODS SHALL BE 5/8"x10'-0" COPPER CLAD STEEL INTERCONNECTED WITH #2 BARE TINNED COPPER WIRE BURIED 36" BELOW GRADE. BURY GROUND RODS A MAXIMUM OF 15' APART, AND A MINIMUM OF 8' APART.
11. IF ROCK IS ENCOUNTERED GROUND RODS SHALL BE PLACED AT AN OBLIQUE ANGLE NOT TO EXCEED 45°.
12. EXOTHERMIC WELDS SHALL BE MADE IN ACCORDANCE WITH ERICO PRODUCTS BULLETIN A-AT.
13. CONSTRUCTION OF GROUND RING AND CONNECTIONS TO EXISTING GROUND RING SYSTEM SHALL BE DOCUMENTED WITH PHOTOGRAPHS PRIOR TO BACKFILLING SITE. PROVIDE PHOTOS TO THE CARRIER CONSTRUCTION MANAGER.
14. ALL GROUND LEADS EXCEPT THOSE TO THE EQUIPMENT ARE TO BE #2 BARE TINNED COPPER WIRE. ALL EXTERIOR GROUND BARS TINNED COPPER.
15. PRIOR TO INSTALLING LUGS ON GROUND WIRES, APPLY THOMAS & BETTS KOPR-SHIELD (TM OF JET LUBE INC.). PRIOR TO BOLTING GROUND WIRE LUGS TO GROUND BARS, APPLY KOPR-SHIELD OR EQUAL.
16. ENGAGE AN INDEPENDENT ELECTRICAL TESTING FIRM TO TEST AND VERIFY THAT IMPEDANCE DOES NOT EXCEED FIVE OHMS TO GROUND BY MEANS OF "FALL OF POTENTIAL TEST". TEST SHALL BE WITNESSED BY A CARRIER REPRESENTATIVE, AND RECORDED ON THE "GROUND RESISTANCE TEST" FORM.
17. WHERE BARE COPPER GROUND WIRES ARE ROUTED FROM ANY CONNECTION ABOVE GRADE TO GROUND RING, INSTALL WIRE IN 3/4" PVC SLEEVE, FROM 1' BELOW GRADE AND SEAL TOP WITH SILICONE MATERIAL.
18. PREPARE ALL BONDING SURFACES FOR GROUNDING CONNECTIONS BY REMOVING ALL PAINT AND CORROSION DOWN TO SHINY METAL. FOLLOWING CONNECTION, APPLY APPROPRIATE ANTI-OXIDIZATION PAINT.
19. ANY SITE WHERE THE EQUIPMENT (BTS, CABLE BRIDGE, PPC, GENERATOR, ETC.) IS LOCATED WITHIN 6 FEET OF METAL FENCING, THE GROUND RING SHALL BE BONDED TO THE NEAREST FENCE POST USING (3) RUNS OF #2 BARE TINNED COPPER WIRE.

GROUNDING LEGEND

- EXOTHERMIC WELD CONNECTION
- COMPRESSION FITTING CONNECTION
- ⦿

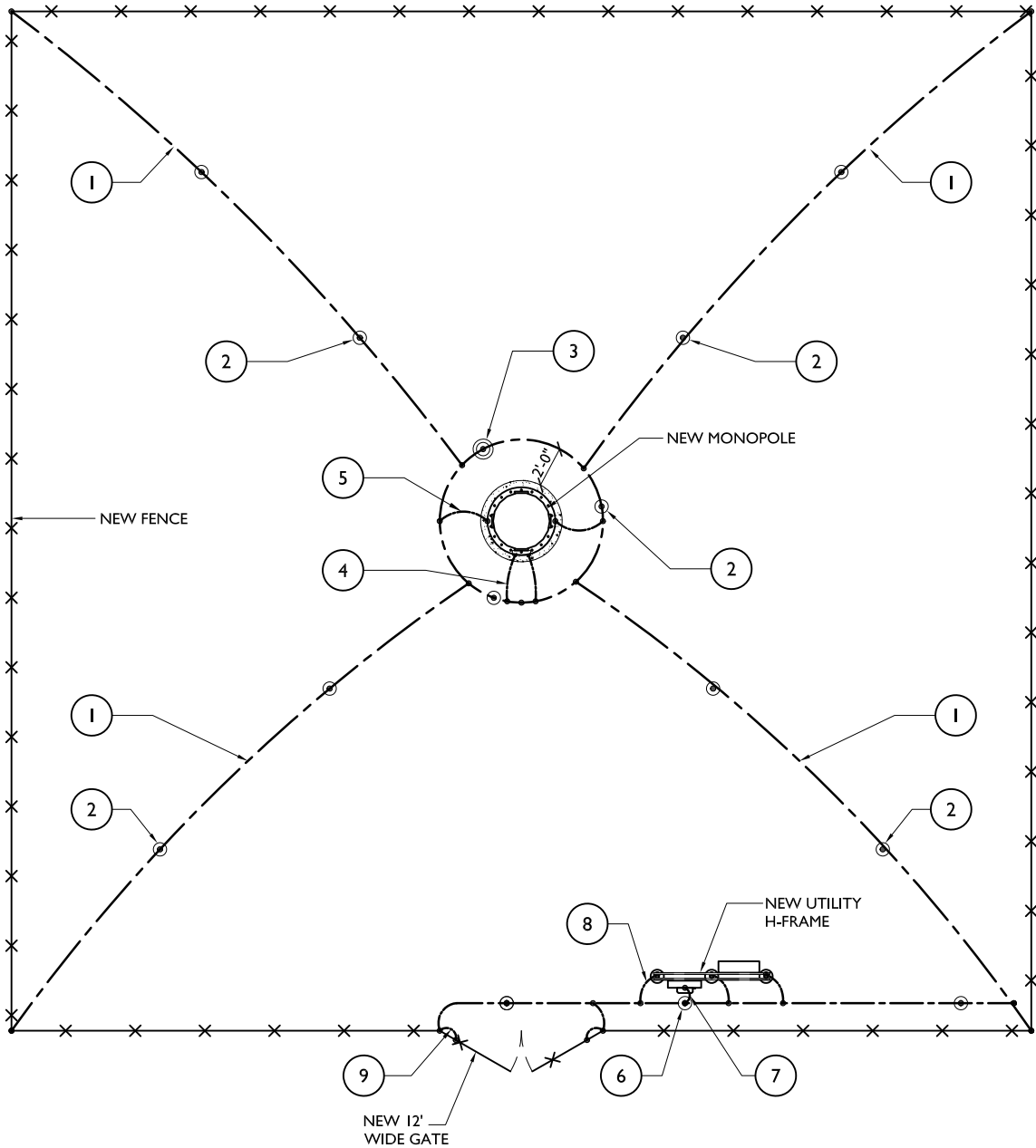
5/8"x10' COPPER-CLAD STEEL GROUND ROD
- ⦿

5/8"x10' COPPER-CLAD STEEL GROUND ROD WITH INSPECTION WELL
- PROPOSED GROUND WIRING
- ▭

TINNED COPPER GROUND BAR 1/4"x4"x12" OR 1/4"x4"x20"

NOTE:
SEE COMPOUND PLAN FOR TOWER AND COMPOUND ORIENTATION, UTILITY H-FRAME, GATE AND TOWER LOCATION.

1. GROUND RING, #2 SOLID TINNED, BARE COPPER WIRE
2. 5/8"Ø x 10'-0" COPPER CLAD STEEL GROUND ROD SPACED MIN. 10'-0", MAX 15'-0" APART
3. GROUND SYSTEM TEST WELL
4. #2 SOLID TINNED, BARE COPPER GROUND WIRE FROM LOWER TOWER GROUND BAR TO NEW GROUND RING (2 REQ'D)
5. #2 SOLID TINNED, BARE COPPER GROUND WIRE FROM TOWER BASE PLATE TO NEW GROUND RING
6. 5/8"Ø x 10'-0" COPPER CLAD GROUND ROD FOR ELECTRICAL SERVICE GROUND
7. #3/0 AWG GREEN STRANDED INSULATED GROUND CONDUCTOR TO GROUND ROD BONDED TO GROUND RING
8. #2 SOLID TINNED, BARE COPPER GROUND WIRE, BOND UTILITY POST W/ VS TYPE CADWELD. (1 PER POST REQ'D)
9. A.L.T. OR EQUAL 2/0 GROUNDING CONDUCTOR W/BLACK NEOPRENE INSULATION & PRE-CAPPED ENDS ATTACHED TO GATE POST AND GATE FRAME W/ VS TYPE EXOTHERMIC. INSTALL W/ WELDS 18" ABOVE FINISH GRADE
10. IN THE EVENT A PAD/PIER FOUNDATION IS INSTALLED, THE BURIED GROUND RING SHALL BE INSTALLED A MINIMUM 2 FT. FROM THE EDGE OF CONCRETE



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SITE NUMBER:

PIMI429

SITE ADDRESS

5450 S. MISSION ROAD
MT. PLEASANT, MI 48858

SHEET NAME

COMPOUND
GROUNDING PLAN
AND NOTES

SHEET NUMBER

G-I

085

GROUNDING NOTES

SCALE: N.T.S.

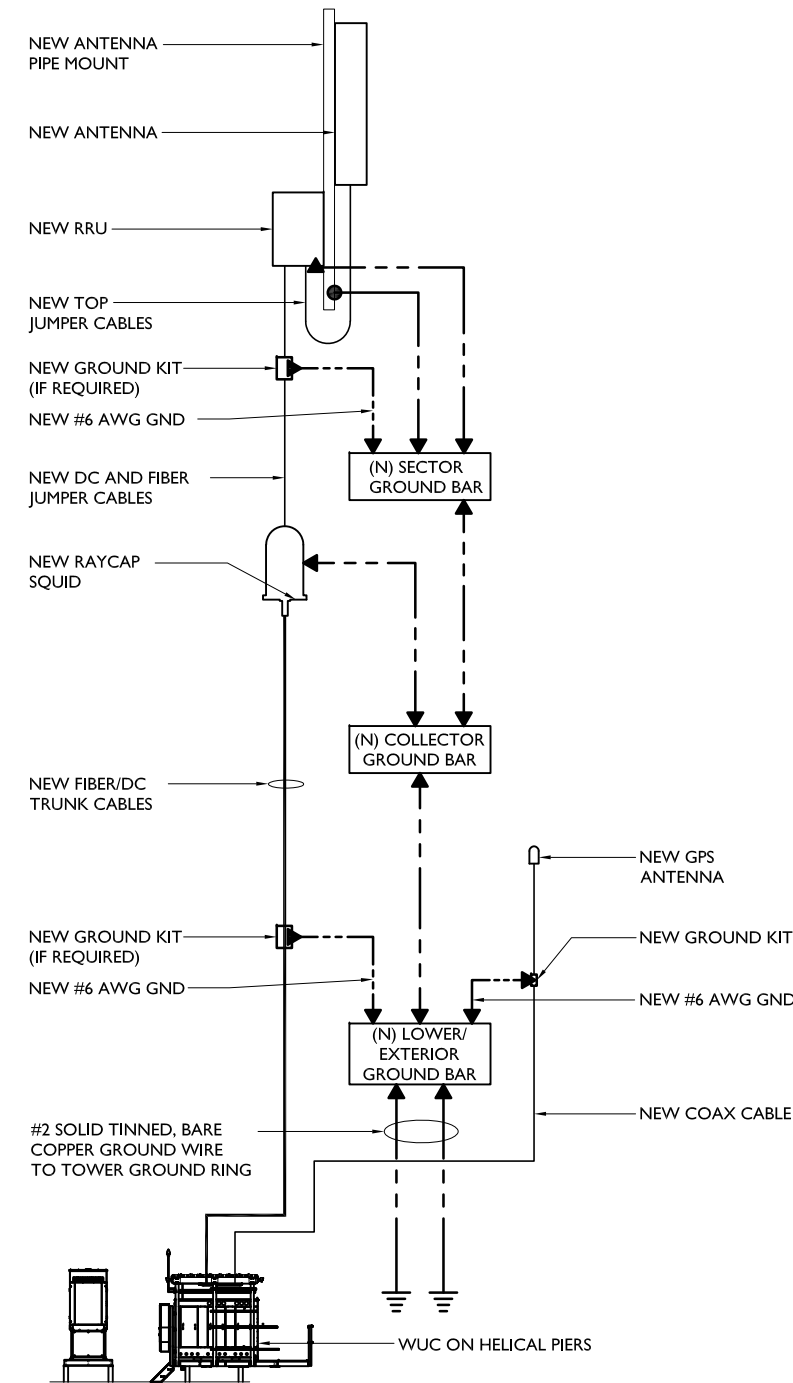
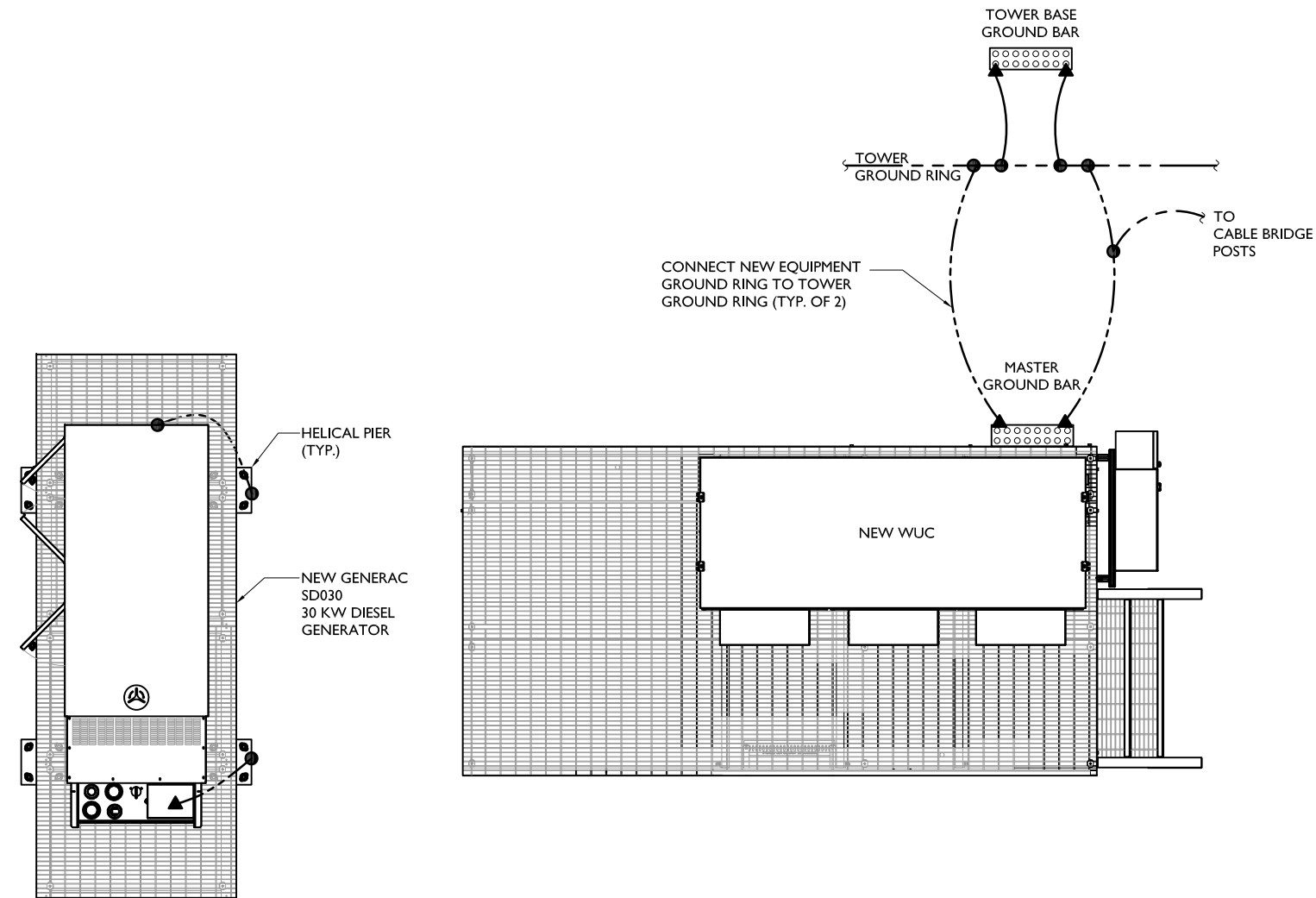
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COMPOUND GROUNDING PLAN

SCALE: N.T.S.

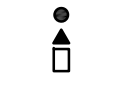
2

- NOTES:
- 1. SEE COMPOUND PLAN FOR EQUIPMENT ORIENTATION
 - 2. HELICAL PIERS DO NOT REQUIRE GROUND RINGS



- NOTE:
- 1. (1) ANTENNA/RRU/ RAYCAP SHOWN FOR CLARITY. GROUNDING IS TYPICAL FOR EACH ADDITIONAL
 - 2. ADDITIONAL CABLE GROUND KIT REQUIRED AT MIDPOINT FOR CABLE LENGTHS GREATER THAN 200 FT.

- LEGEND:
- EXOTHERMIC CONNECTION
 - MECHANICAL CONNECTION
 - GROUND KIT
 - #2 GREEN STRANDED INSULATED COPPER GND WIRE (SUNLIGHT RESISTANT) U.N.O.



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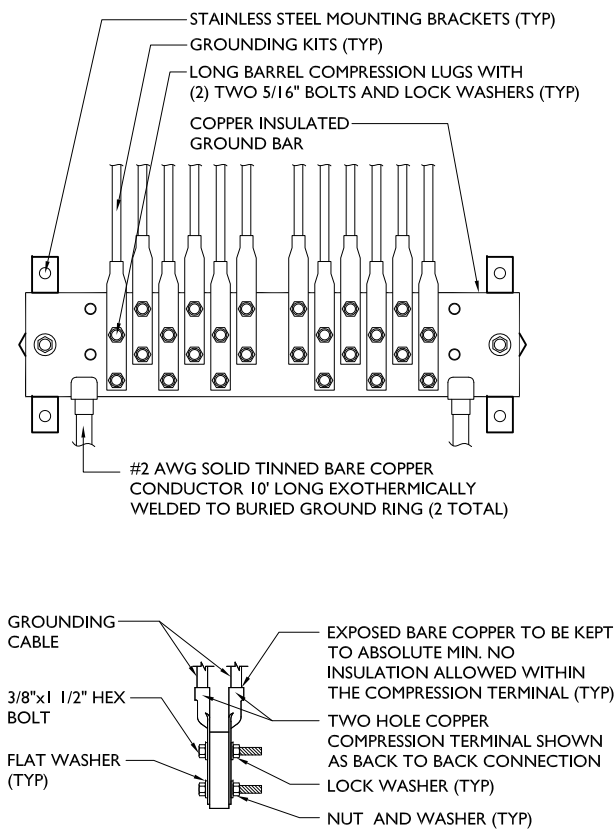
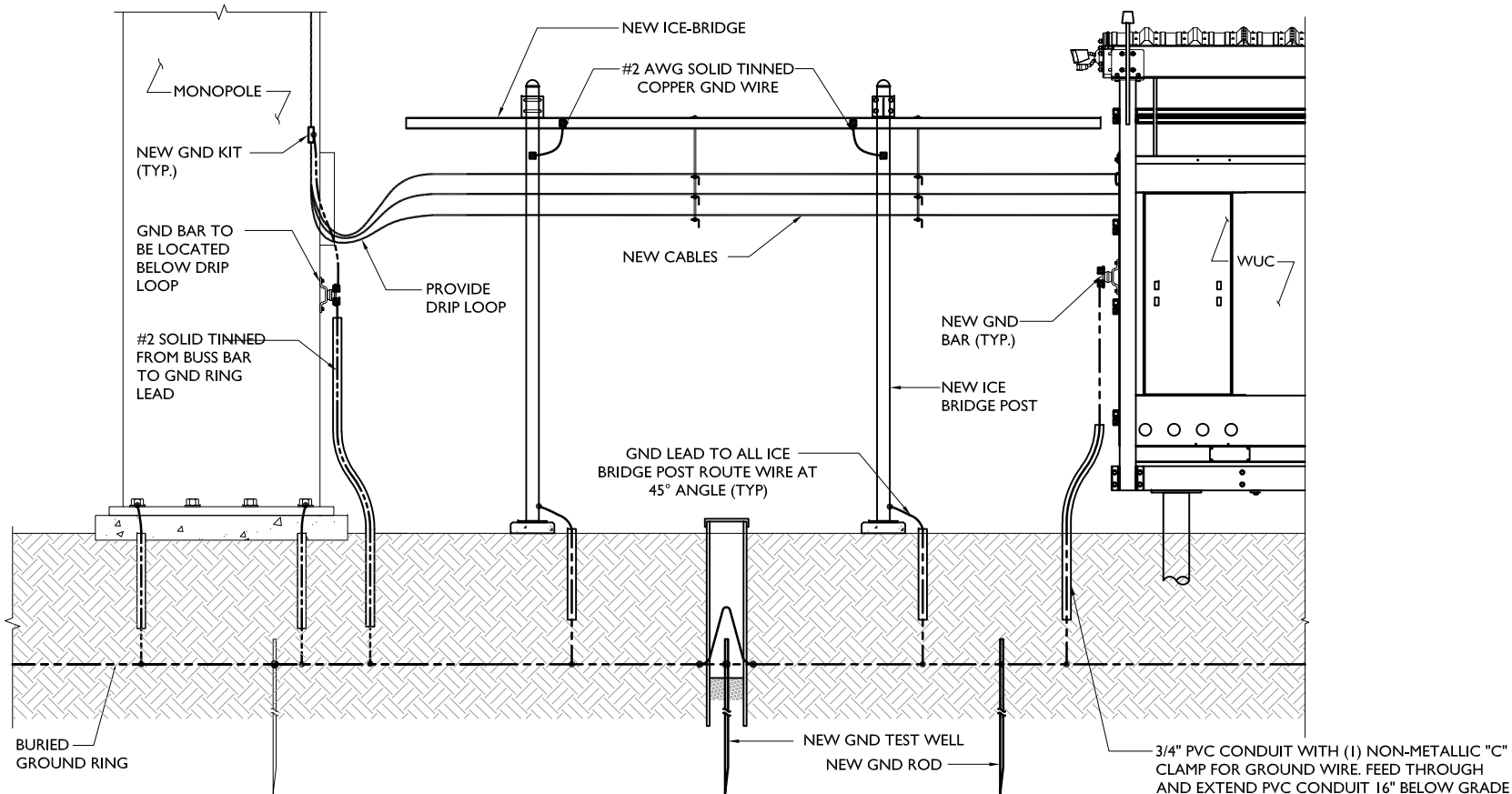
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SHEET NAME

EQUIPMENT
GROUNDING PLAN
AND RISER DIAGRAM

SHEET NUMBER

G-2

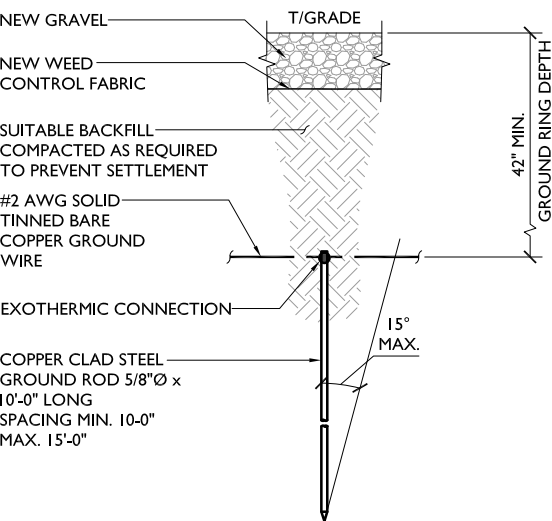


GROUNDING AT ICE BRIDGE

SCALE: N.T.S.

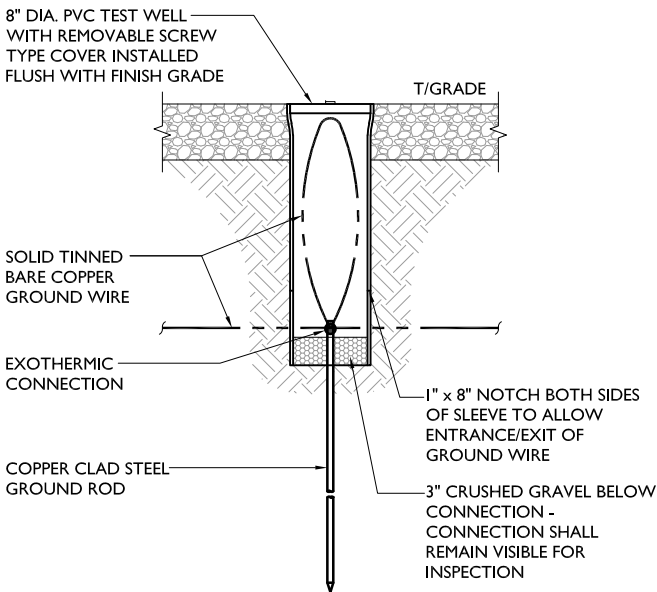
EXTERIOR GROUND BAR

SCALE: N.T.S.



GROUND ROD DETAIL

SCALE: N.T.S.



GROUND TEST WELL DETAIL

SCALE: N.T.S.

NOT USED

SCALE: N.T.S.

Parallel
INFRASTRUCTURE



FULLERTON

1100 E. WOODFIELD ROAD, SUITE 500
SCHAUMBURG, ILLINOIS 60173
TEL: 847-908-8400
www.FullertonEngineering.com

REV	DATE	DESCRIPTION	BY
A	02/24/22	90% REVIEW	LA
B	03/24/22	90% REVIEW	LA

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF ALL APPLICABLE CODES.

PRELIMINARY NOT FOR CONSTRUCTION

SITE NAME

OML06772

SITE NUMBER:

PIMI429

SITE ADDRESS

5450 S. MISSION ROAD
MT. PLEASANT, MI 48858

SHEET NAME

GROUNDING
DETAILS

SHEET NUMBER

G-3

087



WIRELESS COMMUNICATION FACILITY SPECIAL USE PERMIT AND PRELIMINARY SITE PLAN REPORT

TO:	Planning Commission	DATE:	May 8, 2022
FROM:	Rodney C. Nanney, AICP Community and Economic Development Director	ZONING:	B-4, General Business
PROJECT:	PSUP 22-03 Special Use Permit Application and PSPR22-07 Preliminary Site Plan Application from Fullerton Engineering with Parallel/AT&T for a new wireless communications facility (cell tower).		
PARCEL(S):	PID 14-034-20-005-00		
OWNER(S):	Klumpp Management LLC		
LOCATION:	Approximately 7.58 acres of land at 5450 S. Mission Road in the NE 1/4 of Section 34 and in the B-4 (General Business) zoning district.		
EXISTING USE:	Existing commercial building, farmland	ADJACENT ZONING:	AG, B-4, R-4
FUTURE LAND USE DESIGNATION:	<i>Neighborhood Service:</i> Located primarily along corridors adjoining lower intensity land uses, the intent of this district is to limit future retail and focus on small-scale personal service and office uses. This district accommodates shallow lots, providing a good buffer and transition to residential uses and limiting heavy commercial and general retail uses so they can be focused on other areas of the township. Rear yards adjoining residential areas should be well-screened to limit impacts of higher intensity uses. These areas should be accessible and comfortable for the pedestrian and should create a sense of place along the roadway.		
ACTIONS REQUESTED:	To review the PSUP 22-03 Special Use Permit Application and the PSPR22-07 Preliminary Site Plan Application from Fullerton Engineering with Parallel/AT&T for a new wireless communications facility located on 7.58 acres of land at 5450 S. Mission Road (PID 14-034-20-005-00) in the NE 1/4 of Section 34 and in the B-4 (General Business) zoning district.		

Background Information

These applications are for development of a new cell tower at a location approximately 285 feet east of an existing cell tower on the adjacent parcel to the west (5420 E. Mission Rd.; PID 14-034-20-006-00) owned by SBA Infrastructure LLC. As noted in the application, AT&T intends to establish a new cellular telephone and data antennae cluster on the proposed tower, which would replace and cause the removal of an older AT&T antennae cluster and associated ground equipment from the existing tower site.

The applicant has provided extensive documentation intended to demonstrate the necessity of the new tower and AT&T antennae relocation, including a Sworn Statement of Tim Brenner in Support of New Tower Construction (3/21/2022), a letter from AT&T to SBA Corporation

(8/2/2017) with an undated Narrative statement, and existing and proposed AT&T coverage maps. A Structural Analysis Report has also been provided for the existing tower showing the need for \$30,000 - \$50,000 in necessary modifications for the existing tower to be structurally capable of carrying the load of the proposed antennae cluster.

Special Use Permit Review Comments

Special use permit applications are subject to Planning Commission review and action, following a public hearing. However, special use permit applications for new wireless communications facilities (cell towers) are not subject to the general standards for special use permit approval found in Section 14.03J. of the Zoning Ordinance. Instead, the standards for approval of a new tower can be found in Section 5.5 (Wireless Communications Facilities).

The Planning Commission's decision should include affirmative findings of fact to support a conclusion that the proposed special use conforms to the standards of Section 5.5.C. (Requirements). Each of the 14 standards from this subsection are listed in the following table in bold printed text. Staff review comments follow under each standard:

Section 5.5.C. (Requirements)		Status
1	<p><u>Public Health and Safety.</u> Facilities and/or support structures shall not be detrimental to the public health, safety and welfare.</p> <p>The applicant acknowledged this standard, but failed to include any documentation on the site plan of the tower's anticipated fall zone. This is necessary to verify that, in the event of a catastrophic failure, the collapsed tower would be contained within the lot boundaries and would not affect the existing building on the lot. No other public health, safety or welfare impacts are anticipated from this project. <i>This deficiency can be addressed on an updated final site plan.</i></p>	Can Conform
2	<p><u>Harmony with Surroundings.</u> To the extent feasible, facilities shall be designed to be harmonious with the surrounding areas.</p> <p>If the Planning Commission determines that additional equipment enclosure screening is necessary for consistency with this standard, <i>staff recommends that an opaque metal privacy fence design without barbed-wire be required for the site in place of the proposed fence depicted on sheet C-6.</i> No additional landscaping is recommended, because this site is in an AG District and in the midst of a cultivated farmfield. Trees used for screening purposes would likely be harmed by common agricultural chemicals or denuded by the local deer population. <i>Fence changes can be addressed on an updated final site plan.</i></p>	Can Conform
3	<p><u>Compliance with Federal, State and Local Standards.</u> Wireless communication facilities shall comply with applicable federal and state standards, including requirements promulgated by the Federal Aviation Administration (FAA), Federal Communication Commission (FCC), and Michigan Aeronautics Commission. Wireless communication support structures shall comply with all applicable building codes.</p> <p>The applicant included a note in the application materials to confirm that the <i>"proposed facility will comply"</i> with all local, state, and federal requirements.</p>	Conforms

Section 5.5.C. (Requirements)		Status
4	<p>Maximum Height. Applicants shall demonstrate a justification for the proposed height of the structures and an evaluation of alternative designs which might result in lower heights. The maximum height of a new or modified support structure and antenna shall be the minimum height demonstrated to be necessary for reasonable communication by the applicant (and by other entities to collocate on the structure) but shall not exceed two hundred (200) feet. Higher towers may be permitted, however, if necessary, to achieve colocation. The buildings, cabinets, and other accessory structures shall not exceed twenty (20) feet in height.</p> <p>The proposed tower height is fully consistent with this standard.</p>	Conforms
5	<p>Minimum Setbacks. The setback of a new or modified support structure from any residential-zoned district or existing or proposed right-of-way or other publicly traveled road shall be no less than the total height of the structure and attachments thereto. Where the proposed new or modified support structure abuts a parcel of land zoned for a use other than residential, the support structure shall comply with the required setbacks for principal buildings specified in the Schedule of Regulations for the zoning district in which the facility is located. Buildings and facilities accessory to the wireless communication facility (other than the support structure) shall be set back a minimum distance of fifty (50) feet from all property lines.</p> <p>The applicant acknowledged this standard but the zoning classifications of the subject lot and surrounding lots are missing from the site plan. The proposed setback dimensions to the nearest (west and south) lot boundaries and to the nearest residential-zoned district are also missing from the site plan. As scaled by staff from the site plan, it appears possible for the proposed location to conform to this standard. <i>These deficiencies can be addressed on an updated final site plan.</i></p>	Can Conform
6	<p>Access. Unobstructed permanent access to the support structure shall be provided for operation, maintenance, repair and inspection purposes, which may be provided through or over an easement. The permitted type of surfacing, dimensions and location of such access route shall be subject to approval by the Planning Commission, based on evaluation of the location of adjacent roads, layout of buildings and equipment on the site, utilities needed to service the facility, proximity to residential districts, disturbance to the natural landscape, and the type of vehicles and equipment that will visit the site.</p> <p>The applicant has proposed to use an existing access from S. Mission Rd. and a new 12.0-foot wide gravel driveway to serve the tower site. Staff would have no objection to a Planning Commission determination that this access route is adequate to service the facility.</p>	Conforms
7	<p>Division of Property. The division of property for the purpose of locating a wireless communication facility shall be permitted only if all zoning requirements, including lot size and lot width requirements are met.</p> <p>No land division is proposed or required for this project.</p>	Conforms

Section 5.5.C. (Requirements)		Status
8	<p>Equipment Enclosure. If an equipment enclosure is proposed as a building or ground-mounted structure, it shall comply the required setbacks and other requirements specified for principal buildings in the Schedule of Regulations for the zoning district in which the facility is located. If an equipment enclosure is proposed as a roof appliance on a building, it shall be designed, constructed and maintained to be architecturally compatible with the principal building.</p> <p>The proposed equipment enclosure is fully consistent with this standard.</p>	Conforms
9 (a)	<p>Design Objectives. The support structure and all accessory buildings shall be designed to minimize distraction, reduce visibility, maximize aesthetic appearance, and ensure compatibility with surroundings. Accordingly, support structures shall be grey or white and shall not have lights unless required otherwise by the Federal Aviation Administration (FAA). Only monopole towers are permitted; lattice towers and towers with guy wires are prohibited. ...</p> <p>The applicant acknowledged this standard but the monopole tower design details on sheet C-6 of the site plan are missing any reference to the color of the tower. In addition, a note needs to be added to confirm that no tower lighting is required or proposed. <i>These deficiencies can be addressed on an updated final site plan.</i></p>	Can Conform
9 (b)	<p>Design Objectives. ... Equipment buildings shall have a brick exterior. ...</p> <p>In addition to the tower, two (2) structural installations are proposed within the equipment enclosure area:</p> <ol style="list-style-type: none"> 1. Generator structure: A perspective sketch of an unroofed platform of unknown height for above-the-ground installation of a 30kV diesel generator is also included on sheet C-4, <i>but the corresponding elevation drawing with dimensions is missing from sheet E-3.</i> 2. Equipment Building: A perspective sketch of a 6.0-foot high roofed platform for above-the-ground installation of a "WUC" equipment cabinet is included on sheet C-4, along with the corresponding elevation drawing with dimensions on sheet E-3. This installation meets the Zoning Ordinance definition for a "building," and so is subject to the "equipment building" standards of this Section 5.5.C.9. for a "brick exterior." <p><i>These deficiencies can be addressed on an updated final site plan.</i></p>	Can Conform
9 (c)	<p>Design Objectives. ... No signs or logos visible from off-site shall be permitted on a support structure.</p> <p>The applicant acknowledged this standard, and no signs or logos are depicted on the elevation drawing of the proposed tower (sheet C-3).</p>	Conforms
10	<p>Fencing. Wireless communication facilities shall be enclosed by an open weave, green or black vinyl-coated, chain link fence having a maximum height of six (6) feet. Barbed wire may be permitted.</p> <p>The applicant acknowledged this standard but the fence details on sheet C-6 of the site plan reference a "2"x2" wire mesh fabric" fence rather than the required "green or black vinyl coated chain-link fence." <i>This deficiency can be addressed on an updated final site plan.</i></p>	Can Conform

Section 5.5.C. (Requirements)		Status
11	<p>Structural Integrity. Wireless communication facilities and support structures shall be constructed and maintained in structurally sound condition, using the best available technology, to minimize any threat to public safety.</p> <p>The applicant included a note in the application materials to confirm that the “<i>proposed facility will comply</i>” with all local, state, and federal requirements, which would include the Michigan Building Code.</p>	Conforms
12	<p>Maintenance. A plan for the long term, continuous maintenance of the facility shall be submitted. The plan shall identify who will be responsible for maintenance and shall include a method of notifying the Township if maintenance responsibilities change.</p> <p>The applicant acknowledged this standard but failed to include the required plan. <i>This deficiency can be addressed on an updated final site plan.</i></p>	Can Conform
13	<p>Proximity to Airports. Wireless communication facilities shall be subject to the approval of the Federal Aviation Administration (FAA) and Michigan Bureau of Aeronautics with respect to location, height, and lighting in relation to public airports, airstrips, and helipads.</p> <p>The proposed 195-foot tower height (plus 4-foot high lightning rod) fully conforms to federal and state aviation related standards. The nearest airport is approximately four (4) miles away to the north-northeast.</p>	Conforms
14	<p>Interference with Reception. Wireless communication facilities shall not interfere with television and radio reception in nearby areas.</p> <p>The proposed tower will not interfere with television or radio reception. The antennae operators are required to conform to federal requirements related to use of the electromagnetic spectrum to minimize interference.</p>	Conforms

Limited Timeline for Special Use Permit Action

Township regulatory authority for cell towers and similar types of wireless communication facilities has been partially pre-empted by federal telecommunication laws and corresponding provisions of the Michigan Zoning Enabling Act (Public Act 110 of 2006, as amended). in accordance with Section 5.5.B. (Approval Process), the Planning Commission is required to take action on the special use permit application by no later than July 26, 2022, which is 90 calendar days from the date staff took action to schedule the public hearing.

If the Commission fails to act within the timeframe, then Section 514(6) of the state Act requires that the special use permit is automatically “*considered approved and the [Commission] shall be considered to have made any determination required for approval.*”

Preliminary Site Plan Review Comments

Township regulation of new cell towers is predominantly governed by the requirements of Section 5.5 (Wireless Communications Facilities of the Zoning Ordinance, resulting in substantial

overlap between the special use permit standards and applicable site plan requirements. With the exception of the missing items of information noted elsewhere in this report, the site plan dated 2/24/2022 substantially conforms to the informational requirements of the Zoning Ordinance that apply to a preliminary site plan for a wireless communications facility, including Section 5.5.E. (Application Requirements) and Section 14.2.P (Required Site Plan Information).

The following details will need to be addressed by the applicant as part of the final site plan approval application for this project:

1. **Section 5.5.E.2, Landscape Plan.** A detailed landscape plan will only be required if the Planning Commission determines that landscape plantings are necessary *“to provide screening and aesthetic enhancement for the structure base, accessory buildings and enclosure”* in order for this project to be considered *“harmonious”* with its surroundings.
2. **Section 5.5.E.3, Structural Specifications.** The applicant acknowledged this standard but did not provide the required documentation. *This documentation must be provided for review as part of the application for final site plan approval.*
3. **Section 5.5.E.4, Security.** The applicant acknowledged this standard but did not provide the required documentation. *This documentation must be provided for review as part of the application for final site plan approval.*

Objectives

Following the hearing, the Planning Commission shall review the application materials, together with any reports and recommendations, and any public comments. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve, approve with conditions, or deny the special use permit application; or to postpone further consideration of the application to a date certain in accordance with the provisions of Section 14.3.F.4.

If the special use permit is approved, then a separate motion to approve, approve with conditions, or deny the associated preliminary site plan application would be in order.

Key Findings

1. The special use permit and preliminary site plan applications are missing a number of items of information required per Section 5.5 of the Zoning Ordinance, but were determined by staff to be sufficiently complete for purposes of a public hearing and Planning Commission review and action.
2. The proposed tower can conform to applicable Zoning Ordinance standards.
3. The information deficiencies and additional required documentation can be addressed by the applicant as part of the application for final site plan approval.
4. In accordance with Section 5.5.B. (Approval Process), the Planning Commission is required to take action on the special use permit application by no later than July 26, 2022.

Special Use Permit Recommendations

Based on the above findings, I would ask that the Planning Commission consider taking action to approve the PSUP 22-03 Special Use Permit Application for a new wireless communications facility at 5450 S. Mission Road (PID 14-034-20-005-00) in the NE 1/4 of Section 34 and in the B-4 (General Business) zoning district, subject to the following conditions:

1. Preliminary and final site plan review and approval by the Planning Commission.
2. Add the proposed tower's anticipated fall zone in the event of a catastrophic failure to the final site plan.
3. Replace the proposed wire mesh fabric fence depicted on sheet C-6 with
 - a. the green or black vinyl coated chain-link fence required per Section 5.5.E.10, with barbed-wire. [OR]
 - b. an opaque metal privacy fence design without barbed-wire for harmony with surroundings and to provide adequate screening of the equipment enclosure.
4. Update the roofed platform for the equipment cabinet on the final site plan to conform to the brick exterior equipment building standards of Section 5.5.C.9.

Preliminary Site Plan Recommendations

If the special use permit is approved for this project, I would ask that the Planning Commission consider taking action to approve the PSPR22-07 Preliminary Site Plan dated 2/24/2022 for a new wireless communications facility at 5450 S. Mission Road (PID 14-034-20-005-00) in the NE 1/4 of Section 34 and in the B-4 (General Business) zoning district, subject to the following conditions:

1. Add the existing zoning classifications for the subject parcel and surrounding parcels to the updated Survey sheets for the final site plan.
2. Add the setback dimensions from the proposed tower to the west and south lot boundaries and to the nearest residential-zoned district to sheet C-1 for the final site plan.
3. Add the proposed tower color and a note confirming that no tower lighting is required or proposed to sheet C-3 for the final site plan.
4. Add an elevation detail with dimensions for the unroofed generator structure to the final site plan.
5. Provide the documentation required by Sections 5.5.E.3 (Structural Specifications) and 5.5.E.4 (Security) for review as part of the final site plan application.

Please contact me at (989) 772-4600 ext. 232, or via email at rnanney@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Rodney C. Nanney, AICP

Community and Economic Development Director

**Draft Motions: PSPR 22-07 Preliminary Site Plan Application for a new
wireless communications facility at 5450 S. Mission Road**

MOTION TO APPROVE THE PRELIMINARY SITE PLAN:

Motion by _____, supported by _____, to approve the PSPR22-07 Preliminary Site Plan Application for a new wireless communications facility at 5450 S. Mission Road (PID 14-034-20-005-00) in the northeast quarter of Section 34 and in the B-4 (General Business) zoning district, finding that it fully complies with the requirements for a wireless communications facility found in Section 5.5 of the Zoning Ordinance.

MOTION TO APPROVE THE PRELIMINARY SITE PLAN WITH CONDITIONS:

Motion by _____, supported by _____, to approve the PSPR22-07 Preliminary Site Plan Application for a new wireless communications facility at 5450 S. Mission Road (PID 14-034-20-005-00) in the northeast quarter of Section 34 and in the B-4 (General Business) zoning district, finding that it can comply with the requirements for a wireless communications facility found in Section 5.5 of the Zoning Ordinance, subject to the following conditions:

1. Add the existing zoning classifications for the subject parcel and surrounding parcels to the updated Survey sheets for the final site plan.
2. Add the setback dimensions from the proposed tower to the west and south lot boundaries and to the nearest residential-zoned district to sheet C-1 for the final site plan.
3. Add the proposed tower color and a note confirming that no tower lighting is required or proposed to sheet C-3 for the final site plan.
4. Add an elevation detail with dimensions for the unroofed generator structure to the final site plan.
5. Provide the documentation required by Sections 5.5.E.3 (Structural Specifications) and 5.5.E.4 (Security) for review as part of the final site plan application.

MOTION TO POSTPONE ACTION ON THE PRELIMINARY SITE PLAN:

Motion by _____, supported by _____, to postpone action on the PSPR22-07 Preliminary Site Plan Application for a new wireless communications facility at 5450 S. Mission Road until _____, 2022 for the following reasons:

Draft Motions: PSPR 22-07 Preliminary Site Plan Application for a new wireless communications facility at 5450 S. Mission Road

MOTION TO DENY THE PRELIMINARY SITE PLAN:

Motion by _____, supported by _____, to recommend to the Township Board of Trustees to deny the PS22-07 Preliminary Site Plan Application for a new wireless communications facility at 5450 S. Mission Road (PID 14-034-20-005-00) in the northeast quarter of Section 34 and in the B-4 (General Business) zoning district, finding that it does not comply with the requirements for a wireless communications facility found in Section 5.5 of the Zoning Ordinance, for the following reasons:

[illegible]

Charter Township of Union
APPLICATION FOR REZONING APPROVAL

A completed application will contain all information required per the Zoning Ordinance, Section 14.5 (Amendments); including:

- ☒ Response to Rezoning Criteria (Section 14.5 G.)
☒ Vicinity Map and Survey/Drawing (Section 14.5 F 1 d)

Name of Proposed Development/Project		THE DEN OF BROOMFIELD	
Common Description of Property & Address (if issued)		TBD E. BROOMFIELD ROAD, MT. PLEASANT, MI 48858	
Applicant's Name(s)		BSP ENTERPRISES	
Phone/Fax numbers	(906) 225-1360	Email	Anupmgh@yahoo.com
Address	430 S. FIRST STREET	City:	CARSON CITY
		Zip:	48811

Legal Description:	<input checked="" type="checkbox"/> Attached	<input checked="" type="checkbox"/> Included on Survey	Tax Parcel ID Number(s):	14-103-00-001-00 14-103-00-002-00
Existing Zoning:	B-5	Land Acreage:	2.27	Existing Use(s):
AGRICULTURE / VACANT LAND				
<input type="checkbox"/> ATTACHED: Letter describing the proposed land uses and reasons for the requested zoning change.				

Firm(s) or Individuals(s) who prepared the Land Survey/Drawing.	1. Name: Central MI Surveying & Development Co. Inc. Phone: 989-775-0756 Email: tbebee@cms.d.com			
	2. Address: 2257 E. BROOMFIELD ROAD City: MT. PLEASANT State: MI Zip: 48858 Contact Person: TIMOTHY E BEBEE Phone: 989-775-0756			
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: BSP ENTERPRISES LLC Phone: 906-225-1360			
	Address: 430 S. FIRST STREET			
	City: CARSON CITY State: MI Zip: 48811			
	Signature: <u>A.P. Blimalli</u> Interest in Property: _____			
	2. Name: _____ Phone: _____			
	Address: _____			
	City: _____ State: _____ Zip: _____			
	Signature: _____ Interest in Property: _____			

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information may be cause for rejection of the application. Approval of any requested zoning change shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.

A.P. Blimalli

Signature of Applicant

4/25/2022

Date

Office Use Only

Application Received By: _____ Fee Paid: \$ _____

Date Received: _____ Escrow Deposit Paid: \$ _____



CMS & D

SURVEYING/ENGINEERING

2257 EAST BROOMFIELD ROAD, MT. PLEASANT, MI 48858

PHONE: 989-775-0756 EMAIL: info@cms-d.com

April 25, 2022

Charter Township of Union
Attn: Zoning and Planning
2010 S. Lincoln
Mt. Pleasant, MI 48858

Re: Rezone Letter for Proposed Land Uses and Rezoning Criteria

Our client is requesting a rezone two parcels with Tax Parcel ID Number 14-103-00-001-00 and 14-103-00-002-00. Attached is a drawing showing the location and dimensions of the parcel along with a legal description. Currently it is zoned B-5 (Highway Business) and the proposed zoning would be PUD (Planned Unit Development District). The proposed project will be built in entirety. The first floor of the structure will be constructed as a white box, with 11,877 sf (gross) leaseable space. It is anticipated there will be 85 percent of this space as net useable space. Leaseable units will be divided inside based on the renter's needs. There is the potential for one of the owner/developer's to open a branch of his medical office on the first floor. There is the potential for one of the owner/developer's to open a branch of his medical office on the first floor. This again, will be based on the rentals to others. The owners/developers fully intend on holding the project as an income property and are not looking to sell the development. The second, third and fourth floor of the structure will be residential. The second, third and fourth floors have each (4) 2-bedroom units having 1056 sf of living space, (10) 1-bedroom units having 580 sf of living space and (2) studio style units having 454 sf of living space. This totals (12) 2-bedroom units, (30) 1-bedroom units and (6) studio style units. The building has 10,095 sf of net leaseable commercial space and 32,796 sf of livable residential space. The development resides on unit 1 and 2 of the tallgrass commons condominium. The combined land area equals 2.27 acres. With a total of 48 residential units, the land area per unit is 2,175 sf/unit.

Rezoning Criteria (14.5.G)

1. Evaluation of existing and proposed zoning districts.

a.) Compatibility of existing zoning, proposed zoning, and all land uses allowed in each zoning district with site characteristics, Master Plan policies, the intent and purposes of the existing and proposed districts, and anticipated land use impacts on the surrounding area and anticipated future development.

- Yes the requested zoning and use is compatible with the surrounding area and anticipated future development as there are commercial buildings and apartment buildings in the area. The project was previously reviewed and approved for mixed use for the three story building. The PUD (Planned Unit Development) is to allow for an increase of the maximum stories allowed to four stories.

b.) Compatibility of the boundaries, size, and arrangement of the existing and proposed zoning districts with the surrounding area and anticipated future development.

- The requested zoning boundaries, size and arrangement are compatible as the legal descriptions have been prepared by a licensed surveyor. Under 3.19 section a(1) the minimum size of a planned development shall be 5 acres unless located in the Bluegrass Center Area. This development is located Bluegrass Center Area.

c.) Whether there are conditions or circumstances that warrant a change or reasonably prevent the site from being developed or used as currently zoned.

- The area allows for mixed used developments however the maximum stories allowed is three stories. This development is 4 stories as the owners have determined to make it economically feasible that 3 stories of residential use is needed.

2. Apparent demand.

a.) Apparent demand for the types of uses permitted in the existing and proposed zoning districts in relation to the amount of land currently zoned and available in the Township and surrounding communities to accommodate the demand.

- The owner/developer have performed their due diligence in a market study for the proposed project based on that market study they feel there is a need for this type of development.

b.) Whether there is a demonstrated market demand for more land to be classified in the proposed district, and whether this is the appropriate location.

- The future use map shows that it the area is to be considered for mixed uses.

c.) Availability of land already planned and/or zoned for the types of land uses and intensity of development possible under the proposed zoning district classification.

- There are no available PUD locations within the Township. PUD is specific to site and development.

d.) The amount of land in the Township or adjoining jurisdictions that is already prepared and/or ready for development consistent with the proposed zoning district's intent and list of permitted land uses.

- There are no available PUD locations within the Township. PUD is specific to site and development.

3. Availability of public services and infrastructure.

a.) Capacity of available utilities and public services to accommodate the uses permitted in the district without compromising the health, safety, and welfare of Township residents or burdening public entities or the Township with unplanned capital improvement or operational costs.

- As the project was already approved by DPW and all other agencies in a previous form of the project and the current project is smaller then there is enough capacity.

b.) Capacity of the existing road system to safely and efficiently accommodate the expected traffic generated by uses permitted in the zoning district.

- The existing road system can accommodate the expected traffic as Tallgrass Condominium was designed for anticipated traffic increases.

c.) Capacity of existing police, fire, ambulance, schools, and other public services to serve all potential land uses on the site.

- The proposed rezone request will not exceed the capacity of the existing police, fire, ambulance, schools, and other public services as the project was previously approved by the public services so the current will also not exceed the capacity.

4. Consistency with the Master Plan.

a.) Determine whether the intent and all of the allowable uses within the requested zoning district are compatible with the goals, objectives, and policies of the Master Plan, including the future land use designation(s) for the site.

- The intent and all of the allowable uses are compatible with the Master Plan as the area. Mixed - Use Bluegrass Center Area is defined as currently more auto-centric, this area has the potential to transition into a more walkable, vibrant center. Future uses should be integrated to include multi-story, mixed-use buildings; first floor retail and office uses; public use and spaces; entertainment and restaurant venues; and additional attached housing types such as townhouses. Both vehicular and pedestrian cross connections should be promoted between sites, providing for future connections through easements, and should collectively promote a vibrant, livable center to the neighboring university population.

Key gateways into the center at busy intersections should have clearly delineated, safe pedestrian crossings and gateway landscaping and signage to project the “town center” image and branding for the district. This branding can continue through streetscape improvements such as pedestrian scale lighting, banners, street trees, and street furniture, similar to those provided by the EDA on Pickard Road, to build a cohesive center. Working with the Road Commission, Union Township should prioritize right-of-way easements to capture the pedestrian amenity zone in front of street-fronting development.

Mixed-use development promoting walkability should be prioritized along Bluegrass Road and connections made to nearby apartment complexes and big box retailers. New development visible from Highway 127 should be developed with friendly “back doors” as well to ensure the highest quality image for the township is projected to travelers.

This area could benefit from master planning, a character-based code, or planned unit development to ensure that future development is coordinated with roadway improvements. The concept plan depicted on the following page is meant to be the first schematic step at identifying further, more concrete, recommendations during the development of a more detailed subarea analysis.

b.) A rezoning inconsistent with the Master Plan should only be considered where specific findings are made that demonstrate conditions have changed significantly since the Plan was prepared, and/or new information supports a change. In such cases, the Township may first consider an amendment to the Plan.

- PUD is specific to site and development and mixed use is allowed in the Bluegrass Center Area.

c.) The future land use recommendations of the Master Plan are based upon a ten- to twenty-year timeframe. Consider whether the timing of the proposed rezoning is appropriate, given trends in the area, infrastructure capacity, and other factors.

- Yes the timing is appropriate as this area has shown growth and improvement over the last years.

5. Additional factors.

a.) Are all allowable uses and development allowed in the proposed zoning district compatible with physical, geological, hydrological, historical, and archeological features of the site and area, and any applicable laws governing their protection or preservation?

- Yes the allowable uses and development allowed in the proposed zoning is compatible with all features of the site and area.

b.) Have conditions changed since the Zoning Ordinance was adopted or was there a mistake in the Zoning Ordinance that justifies the amendment?

- PUD section of the ordinance was placed in the new zoning to address specific project needs such as maximum stories allowed.

c.) Will the amendment correct an inequitable situation created by the Zoning Ordinance, rather

than merely grant special privileges?

- No, this would not correct an inequitable situation

d.) Will the amendment result in unlawful exclusionary zoning?

- The rezone will not result in an unlawful exclusionary zoning.

e.) Will the amendment set an inappropriate precedent, resulting in the need to correct future planning mistakes?

- No, the rezone will not set an inappropriate precedent.

LISTING OF DEVIATIONS FROM THE STANDARDS SET FORTH IN THE B-5 SECTION OF THE UNION TOWNSHIP ZONING ORDINANCE OR OTHER RELEVANT SECTIONS:

1. SECTION 4.3
IN ACCORDANCE WITH SECTION 4.3 THE MAXIMUM BUILDING HEIGHT IS THIRTY-FIVE (35) FEET. PROPOSED BUILDING HEIGHT IS 49'-4 3/8"

2. SECTION 3.10: R-3A, MULTIPLE-FAMILY RESIDENTIAL DISTRICT
A) IN ACCORDANCE WITH SECTION 3.10, APARTMENTS ARE REQUIRED TO HAVE 500 SF. STUDIO APARTMENTS ARE BEING PROPOSED WITH 454 SQ. FT.

3. SECTION 3.19 PUD, PLANNED UNIT DEVELOPMENT DISTRICT
A) IN ACCORDANCE WITH SECTION 3.19-D ITEM 6, THE REQUIRED OPEN SPACE IS 6,560 SQ. FT. THE PROPOSED OPEN SPACE IS 3,445 SQ. FT.

3. SECTION 3.19 PUD, PLANNED UNIT DEVELOPMENT DISTRICT
A) IN ACCORDANCE WITH SECTION 3.19-D ITEM 7, THE NEAREST EDGE OF ANY ENTRANCE OR EXIT DRIVE SHALL BE LOCATED NO CLOSER THAN TWO HUNDRED (200) FEET FROM ANY STREET OR ROAD INTERSECTION AS MEASURED FROM THE NEAREST INTERSECTION RIGHT-OF-WAY LINE. THE NORTH ACCESS HAS BEEN PLACED AS SUCH THAT IT IS CENTERED ON THE DEVELOPMENT. THIS PLACEMENT HAS BEEN REVIEWED AND APPROVED BY THE ISABELLA COUNTY ROAD COMMISSION & HAS BEEN RESTRICTED TO A RIGHT-IN, RIGHT-OUT ACCESS POINT BASED ON ITS PROPOSED LOCATION.

SITE PLAN NOTES:

1) SECTION 14.2 PROOF OF OWNERSHIP
A) OWNERSHIP OF THE PROPERTY WAS TRANSFERRED VIA WARRANTY DEED (LIBER 1826, PAGE 577) FROM NEW GRASS LLC TO B.S.P. ENTERPRISES LLC.. ON 10/10/2018.

2) CONDO DOCS INFORMATION

3) SECTION 14.2 BUILDING INFORMATION
A) 4-STORY BUILDING
1) GROSS FLOOR AREA = 13,762 SQ. FT.
2) NET FLOOR AREA = 11,010 SQ. FT.

4) SECTION 14.2 GENERAL DESCRIPTION AND PRELIMINARY DELINEATION OF EXISTING NATURAL FEATURES
A) THE PARCEL IS A PORTION OF AN OVERALL SITE THAT HAD BEEN UTILIZED FOR AGRICULTURE. THERE ARE LIMITED SCRUB TREES THAT HAVE SPROUTED ON THE SITE SINCE THE AGRICULTURAL ACTIVITIES HAVE CEASED.

5) SECTION 14.2 DESCRIPTION OF ORGANIZATION TO MAINTAIN OPEN SPACE AREA
A) B.S.P. ENTERPRISES LLC. WILL OWN AND MAINTAIN OPEN SPACE AND RECREATION AREAS, AND A LONG TERM MAINTENANCE PLAN AS THE OWNER/LANDLORD OF THE PROPERTY.

PROPOSED REZONING NOTE:
THE PROPOSED PLANNED UNIT DEVELOPMENT REQUIRES A REZONE TO "PUD" WITH B-5 BEING THE UNDERLYING ZONING DISTRICT.

B-5 ZONE	
MINIMUM FRONT YARD SETBACK	50 FT (A,B)
MINIMUM SIDE YARD SETBACK	20 FT (B)
MINIMUM REAR YARD SETBACK	25 FT (A,B)
MINIMUM LOT FRONTAGE	100 FT
MINIMUM LOT AREA (SQ FT)	16,000 SQ FT
MAXIMUM BUILDING HEIGHT	35 FT
MAXIMUM LOT COVERAGE (%)	30%

- A. THE DEPTH OF THE LOT SHALL NOT EXCEED FOUR TIMES THE LOT WIDTH, MEASURED AT THE FRONT BUILDING LINE.
- B. NO BUILDING OF STRUCTURE SHALL EXCEED A HEIGHT OF TWO AND ONE-HALF STORIES OF THIRTY-FIVE FEET, EXCEPT, THAT SILOS, ELEVATORS, BARNES AND OTHER STRUCTURES CUSTOMARILY NECESSARY TO FARMING SHALL HAVE A MAXIMUM HEIGHT OF NINETY-NINE FEET. PROVIDED THAT ANY REQUIRED SETBACK SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT THAT THE STRUCTURE EXCEEDS THIRTY-FIVE FEET.
- C. SIDE YARDS FACING A STREET SHALL COMPLY WITH FRONT YARD SETBACK REQUIREMENTS.

MISS DIG.

FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

UTILITY NOTE.

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-482-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY, NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

LEGEND SYMBOLS

○ BOLLARD	□ GAS RISER	⊗ SOIL BORING
▤ CATCH BASIN (CURB INLET)	⚓ GUY ANCHOR	⊕ STORM SEWER MANHOLE
⊙ CATCH BASIN (ROUND)	⛶ HYDRANT - EXISTING	☎ TELEPHONE RISER
□ CATCH BASIN (SQUARE)	⚡ HYDRANT - PROPOSED	☘ TREE - CONIFEROUS
⊙ CLEAN OUT	☆ LIGHT POLE	● TREE - DECIDUOUS
→ DRAINAGE FLOW	✉ MAILBOX	⦿ UTILITY POLE
□ ELECTRICAL BOX	Ⓜ MONITORING WELL	⚙ WATER MAIN VALVE
● FOUND CONC. MONUMENT	Ⓢ SANITARY SEWER MANHOLE	⚡ WATER SHUT-OFF
○ FOUND IRON	● SET IRON	⚙ WATER WELL
⊗ GAS MAIN VALVE	▽ SIGN	□ WOOD STAKE

LINETYPES

—ELEC—	BURIED ELECTRICAL CABLE
—PHONE—	BURIED TELEPHONE CABLE
—DITCH-CL—	CENTERLINE OF DITCH
—FM—	FORCE MAIN
—GAS—	GAS MAIN
—RD-CL—	ROAD CENTERLINE
—B" SAN—	SANITARY SEWER
—12" SS—	STORM SEWER
—EX-TOS—	TOE OF SLOPE
—EX-TOB—	TOP OF BANK
—OHE—	UTILITIES - OVERHEAD
—UTIL—	UTILITIES - UNDERGROUND
—12" WM—	WATER MAIN

HATCH PATTERNS

ASPHALT - EXISTING
ASPHALT - PROPOSED
CONCRETE
GRAVEL
LANDSCAPING
RIP-RAP

THE DEN ON BROOMFIELD PROPOSED P.U.D.



PART OF THE NORTHEAST 1/4, SECTION 26, T14N-R4W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

LOCATION MAP
NOT TO SCALE

STORMWATER DETENTION OR RETENTION NOTE: SECTION 3.19-D ITEM 10

- 1) REQUIRED STORMWATER DETENTION OR RETENTION SHALL BE PROVIDED IN OPEN UNFENCED DETENTION OR RETENTION BASINS. THESE BASINS SHALL BE INCORPORATED INTO THE LANDSCAPING OR OPEN SPACE PLAN FOR THE DEVELOPMENT SO THAT THEY HAVE THE APPEARANCE OF AN APPEALING NATURAL FEATURE. STORMWATER DETENTION OR RETENTION SHALL COMPLY WITH THE UNION TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.
- THE REQUIRED STORMWATER DETENTION HAS BEEN PROVIDED OFF-SITE IN A COMMUNITY DETENTION FACILITY. NO ON-SITE DETENTION IS REQUIRED AND THUS HAS NOT BEEN INCLUDED IN THE LANDSCAPE OR OPEN SPACE PORTIONS OF THE DEVELOPMENT AND ARE NOT PART OF THE LANDSCAPE PLAN.

PROJECT DESCRIPTION AND INTENT:

THE PROPOSED PROJECT WILL BE BUILT IN ENTIRETY. THE FIRST FLOOR OF THE STRUCTURE WILL BE CONSTRUCTED AS A WHITE BOX, WITH 11,877 SF (GROSS) LEASEABLE SPACE. IT IS ANTICIPATED THERE WILL BE 85 PERCENT OF THIS SPACE AS NET LEASEABLE SPACE. LEASEABLE UNITS WILL BE DIVIDED INSIDE BASED ON THE RENTER'S NEEDS. THERE IS THE POTENTIAL FOR ONE OF THE OWNER/DEVELOPER'S TO OPEN A BRANCH OF HIS MEDICAL OFFICE ON THE FIRST FLOOR. THIS AGAIN, WILL BE BASED ON THE RENTALS TO OTHERS. THE OWNERS/DEVELOPERS FULLY INTEND ON HOLDING THE PROJECT AS AN INCOME PROPERTY AND ARE NOT LOOKING TO SELL THE DEVELOPMENT. THE SECOND, THIRD AND FOURTH FLOOR OF THE STRUCTURE WILL BE RESIDENTIAL. THE SECOND, THIRD AND FOURTH FLOORS HAVE EACH (4) 2-BEDROOM UNITS HAVING 1056 SF OF LIVING SPACE, (10) 1-BEDROOM UNITS HAVING 580 SF OF LIVING SPACE AND (2) STUDIO STYLE UNITS HAVING 454 SF OF LIVING SPACE. THIS TOTALS (12) 2-BEDROOM UNITS, (30) 1-BEDROOM UNITS AND (6) STUDIO STYLE UNITS. THE BUILDING HAS 10,095 SF OF NET LEASEABLE COMMERCIAL SPACE AND 32,796 SF OF LIVEABLE RESIDENTIAL SPACE. THE DEVELOPMENT RESIDES ON UNIT 1 AND 2 OF THE TALLGRASS COMMONS CONDOMINIUM. THE COMBINED LAND AREA EQUALS 2.27 ACRES. WITH A TOTAL OF 48 RESIDENTIAL UNITS, THE LAND AREA PER UNIT IS 2,175 SF/UNIT.

BUILDING FOOTPRINT TO OUTSIDE WALLS = 13,762 SF/FLOOR
GROSS COMMERCIAL FIRST FLOOR AREA = 11,877 SF
NET COMMERCIAL LEASEABLE FIRST FLOOR AREA = 10,095 SF
NET RESIDENTIAL LIVEABLE AREA 2, 3 & 4 FLOORS = 32,796 SF

NON-RESIDENTIAL USES:

THE PROPOSED FIRST FLOOR DEVELOPMENT WILL BE LIMITED TO MEDICAL, PUBLIC/QUASI-PUBLIC, COMMERCIAL AND RETAIL USES ALLOWED BY RIGHT WITHIN THE B-5 DISTRICT. NUMBER OF EMPLOYEES CANNOT BE DETERMINED AT THIS TIME FOR THE COMMERCIAL SPACE.

ANTICIPATED HOURS OF OPERATION:

HOURS OF OPERATION WILL BE BASED ON THE PROPOSED RENTER. IT IS ANTICIPATED THAT THE COMMERCIAL SPACE WILL BE CLOSED FROM 9:00 PM TO 6:00 AM.

PROJECT SCHEDULE:

THE PROJECT WILL GO OUT FOR BID ONCE FINAL SITE PLAN APPROVAL HAS BEEN OBTAINED. THE BIDDING AND CONTRACT PHASE OF THE PROJECT WILL TAKE 1-2 MONTHS. SITE CONSTRUCTION SHOULD BE ABLE TO BE STARTED APPROXIMATELY THE FIRST OF AUGUST 2022. THE ANTICIPATED CONSTRUCTION SCHEDULE IS 1 YEAR. THE INTENT IS TO BUILD THE ENTIRE SITE AS SHOWN.

DESCRIPTIONS PROVIDED: (TITLE POLICY NO. 5011400-220507*)
TAX IDENTIFICATION NUMBERS: UNIT 1, 14-103-00-001-00; UNIT 2, 14-103-00-002-00

UNITS 1 AND 2 OF TALLGRASS COMMONS CONDOMINIUM, A COMMERCIAL SITE CONDOMINIUM ACCORDING TO THE MASTER DEED THEREOF RECORDED IN LIBER 1439, PAGES 451-520, INCLUSIVE, AND FIRST AMENDMENT RECORDED NOVEMBER 3, 2009 IN LIBER 1499, PAGES 887-894 INCLUSIVE, AND SECOND AMENDMENT RECORDED MARCH 24, 2010 IN LIBER 1511, PAGES 824-830 INCLUSIVE, AND DESIGNATED AS ISABELLA COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 54, WITH RIGHTS IN GENERAL COMMON ELEMENTS AND LIMITED COMMON ELEMENTS, AS SET FORTH IN SAID MASTER DEED AND AMENDMENTS AND AS DESIGNATED IN ACT 459 OF THE PUBLIC ACTS OF MICHIGAN OF 1978 AS AMENDED.

SHEET INDEX	
1.	COVER SHEET
2.	ZONING MAPS
3.	EXISTING TOPOGRAPHY
4.	HORIZONTAL LAYOUT PLAN
5.	STORMWATER PLAN
6.	SITE UTILITY PLAN
7.	LANDSCAPING PLAN
A1.0	FIRST FLOOR FLOOR PLAN
A1.1	SECOND FLOOR FLOOR PLAN
A1.2	ENLARGED UNIT FLOOR PLAN
A4.0	EXTERIOR ELEVATIONS
A4.1	EXTERIOR ELEVATIONS

BENCHMARKS:

BENCHMARK #1: TOP OF FOUND CAPPED IRON ON WEST PROPERTY LINE.
ELEV.= 792.60

BEARING BASIS:

PER GEODETIC OBSERVATION WGS-84 THE BEARING BETWEEN THE NORTH 1/4 CORNER AND THE NORTHEAST CORNER OF SECTION 26, T14N-R4W WAS DETERMINED TO BE N89°-55'-22"E.

SITE:	NORTHWEST CORNER OF THE INTERSECTION OF BROOMFIELD AND SWEENEY STREET. MT. PLEASANT, MI 48858
CLIENT:	THE DEN ON BROOMFIELD B.S.P. ENTERPRISES, LLC 430 S. FIRST STREET CARSON CITY, MI 48811 CONTACT: ANUPKUMAR K. PATEL PHONE: (906) 225-1360 EMAIL: Anupmgh@yahoo.com
CONSULTANT:	CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC. 2257 EAST BROOMFIELD ROAD MT. PLEASANT, MI 48858 CONTACT PERSON: TIMOTHY E BEBEE PHONE: (989) 775-0756 FAX: (989) 775-5012 EMAIL: info@cms-d.com
ARCHITECT:	CASE ARCHITECTURE 282 S. MAIN ST., P.O. BOX 244 FREELAND, MI 48623 PHONE: (989) 695-9707

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rbunker@chartercom.com

CONSUMERS ENERGY

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(989) 463-0392
KIM STUDT
kimberly.studt@cmsenergy.com

FRONTIER

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(989) 463-0392
MARK A. MARSHALL
Mark.Marshall@fr.com

DTE ENERGY

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(616) 954-4623
MARY JO WICKERSIE
mckersiem@dteenergy.com

MT. PLEASANT FIRE DEPARTMENT

804 EAST HIGH STREET
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(989) 779-5122
LT. BRAD DOEPKER
bdoepker@mt-pleasant.org

CHARTER TOWNSHIP OF UNION

PUBLIC WATER/PUBLIC SEWER
2010 N. LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT 24
KIM SMITH
ksmith@uniontownshipmi.com

CHARTER TOWNSHIP OF UNION

PLANNING & ZONING
2010 NORTH LINCOLN ROAD
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PETER GALLINAT
pgallinat@uniontownshipmi.com

DRAIN COMMISSIONERS OFFICE

ISABELLA COUNTY BUILDING
200 NORTH MAIN STREET ROOM 140
MT. PLEASANT, MI 48857
(989) 772-0911
ROBERT WILLOUGHBY
drain@isabellacounty.org

ISABELLA COUNTY ROAD COMMISSION

2261 EAST REMUS ROAD
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PATRICK GAFFNEY
PGaffney@isabellaroads.com

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COVER SHEET
THE DEN ON BROOMFIELD
UNITS 1 AND 2 OF TALLGRASS COMMONS
SITE CONDOMINIUM, PART OF THE NORTHEAST 1/4
OF SECTION 26, UNION TWP., ISABELLA CO., MICHIGAN

REVISIONS:

SUBMITTAL TO UNION TOWNSHIP 4-25-22

JOB NUMBER:

1810-109

DRAWN BY:

BTM

DESIGNED BY:

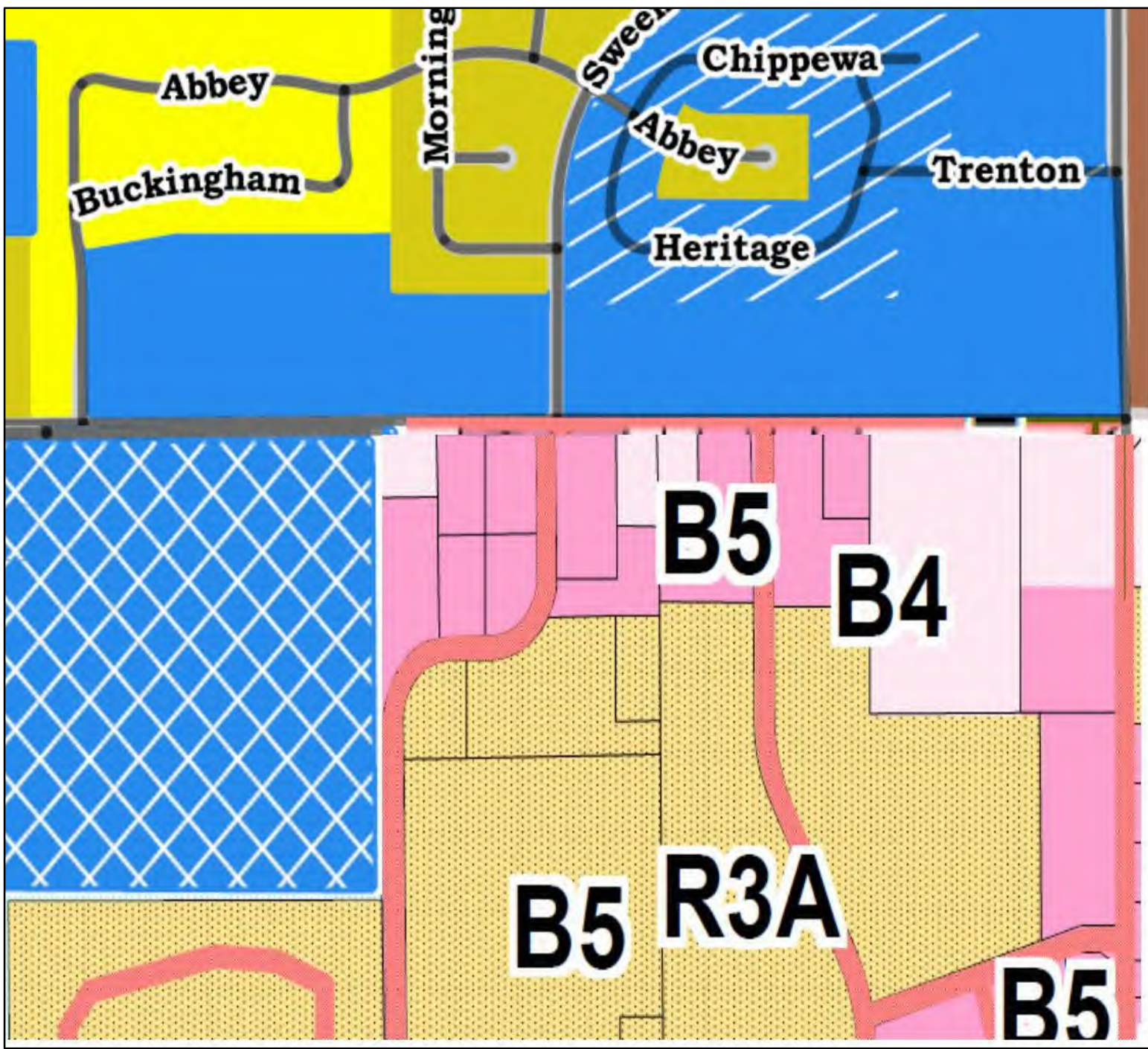
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CHECKED BY:

TELB

SCALE
N/A

SHEET NUMBER
1 OF 12

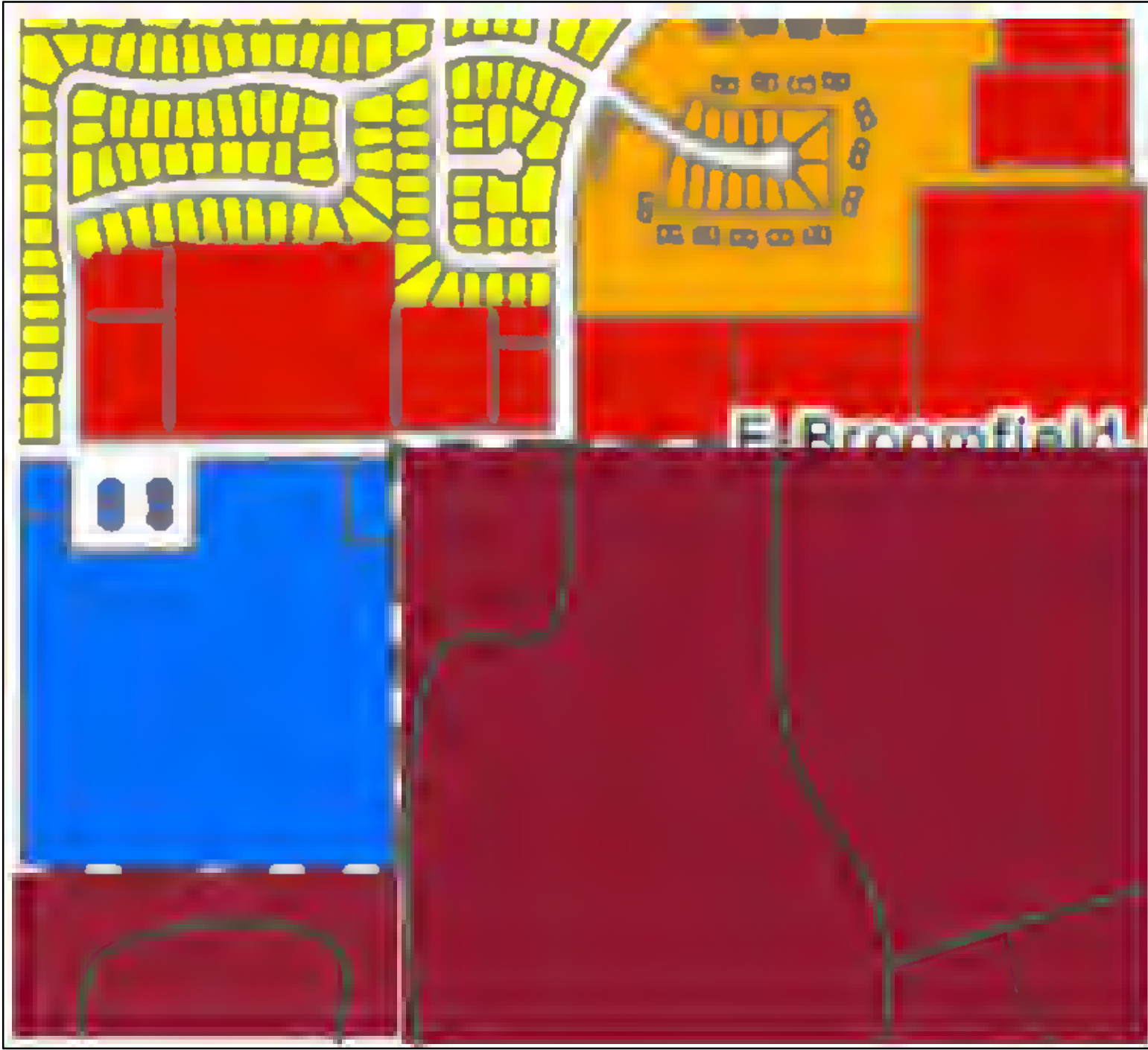


CITY OF MT. PLEASANT ZONING

- CD-3L (Sub-Urban Large Lot)
 - CD-3 (Sub-Urban)
 - CD-4 (General Urban)
 - Student Organization Dwelling & Rooming Dwelling Restriction
- These Uses are limited to these areas and prohibited elsewhere.

CHARTER TOWNSHIP OF UNION ZONING MAP

- B-4 General Business
- B-5 Highway Business
- R-3A Apartment and Condominiums



FUTURE LAND USE - CITY OF MT. PLEASANT

- Residential
- Attached Residential
- Mixed Use Low
- Mixed Use Medium

UNION CHARTER TOWNSHIP FUTURE LAND USE

- BLUEGRASS CENTER AREA

D. Mixed-Use Bluegrass Center Area

While currently more auto-centric, this area has the potential to transition into a more walkable, vibrant center. Future uses should be integrated to include multi-story, mixed-use buildings; first floor retail and office uses; public use and spaces; entertainment and restaurant venues; and additional attached housing types such as townhouses. Both vehicular and pedestrian cross connections should be promoted between sites, providing for future connections through easements, and should collectively promote a vibrant, livable center to the neighboring university population.

Key gateways into the center at busy intersections should have clearly delineated, safe pedestrian crossings and gateway landscaping and signage to project the "town center" image and branding for the district. This branding can continue through streetscape improvements such as pedestrian scale lighting, banners, street trees, and street furniture, similar to those provided by the EDA on Pickard Road, to build a cohesive center. Working with the Road Commission, Union Township should prioritize right-of-way easements to capture the pedestrian amenity zone in front of street-fronting development.

Mixed-use development promoting walkability should be prioritized along Bluegrass Road and connections made to nearby apartment complexes and big box retailers. New development visible from Highway 127 should be developed with friendly "back doors" as well to ensure the highest quality image for the township is projected to travelers.

This area could benefit from master planning, a character-based code, or planned unit development to ensure that future development is coordinated with roadway improvements. The concept plan depicted on the following page is meant to be the first schematic step at identifying further, more concrete, recommendations during the development of a more detailed subarea analysis.

See the design guidelines recommended for attached housing and commercial development in other sections of this chapter.



ATTACHED RESIDENTIAL

Intent. To encourage attached residential units within neighborhoods that are compatible with the character and scale of existing single-family homes.

Description. The recommended density in these areas is for not more than 30 dwelling units per acre and is planned for areas that are located in close proximity to the neighborhood centers, downtown, and along Mission Street. Development on vacant lots within this residential classification should be encouraged and the character, scale and development pattern of the new development should be compatible with the older, existing structures and development patterns of these residential neighborhoods. The maximum number of units allowed to be attached is 30 units.

Appropriate Use. Single family attached dwellings with a density of up to 30 dwellings per acre.

Corresponding Zoning District(s). CD-4.

Connectivity. The recommended maximum block perimeter and block length in high-density residential are intended to create smaller blocks and a walkable pedestrian environment. Vehicular, bicycle, and pedestrian connections should be provided between adjacent neighborhoods such that it will be possible walk and bike to destinations.

Building Locations. Buildings will have a residential scale and character and should present a traditionally proportioned building façade to the street.

Parking. On street parking is encouraged.

MIXED-USE MEDIUM

Intent. To create middle-intensity, mixed-use areas that are walkable and pedestrian friendly. Residential uses above commercial uses will be the ideal, and setbacks should be minimal or not exist at all. The right-of-way should be lined with street trees and curbs should be present.

Description. This district should consist of a medium density area that has a mix of building types and residential, retail/ personal service, office and business/commercial uses; there are medium, shallow or no front setbacks and narrow to medium side setbacks; it has variable private landscaping; and it has streets with curbs, sidewalks, and thoroughfare trees that define medium-sized blocks.

Appropriate Uses. All uses permitted in CD-4 and CD-5.

Corresponding Zoning District(s). CD-4, CD-5.

Connectivity. Some corridor commercial areas are large enough that they could be developed as a mixed-use development with an internal street system. There have been recent areas that have been retro fitted to match the current street grid or a road has been added connecting two streets together making a grid. Mixed-use areas large enough to have grid should have one and connect to the existing grid. These areas should accommodate all modes of transportation and be pedestrian friendly above all. Block sizes should be a maximum of 2,400 feet.

Building Location. Buildings should be located at the lot line with parking located behind the building.

Building Design. Building design should match the character and materials of existing buildings on the street. Façades will be proportional, respond to the street, and be welcoming to pedestrians, with accessible main entrances and street-facing glazed windows.

Parking. Located behind buildings.

MIXED-USE LOW

Intent. To service adjacent residential neighborhoods with a mixture of retail, and/or office uses. To provide for new residential units in a mixed-use environment.

Description. This area will be less intense than the CD-4 area but still provide needed services through a mix of building types. There are medium, shallow or no front setbacks, and narrow to medium side setbacks. Streets have curbs, sidewalks, and thoroughfare trees that define medium-sized blocks. Landscaping varies based on the individual building.

Appropriate Uses. Include all uses permitted in CD-4.

Corresponding Zoning District(s). CD-4, modified to require lower residential densities.

Connectivity. Some corridor commercial areas are large enough that they could be developed as a mixed-use development with an internal street system. Wherever this is the case, a block system should be developed with a maximum block perimeter of 2,200 feet and a maximum block face of 800 feet. Cross access is encouraged to reduce curb cuts and turning conflicts. Street connections and/or pedestrian connections, as appropriate, should be provided between corridor commercial areas and adjacent neighborhoods. This use is found in front of attached residential and residential neighborhoods and is often on a major corridor. These uses should connect neighborhoods to the larger corridor.

Building Location. Buildings are located at the lot line with parking located behind the building.

Building Design. Building design should match the character and materials of existing buildings on the street. Façades will be proportional, respond to the street, and be welcoming to pedestrians, with accessible main entrances and street-facing glazed windows.

Parking. Located behind buildings.

RESIDENTIAL

Intent. To maintain the well-established character, architecture, scale and density of the traditional single-family neighborhoods that are characteristic of the City of Mt. Pleasant.

Description. The recommended density in these areas is up to nine dwelling units per acre and is planned for areas compatible with existing residential development and most capable of supporting additional development due to the availability of utilities, natural resource conditions and the adequacy of roads. The characteristics of existing neighborhoods, including detached homes on varying lot sizes, as well as duplexes, should be maintained by encouraging programs and techniques that improve existing neighborhoods and housing conditions. Development on vacant lots within this residential classification should only occur if the character, scale and development pattern of the new development is compatible with the older, existing structures and development patterns of these residential neighborhoods.

Appropriate Land Uses. Single-family detached dwellings and duplexes with a density of up to nine dwelling units per acre.

Corresponding Zoning District(s). CD-3L and CD-3.

Connectivity. Residential areas should exist as the fabric uniting neighborhood centers, Downtown, and the Mission St. corridor. Vehicular, bicycle, and pedestrian connections between adjacent neighborhoods will allow for seamless pedestrian and non-motorized access.

Building Location. Buildings will create a unified street frontage, with main entrances on the street of address.

Building Design. Buildings will have a residential scale and character and should present a traditionally proportioned building façade to the street.

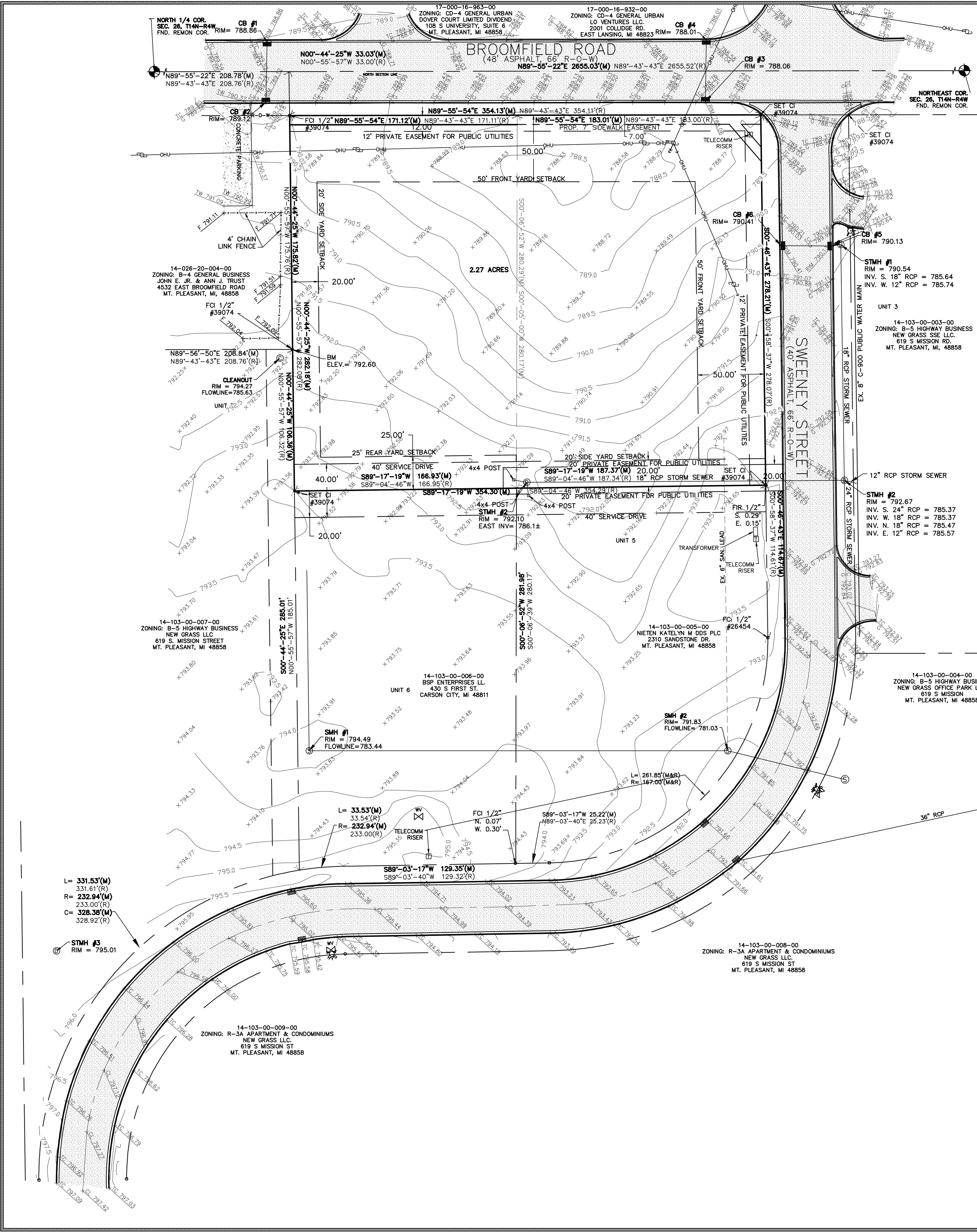
Parking. On-street parking is encouraged.



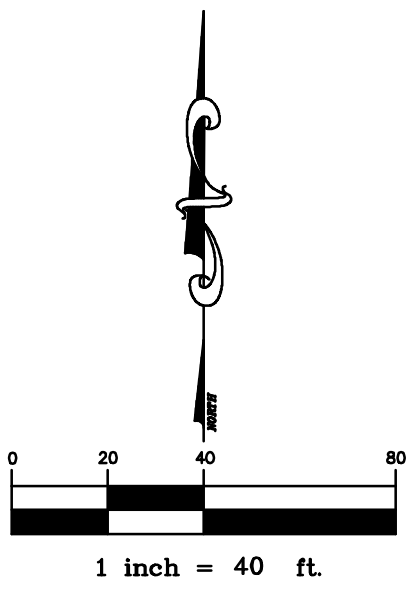
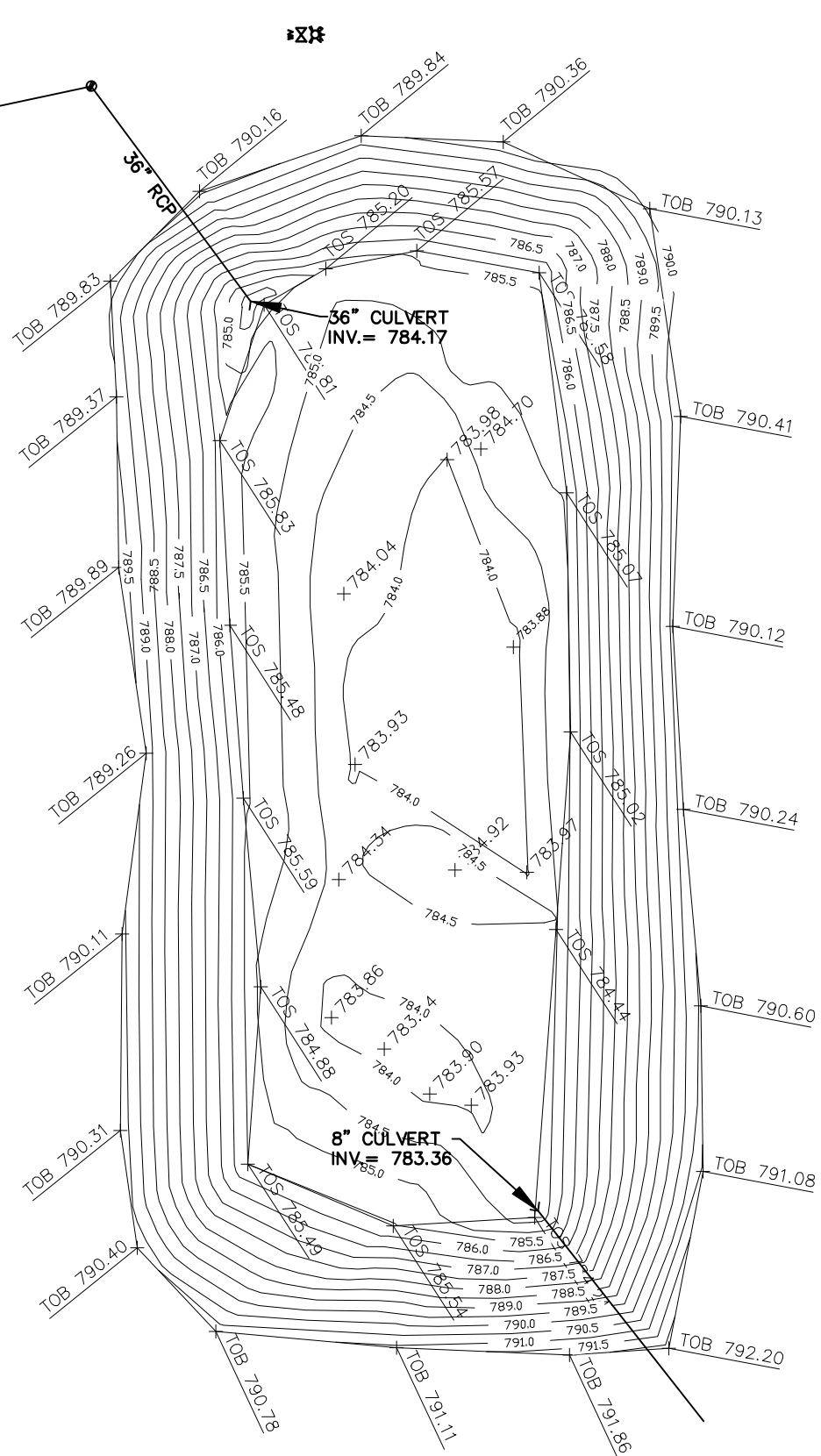
REVISIONS:

SUBMITTALS:
SUBMITTAL TO UNION TOWNSHIP 4-25-22

JOB NUMBER: 1810-109
DRAWN BY: BTM
DESIGNED BY: N/A
CHECKED BY: TELB
SCALE: N/A
SHEET NUMBER: 2 OF 12



SOILS INVENTORY:
LONDO LOAM
A. THE LONDO SERIES CONSISTS OF DEEP, SOMEWHAT
POORLY DRAINED OR MODERATELY SLOWLY PERMEABLE SOILS ON
TILL PLAINS. THE SLOPE RANGES BETWEEN 0 TO 6 PERCENT.



CMS & D

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EMAIL: info@cms-d.com

EXISTING TOPOGRAPHY

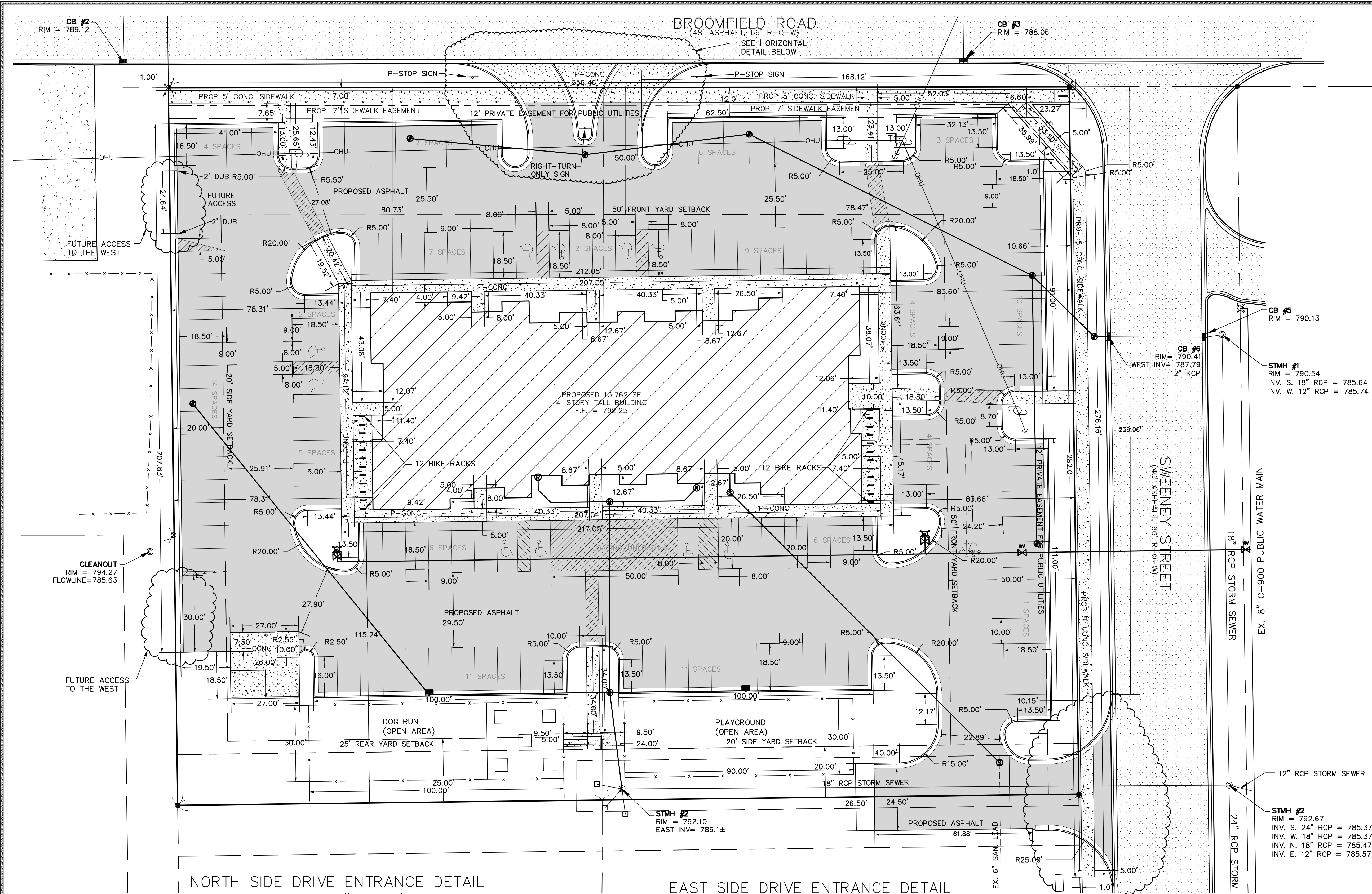
THE DEN ON BROOMFIELD

UNITS 1 AND 2 OF TALLGRASS COMMONS

SITE CONDOMINIUM, PART OF THE NORTHEAST 1/4

OF SECTION 26, UNION TWP., ISABELLA CO., MICHIGAN

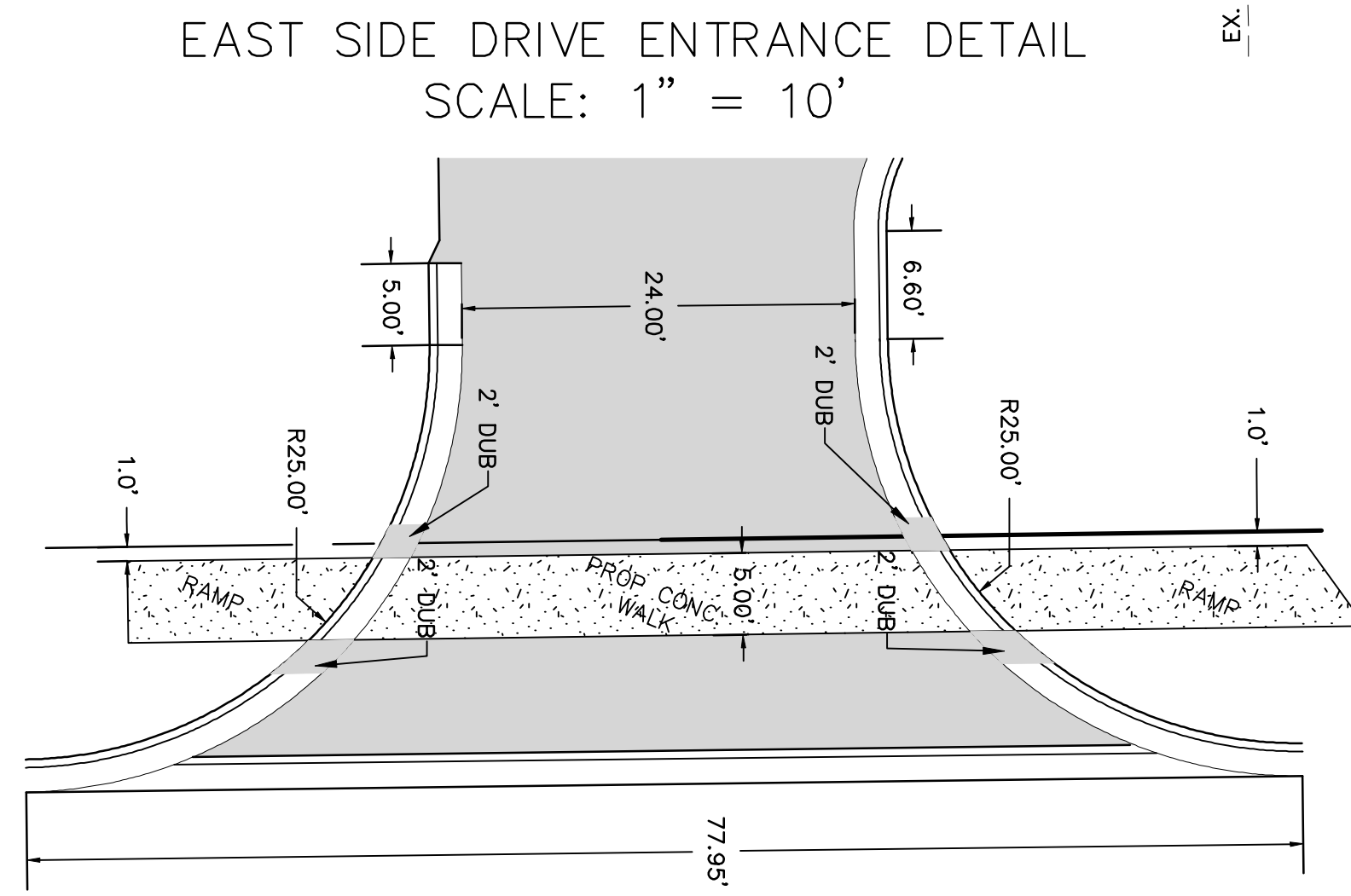
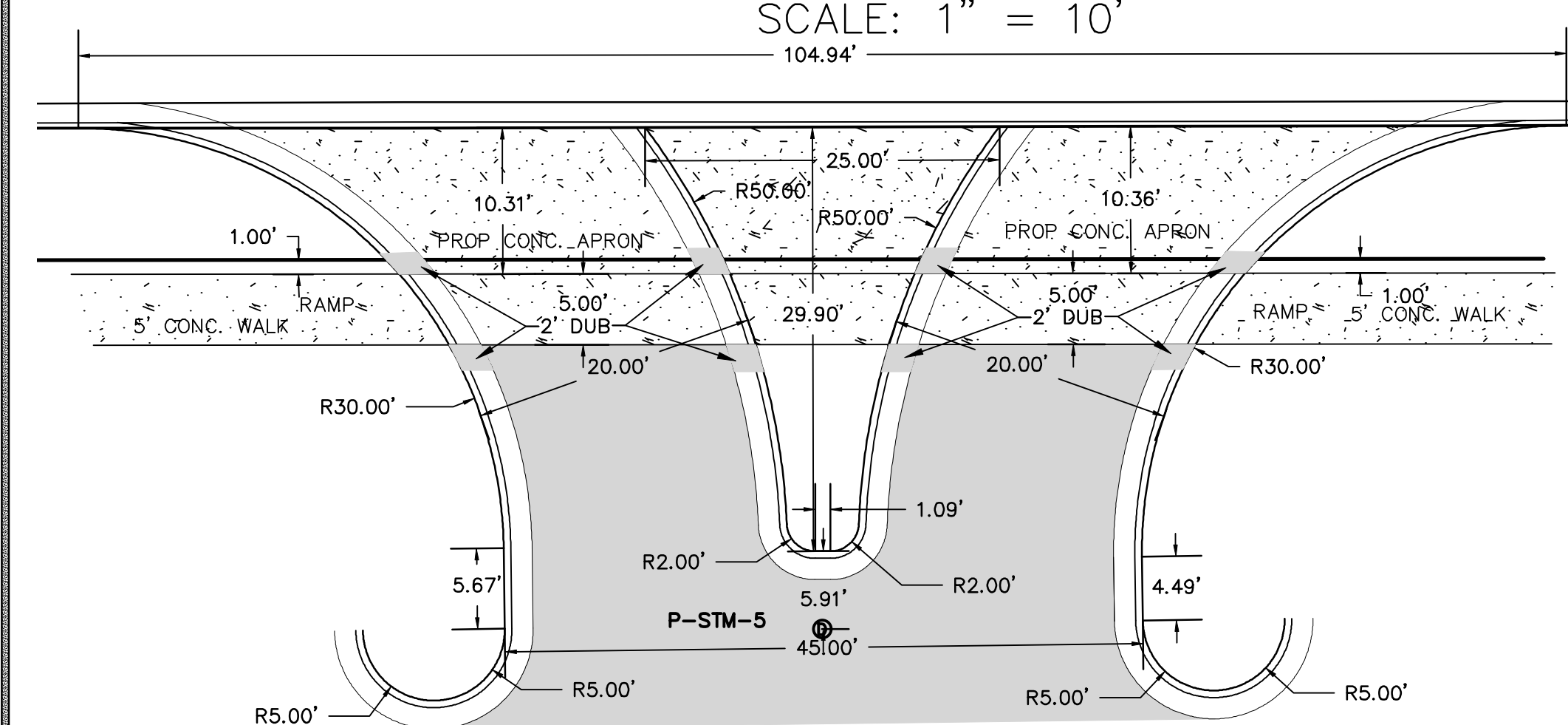
REVISIONS:	
SUBMITTALS:	
JOB NUMBER:	1810-109
DRAWN BY:	BTM
DESIGNED BY:	N/A
CHECKED BY:	TELB
SCALE	1" = 40'
SHEET NUMBER	3 OF 12



PARKING REQUIREMENTS & PARKING COUNT	
- REQUIRED PARKING (RESIDENTIAL)	
0.7 SPACES PER BEDROOM	
36 - 1 BEDROOM UNITS = 25.2 SPACES	
12 - 2 BEDROOM UNITS = 16.8 SPACES	
TOTAL FOR RESIDENTIAL = 42 = 42 SPACES	
- REQUIRED PARKING (COMMERCIAL)	
1.0 SPACES PER 200 S.F. (USABLE)	
USABLE COMMERCIAL TAKEN AS 85% GROSS	
((11,877 S.F. / 200 S.F.) = 60 SPACES	
TOTAL REQUIRED PARKING = 102 SPACES	
STANDARD AVAILABLE = 120 SPACES	
TOTAL BARRIER FREE = 10 SPACES	
TOTAL ALL SPACES = 130 SPACES	

STUDIO UNITS	TOTAL UNITS	UNIT SIZE
6	6	454 SQ. FT.
1-BEDROOM UNITS	30	580 SQ. FT.
2-BEDROOM UNITS	12	1,056 SQ. FT.

GROSS EQUALS NET DWELLING UNIT DENSITY =
LOT AREA PER DWELLING UNIT = 2067 SQ. FT.
PER DWELLING UNIT
LOT COVERAGE (BUILDING)= 13.8% LOT COVERAGE
LOT COVERAGE (IMPERVIOUS)= 75.6% LOT COVERAGE



CMS & D

SURVEYING / ENGINEERING

2257 E. BROOMFIELD RD.
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com

HORIZONTAL SITE PLAN

THE DEN ON BROOMFIELD

UNITS 1 AND 2 OF TALLGRASS COMMONS

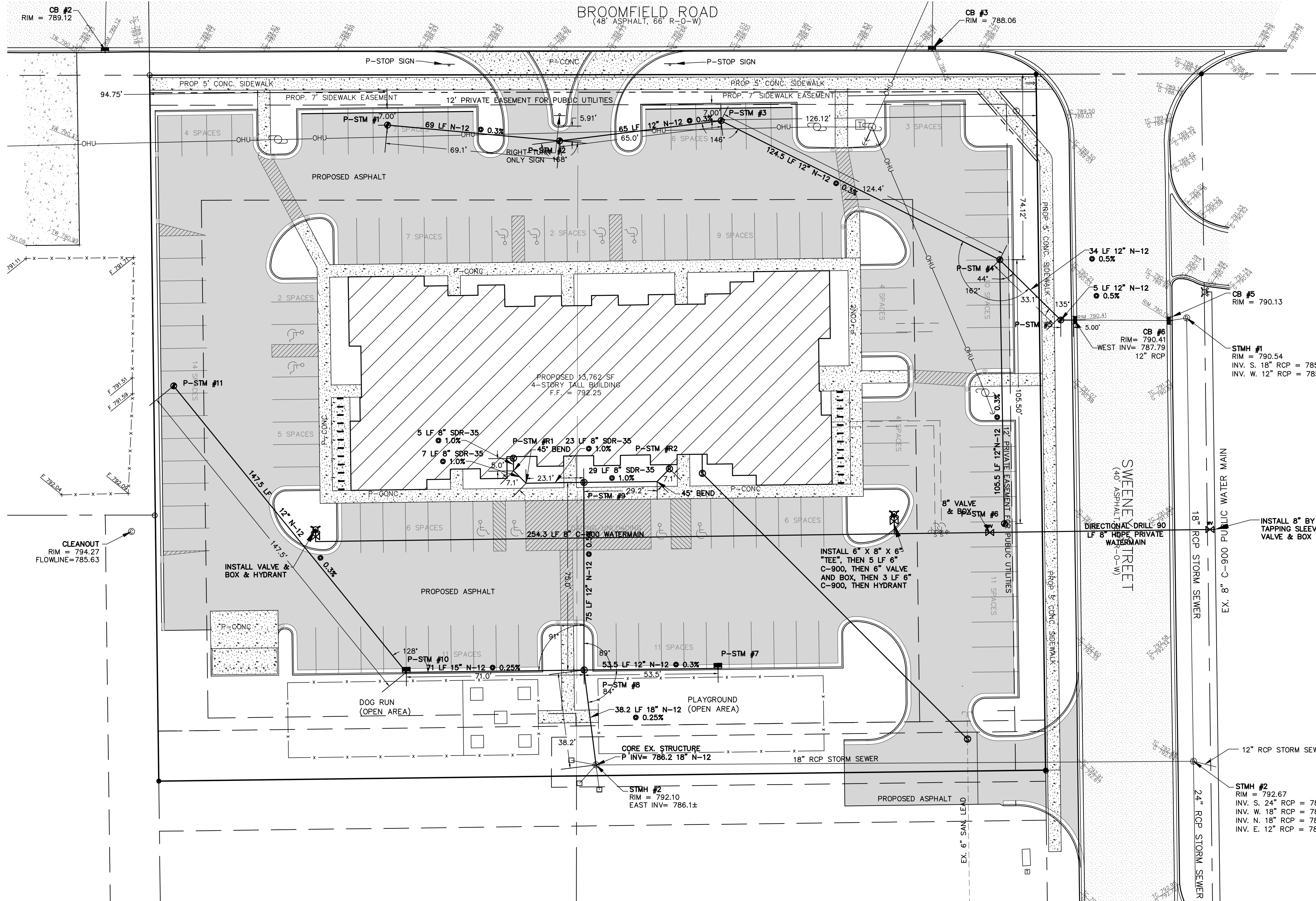
SITE CONDOMINIUM, PART OF THE NORTHEAST 1/4

OF SECTION 26, UNION TWP., ISABELLA CO., MICHIGAN

REVISIONS:

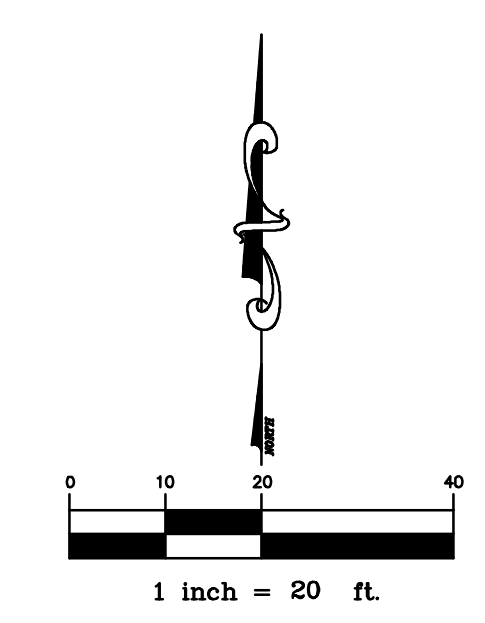
SUBMITTALS:
SUBMITTAL TO UNION TOWNSHIP 4-25-22

JOB NUMBER: 1810-109	DRAWN BY: BTM	DESIGNED BY: TELB	CHECKED BY: TELB
SCALE 1" = 20'	SHEET NUMBER 4 OF 12		



PROPOSED STORM STRUCTURE TABLE	
P-STM #1	2' DIA. MDOT HEAVY WALL E.J.I.W. #2850 W/ TYPE M-2 GRATE RIM= 790.50 EAST INV= 787.95 12" N-12
P-STM #2	2' DIA. MDOT HEAVY WALL E.J.I.W. #2850 W/ TYPE M-2 GRATE RIM= 789.75 WEST INV= 787.74 12" N-12 EAST INV= 787.74 12" N-12
P-STM #3	3' DIA. CONC. STRUCTURE 0.5' THICK CONC. FLAT COVER E.J.I.W. #1040 W/ TYPE M-1 GRATE RIM= 790.75 WEST INV= 787.54 12" N-12 SOUTHEAST INV= 787.54 12" N-12
P-STM #4	4' DIA. CONC. STRUCTURE E.J.I.W. 1040 W/ TYPE M-1 GRATE RIM= 790.75 SOUTH INV= 787.17 12" N-12 SOUTHEAST INV= 787.17 12" N-12 NORTHWEST INV= 787.07 12" N-12
P-STM #5	4' CONC. STRUCTURE E.J.I.W. 1040 W/ SOLID LID RIM= 790.00 NORTHWEST INV= 786.82 12" N-12 EAST INV= 786.92 12" N-12
P-STM #6	2' DIA. MDOT HEVY WALL W/ TYPE M-1 GRATE RIM= 790.75 NORTH INV= 787.49 12" N-12
P-STM #7	4' DIA. CONC. STRUCTURE E.J.I.W. 7045 W/ TYPE M-2 GRATE RIM= 790.0 WEST INV= 786.56 12" N-12
P-STM #8	3' DIA. CONC. STRUCTURE E.J.I.W. 1040 W/ SOLID LID RIM= 791.10 NORTH INV= 786.40 12" N-12 SOUTH INV= 786.30 18" N-12 WEST INV= 786.40 15" N-12 EAST INV= 786.40 12" N-12
P-STM #9	4' DIA. CONC. STRUCTURE E.J.I.W. 1040 W/ SOLID LID RIM= 791.70 SOUTH INV= 786.78 12" N-12 EAST INV= 786.88 8" SDR-35 WEST INV= 786.88 8" SDR-35
P-STM #10	4' DIA. CONC. STRUCTURE E.J.I.W. 7045 W/ TYPE M-2 GRATE RIM= 790.50 EAST INV= 786.58 15" N-12 NORTHWEST INV= 786.68 12" N-12
P-STM #11	2' DIA. MDOT HEAVY WALL E.J.I.W. #2850 W/ TYPE M-2 GRATE RIM= 790.25 EAST INV= 787.12 12" N-12

PROPOSED STORM RISER TABLE	
P-STM R#1	RIM= 791.85 INV= 787.25 8" SDR-35
P-STM R#2	RIM= 791.85 EAST INV= 787.25 8" SDR-35



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EMAIL: info@cms-d.com

STORMWATER PLAN

THE DEN ON BROOMFIELD

UNITS 1 AND 2 OF TALLGRASS COMMONS

SITE CONDOMINIUM, PART OF THE NORTHEAST 1/4

OF SECTION 26, UNION TWP., ISABELLA CO., MICHIGAN

REVISIONS:

SUBMITTALS:

JOB NUMBER: 1810-109

DRAWN BY: BTM

DESIGNED BY: TELB

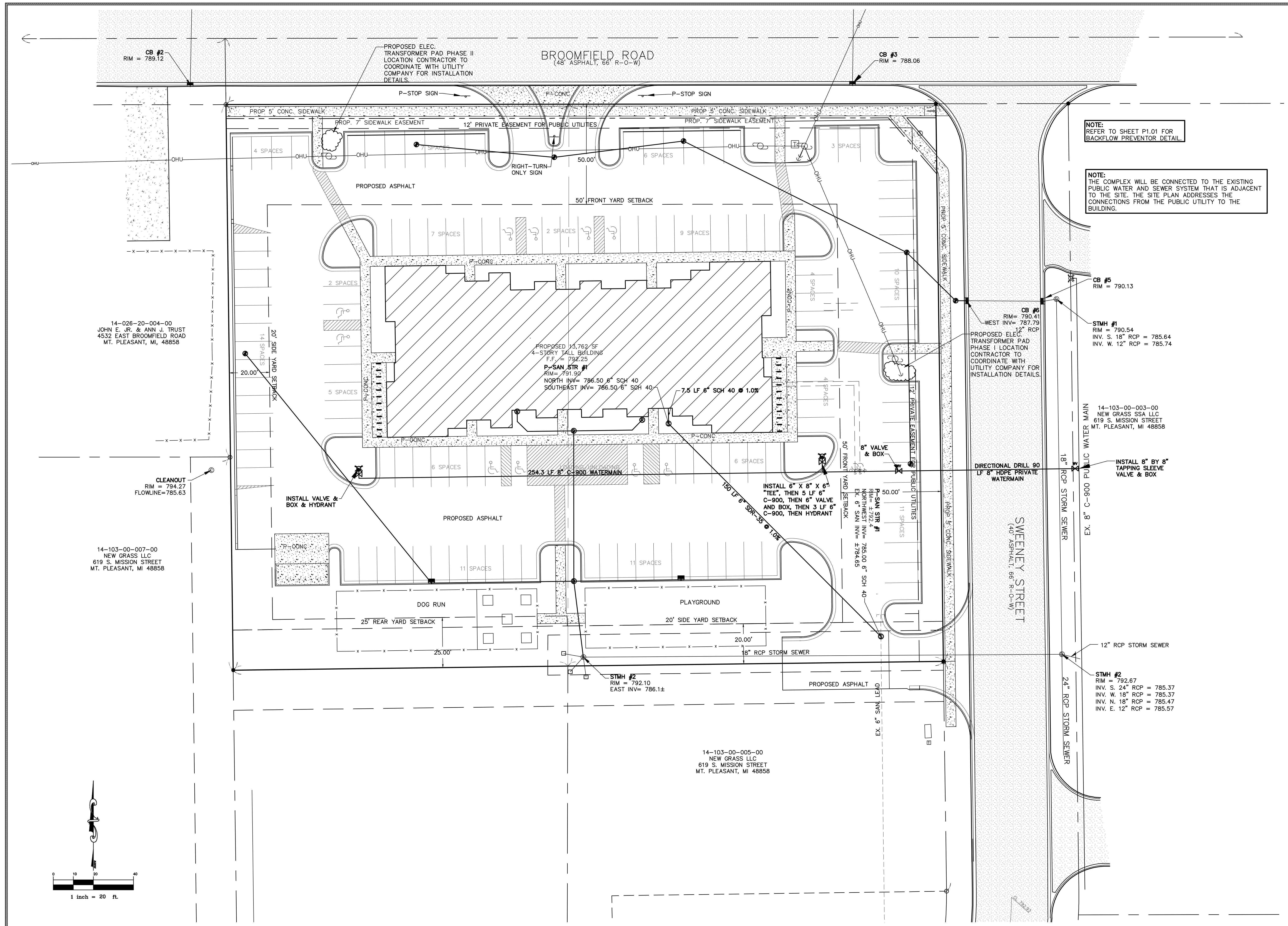
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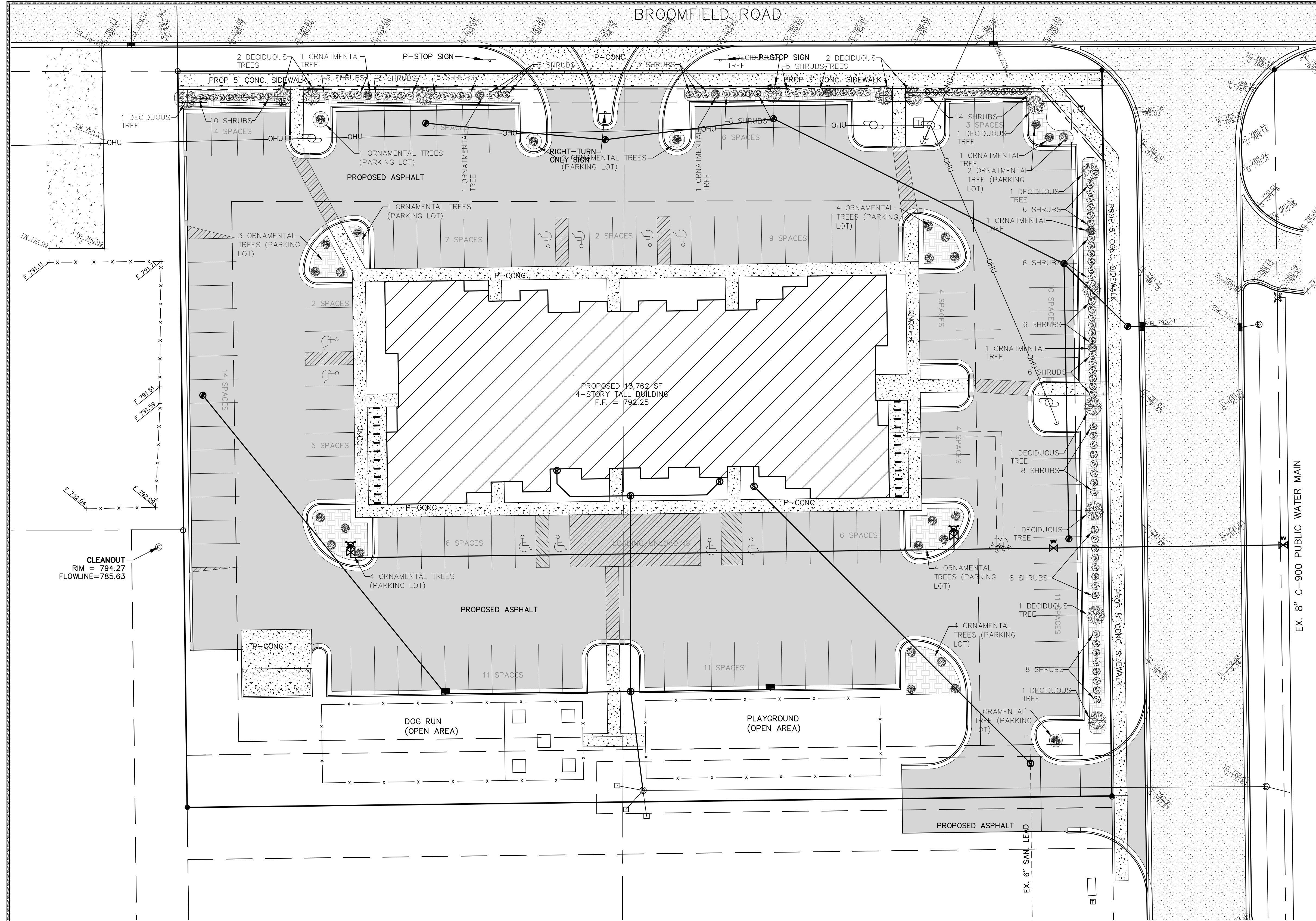
SCALE

1" = 20'

SHEET NUMBER

5 OF 12





PROJECT LANDSCAPING:

IN ACCORDANCE WITH SECTION 10, LANDSCAPING AND SCREENING OF THE UNION CHARTER TOWNSHIP ORDINANCE, THE FOLLOWING SHALL BE PLANTED IN ACCORDANCE WITH SECTION 10.2 SUMMARY OF MINIMUM PLANTING REQUIREMENTS AND SUMMARY OF PLANT MATERIAL SPECIFICATIONS OF PLANTING AND SECTION 10.4, STANDARDS FOR LANDSCAPING MATERIALS.

LANDSCAPING ADJACENT TO BROOMFIELD ROAD.

- 1) THERE ARE SHOWN (8) 'STREET' TREES FOR THE 354 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE ON BROOMFIELD ROAD. 1 TREE FOR EVERY 40 FRONT FEET.
- 2) THERE ARE (4) ORNAMENTAL STREET TREES FOR THE 354 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE ON BROOMFIELD ROAD. 1 TREE FOR EVERY 100 FRONT FEET.
- 3) THERE ARE (60) SHRUBS FOR THE 354 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE ON BROOMFIELD ROAD. 8 SHRUBS FOR EVERY 40 FRONT FEET.

LANDSCAPING ADJACENT TO SWEENEY ROAD.

- 4) THERE ARE SHOWN (6) 'STREET' TREES FOR THE 278 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE ON SWEENEY ROAD. 1 TREE FOR EVERY 40 FRONT FEET.
- 5) THERE ARE (3) ORNAMENTAL STREET TREES FOR THE 274 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE ON SWEENEY ROAD. 1 TREE FOR EVERY 100 FRONT FEET.
- 6) THERE ARE (48) SHRUBS FOR THE 274 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE ON SWEENEY ROAD. 8 SHRUBS FOR EVERY 40 FRONT FEET.

SCREENING SHRUBS WILL BE NEEDED TO SCREEN ANY TRANSFORMER PADS, MECHANICAL (HVAC) UNITS, AND SIMILAR DEVICES ON SITE.

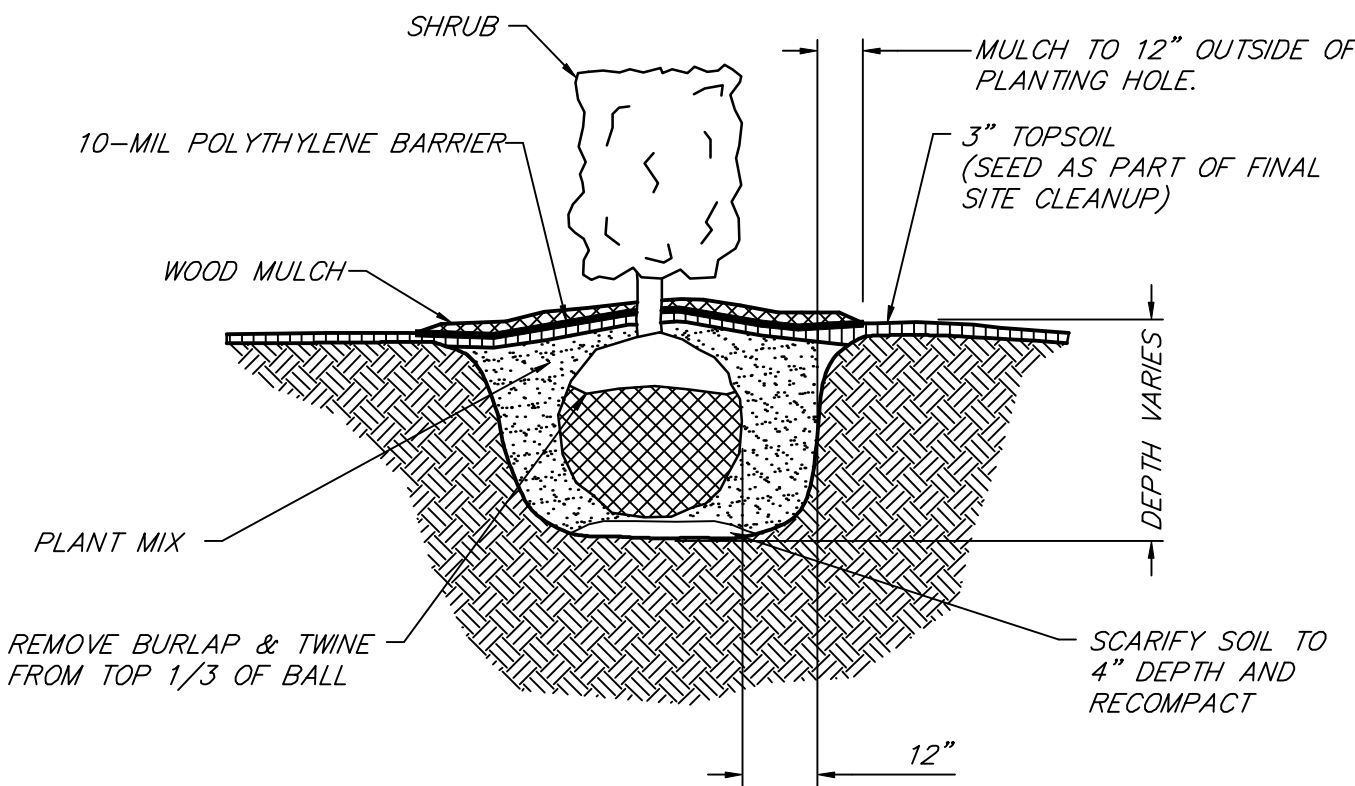
SCREENING ADJACENT TO RESIDENTIAL SHALL BE EVERGREENS SPACED NO MORE THAN 15 FEET ON CENTER. THE PROPOSEDD PROJECT IS NOT ADJACENT TO A RESIDENTIAL ZONE OR USE.

PARKING LOT LANDSCAPING SHALL BE 1 TREE FOR EVERY 5 PARKING SPACES. A TOTAL OF 130 SPACES ARE BEING PROPOSED. 26 TREE PLANTINGS ARE SHOWN.

LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 10.5, INSTALLATION AND MAINTENANCE. LANDSCAPING WILL HAVE ONE YEAR GUARANTEE FROM THE INSTALLER. PRIOR TO THE ONE YEAR ANNIVERSARY, THE INSTALLER WILL REPLACE ANY DAMAGED, DYING OR DEAD PLANTINGS. FOLLOWING THIS GUARANTEE PERIOD, EACH SPRING, THE PLANTINGS SHALL BE INSPECTED AND ANY DAMAGED, DYING OR DEAD PLANTINGS WILL BE REPLACED. GENERAL LAWN AREAS WILL BE MAINTAINED AND MOWED REGULARLY.

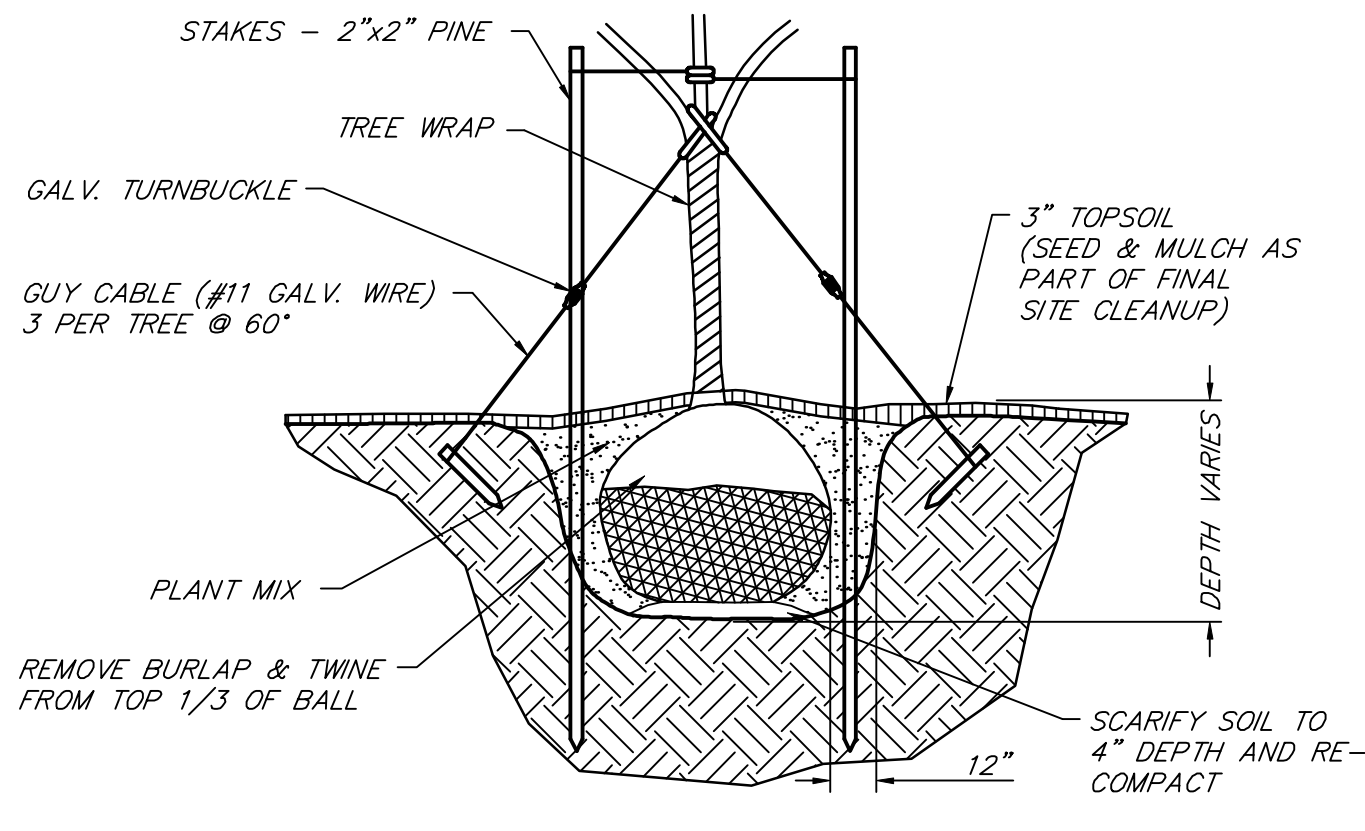
TREE PLANTING GENERAL NOTES:

1. STAKE TREES UNDER 4" CALIPER
2. GUY TREES 4" CALIPER & OVER
3. PRUNE TO THIN & SHAPE CANOPY
4. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
5. SET TOP OF BALL TO CORRESPOND WITH FINISH GRADE
6. SET STAKES VERTICAL AND EVENLY
7. STAYS OR GUYS TO BE SET ABOVE FIRST BRANCH
8. SCARIFY SOIL TO 4" DEPTH & RECOMPACT
9. STAKES TO EXTEND 18" BELOW PIT IN UNDISTURBED SOIL



TYPICAL EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE



TYP. TREE PLANTING DETAIL

NOT TO SCALE

PROP DECIDUOUS TREE WITH A MIN. CALIPER OF 2.5 INCHES AND A MIN. HEIGHT OF 4 FEET TO FIRST BRANCH.

PROP ORNATMENTAL TREE - TYPE LISTED IN TABLE

PROP SHRUB- MIN. HEIGHT OF 3 FEET AND A MIN. SPREAD OF 2 FEET.

NOTE: ALL OTHER SOFT AREAS NOT DESIGNATED AS COVERED SHALL BE GRASS COVERED.

= TREE COVER

STREET PLANTINGS - BROOMFIELD ROAD.

8 DECIDUOUS TREES

4 ORNAMENTAL TREES*

60 SHRUBS

STREET PLANTINGS - SWEENEY STREET

6 DECIDUOUS TREES

3 ORNAMENTAL TREES*

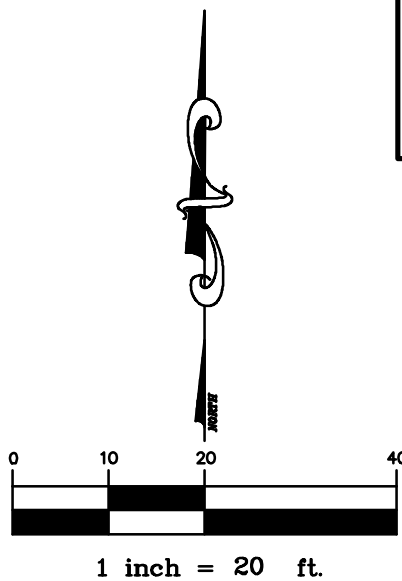
48 SHRUBS

PARKING LOT PLANTING

TOTAL PLANTINGS = 130/5 = 26 TREES

26 ORNAMENTAL TREES*

* - ALL ORNAMENTAL TREES ARE MALUS 'LOLLIPOP'.



REVISIONS:

SUBMITTALS:
SUBMITTAL TO UNION TOWNSHIP 4-25-22

JOB NUMBER:
1810-109

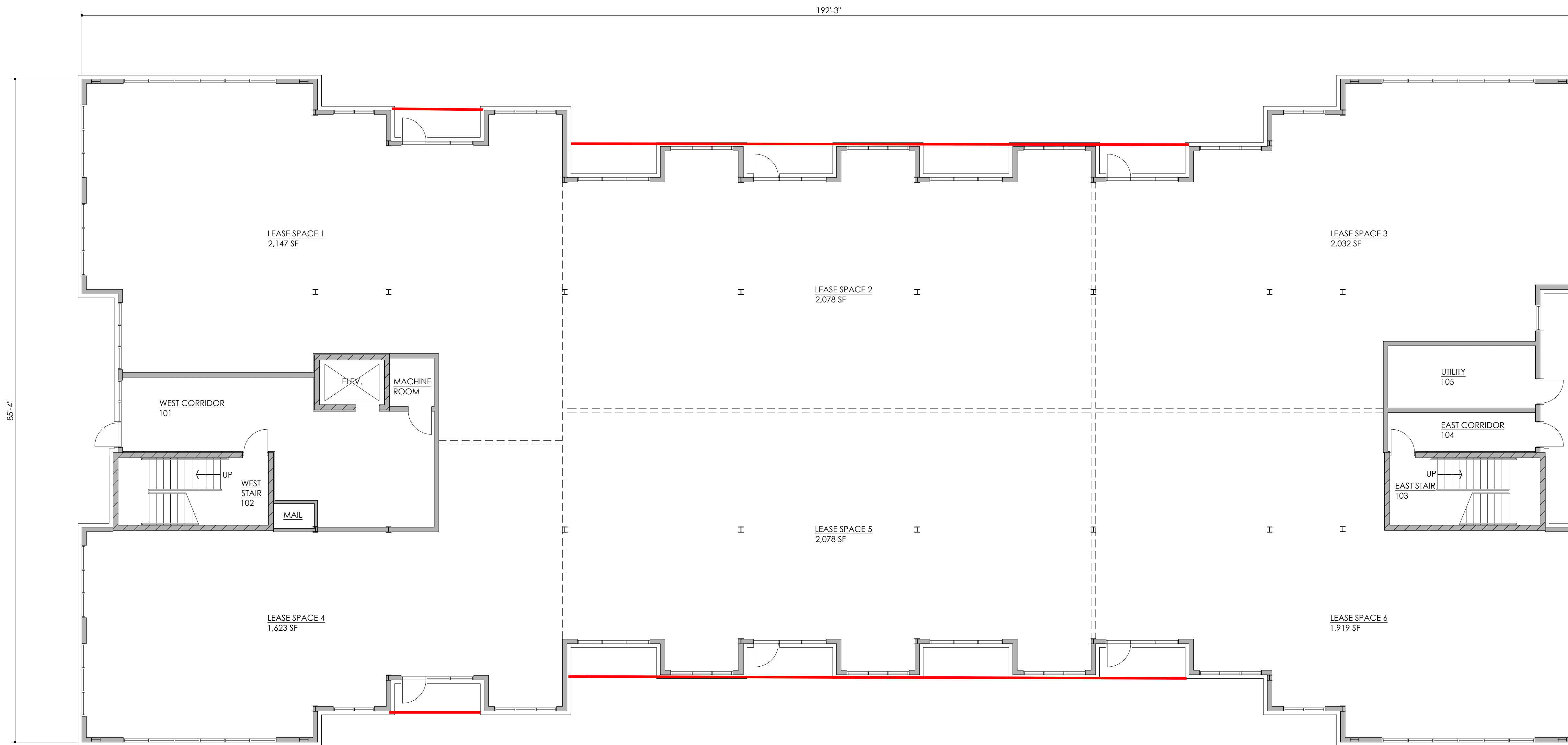
DRAWN BY:
BTM

DESIGNED BY:
TELB

CHECKED BY:
TELB

SCALE
1" = 20'

SHEET NUMBER
7 OF 12



 **FIRST FLOOR PLAN**
SCALE: 1/8" = 1'-0"

1-26-2022	PRICING UPDATE
DATE	ISSUED FOR:

casearchitecture
ARCHITECTURE • PASSION • INTEGRITY
282 S. MAIN • FREELAND, MI • 989.695.9707

PROJECT:
NEW FACILITY FOR:
THE DEN ON BROOMFIELD
MOUNT PLEASANT, MICHIGAN

SHEET TITLE:
FIRST FLOOR PLAN

DRAWN BY: TEB	DRAWING NUMBER: A1.0
PROJECT NUMBER: 21-316-53.2	



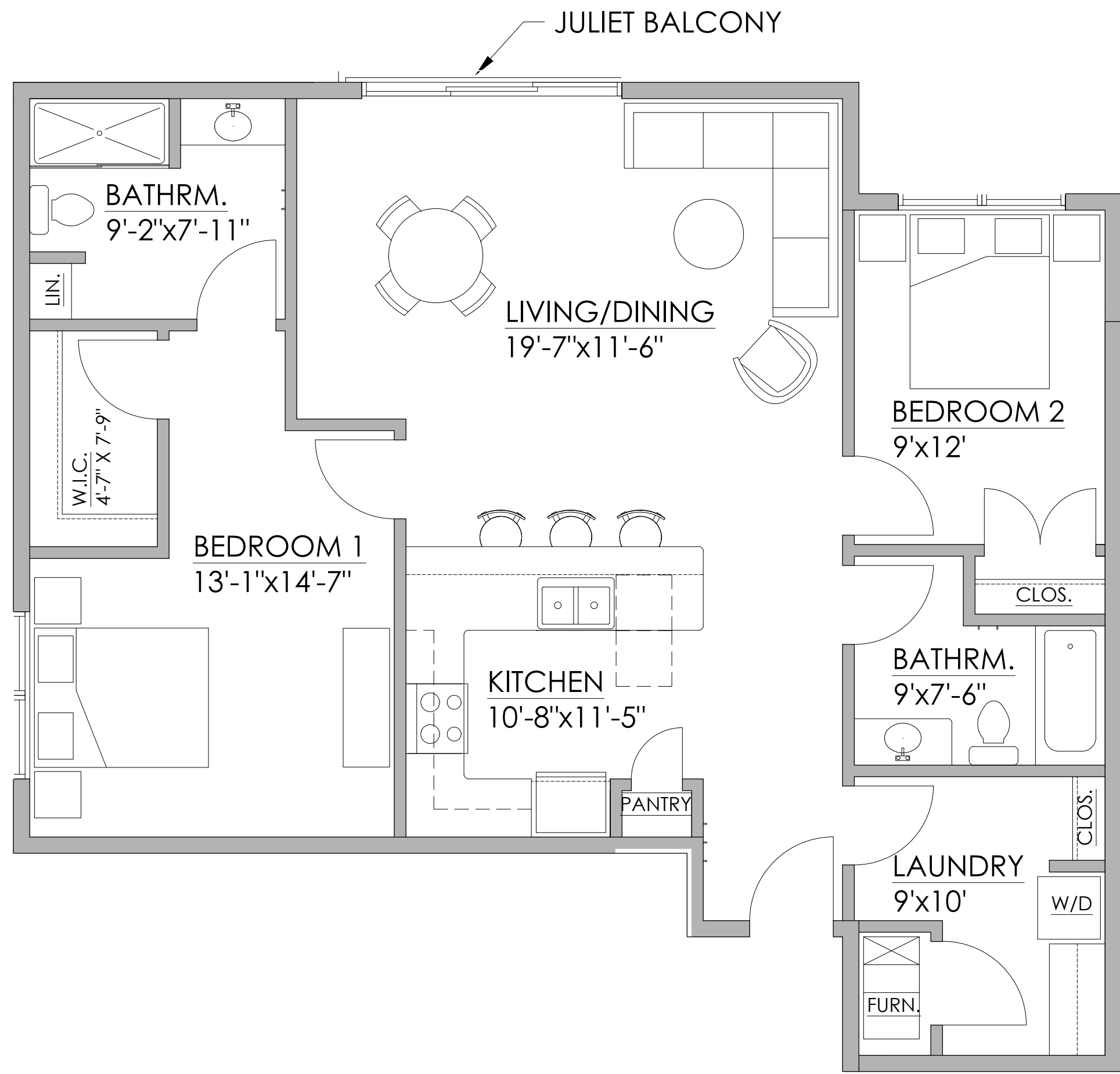
 **SECOND FLOOR PLAN**
SCALE: 1/8" = 1'-0"

1-26-2022	PRICING UPDATE
DATE	ISSUED FOR:

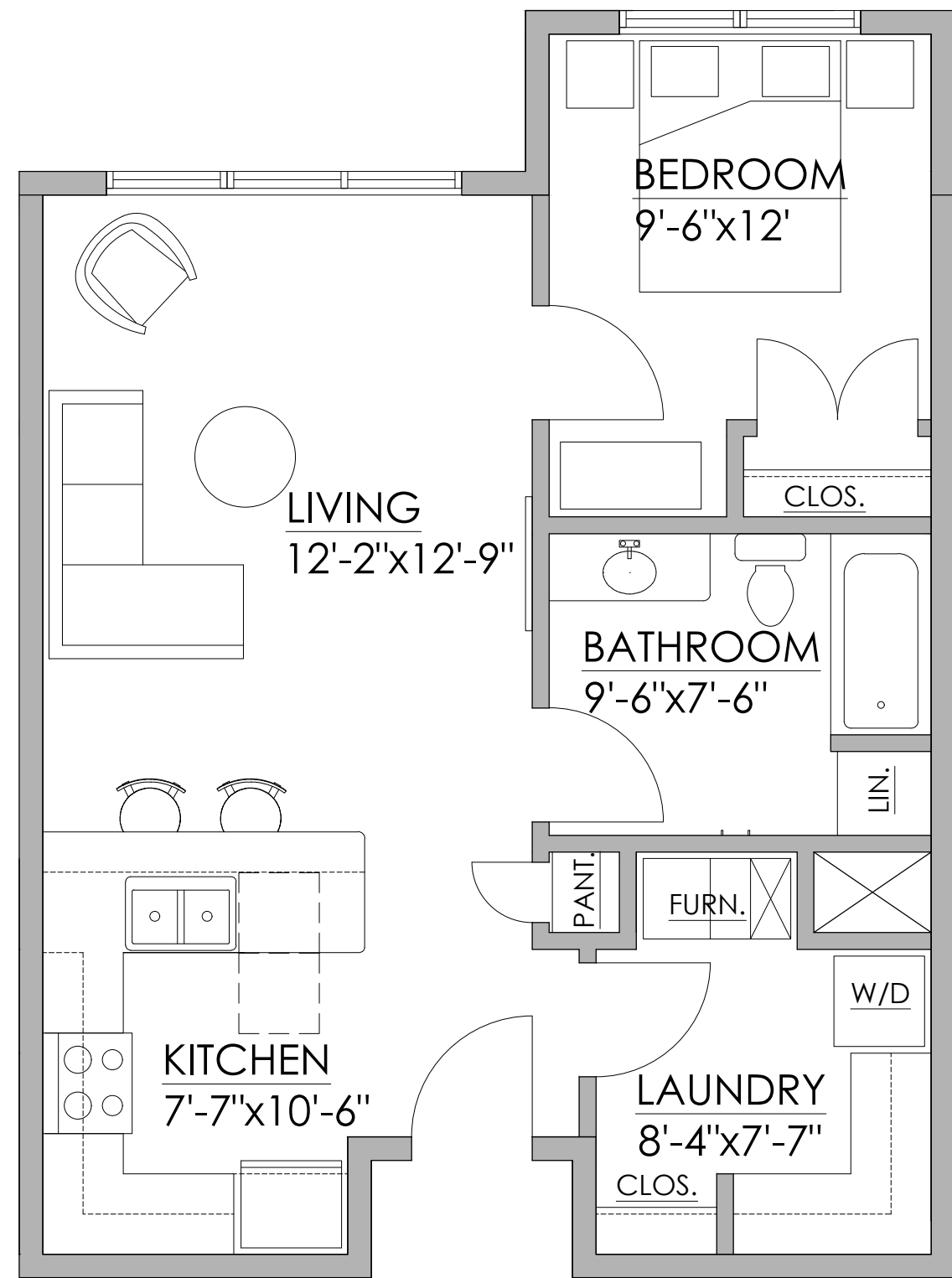
casearchitecture
ARCHITECTURE • PASSION • INTEGRITY
282 S. MAIN • FREELAND, MI • 989.695.9707

PROJECT:
NEW FACILITY FOR:
THE DEN ON BROOMFIELD
MOUNT PLEASANT, MICHIGAN
SHEET TITLE:
SECOND FLOOR PLAN

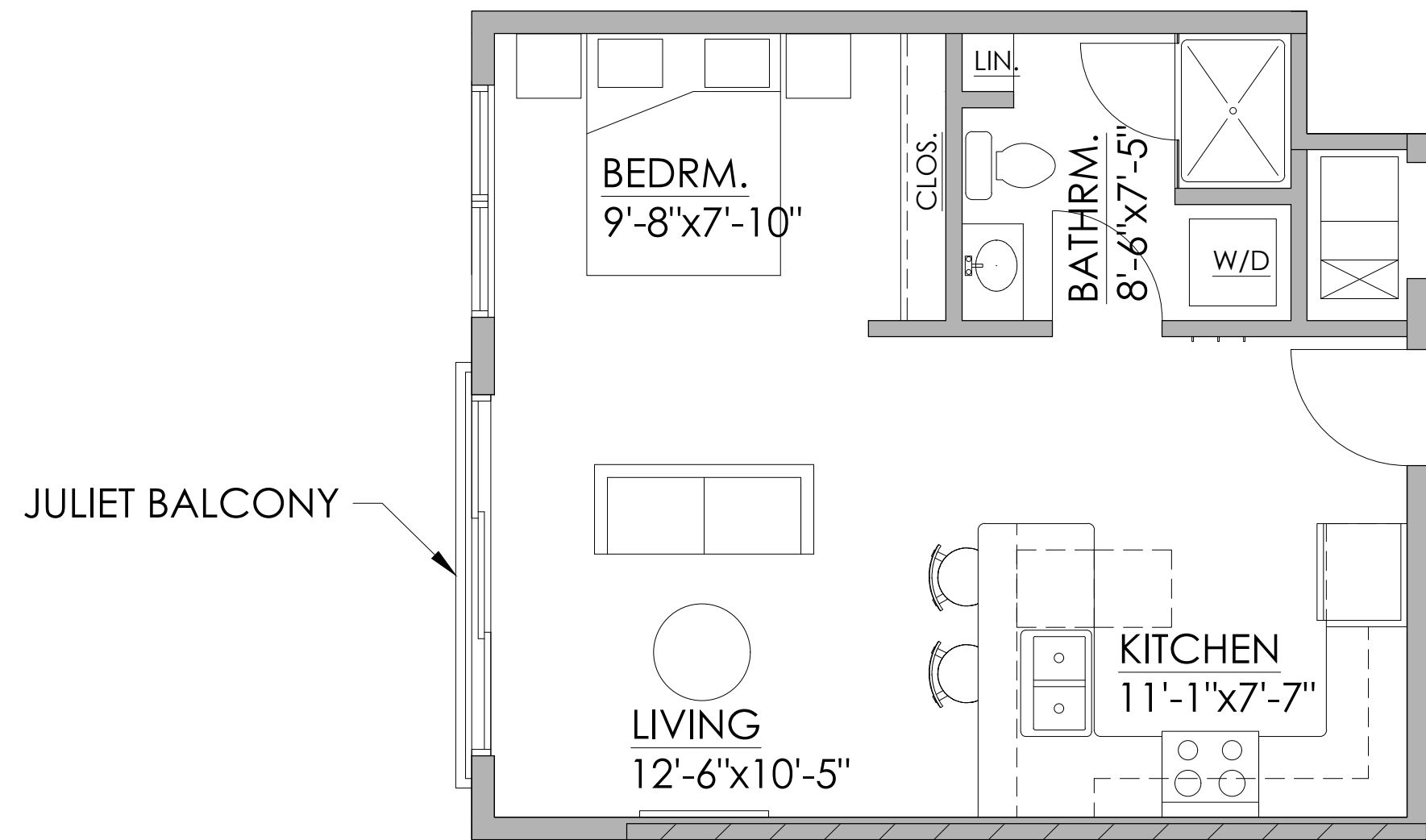
DRAWN BY: TEB	DRAWING NUMBER: A1.1
PROJECT NUMBER: 21-316-53.2	



2 BEDROOM FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 BEDROOM FLOOR PLAN
SCALE: 1/4" = 1'-0"



STUDIO FLOOR PLAN
SCALE: 1/4" = 1'-0"

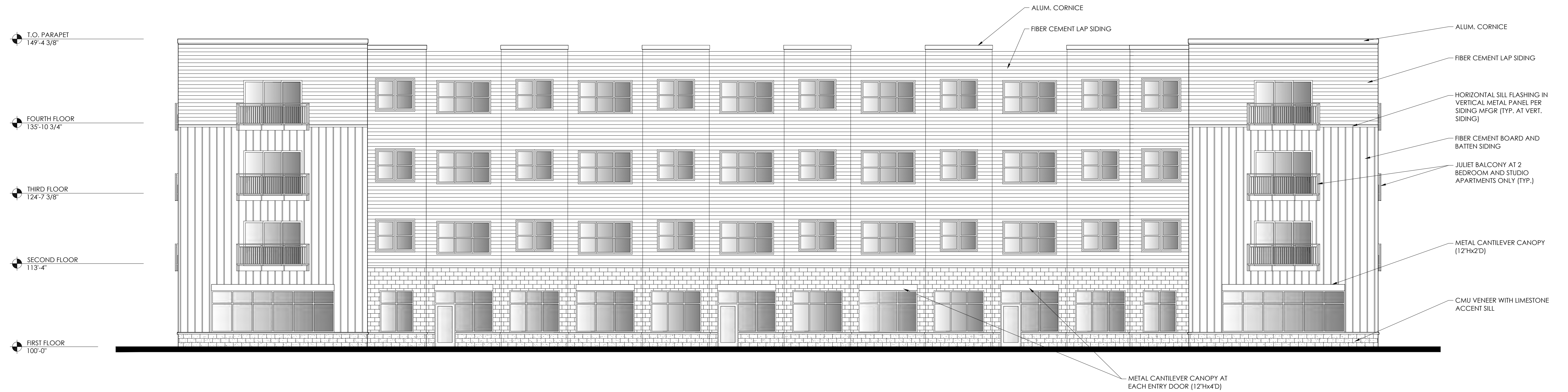
1-26-2022	PRICING UPDATE
DATE	ISSUED FOR:

casearchitecture
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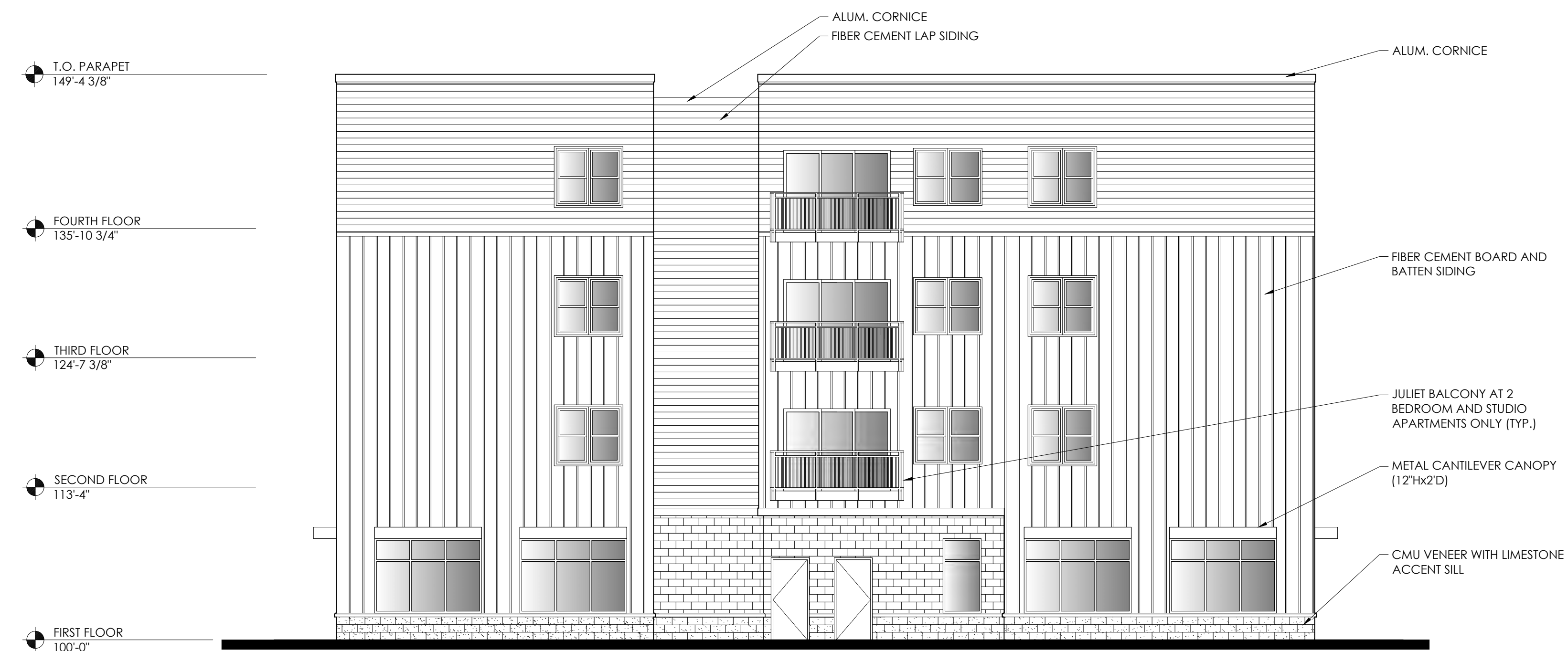
PROJECT:
NEW FACILITY FOR:
THE DEN ON BROOMFIELD
MOUNT PLEASANT, MICHIGAN

SHEET TITLE:
ENLARGED UNIT FLOOR PLANS

DRAWN BY: TEB	DRAWING NUMBER: A1.2
PROJECT NUMBER: 21-316-53.2	



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



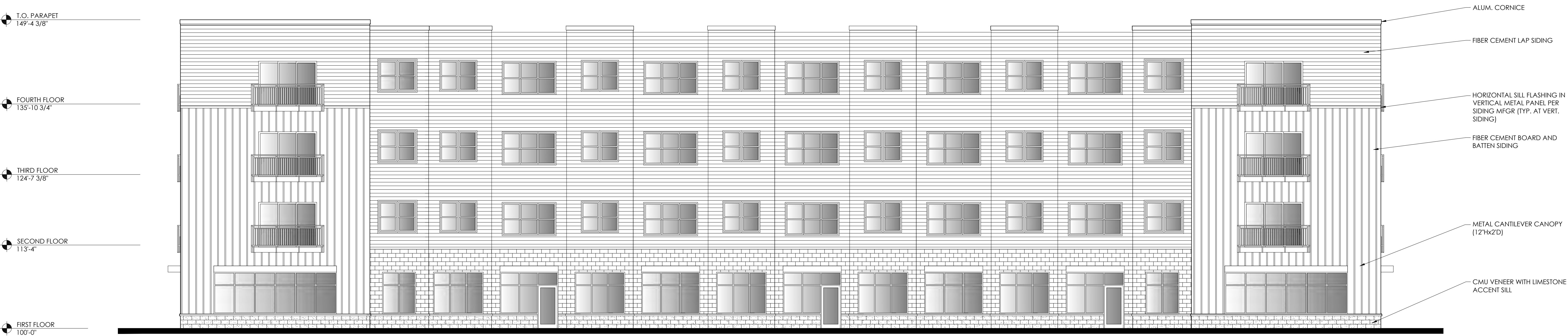
EAST ELEVATION
SCALE: 1/8" = 1'-0"

1-26-2022	PRICING UPDATE
DATE	ISSUED FOR:

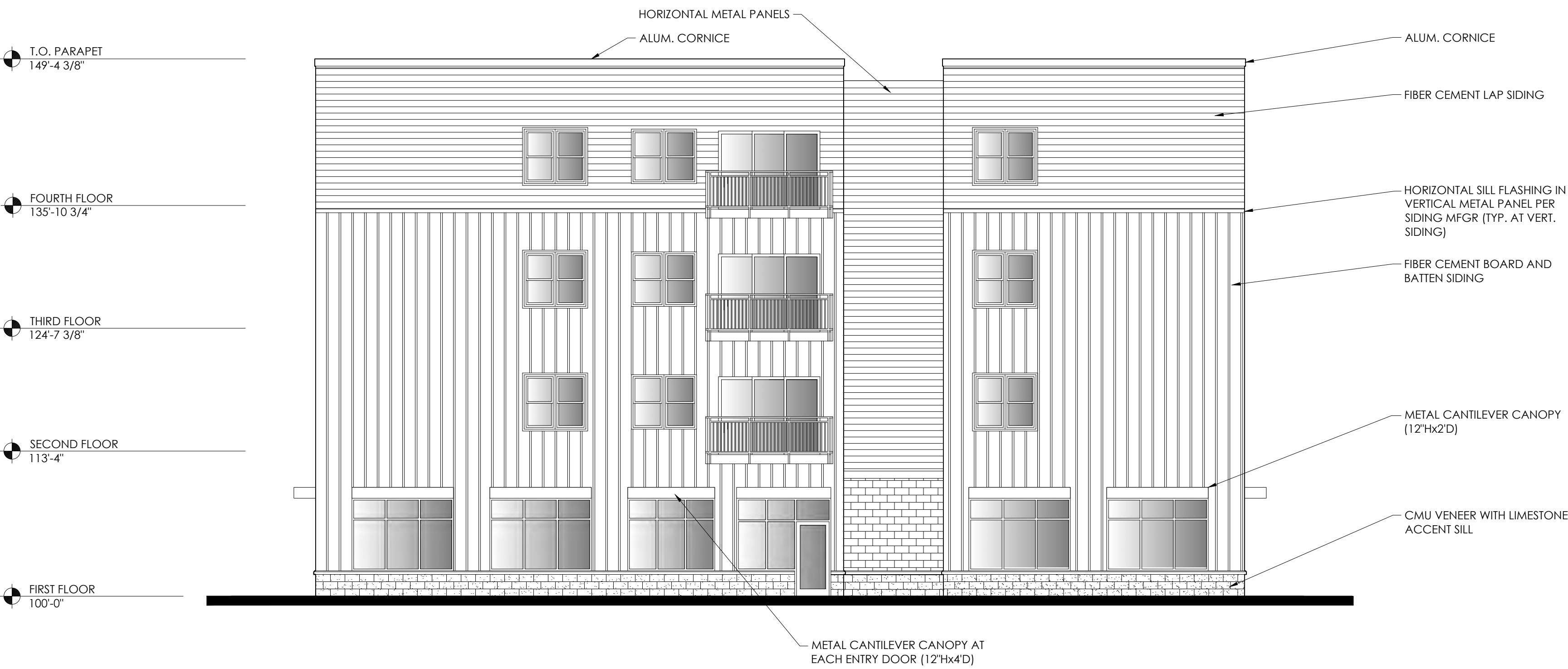
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PROJECT:
NEW FACILITY FOR:
THE DEN ON BROOMFIELD
MOUNT PLEASANT, MICHIGAN
SHEET TITLE:
EXTERIOR ELEVATIONS

DRAWN BY: TEB	DRAWING NUMBER: A4.0
PROJECT NUMBER: 21-316-53.2	



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

4-11-2022	OWNER REVIEW
DATE	ISSUED FOR:

casearchitecture

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282 S. MAIN • FREELAND, MI • 989.695.9707

PROJECT:
NEW FACILITY FOR:

THE DEN ON BROOMFIELD

MOUNT PLEASANT, MICHIGAN

SHEET TITLE:
EXTERIOR ELEVATIONS

DRAWN BY: TEB	DRAWING NUMBER: A4.1
PROJECT NUMBER: 21-316-53.2	



PLANNED UNIT DEVELOPMENT (PUD) APPLICATION REPORT

TO:	Planning Commission	DATE:	May 10, 2022
FROM:	Rodney C. Nanney, AICP Community and Economic Development Director	ZONING:	B-5, Highway Business
PROJECT:	PREZ22-01 request to rezone parcels 14-103-00-001-00 & -002-00 at E. Broomfield Road from B-5 (Highway Business) District to PUD (Planned Unit Development) per Section 3.19 (PUD, Planned Unit Development District), and to approve the associated PUD Concept Plan for a four (4) story tall, mixed-use (commercial and residential) building.		
PARCELS:	5785 E. Broadway Road, parcels 14-103-00-001-00, 14-103-00-002-00		
OWNER:	B.S.P. Enterprises LLC		
LOCATION:	Approximately 2.27 acres on the south side of E. Broomfield Road in the NE 1/4 of Section 26.		
EXISTING USE:	Vacant	ADJACENT ZONING:	B5, B4, City of Mt. Pleasant-General Urban
FUTURE LAND USE DESIGNATION:	<i>Bluegrass Center</i> - While currently more auto-centric, this area has the potential to transition into a more walkable, vibrant center. Future uses should be integrated to include multi-story, mixed-use buildings; first floor retail and office uses; public use and spaces; entertainment and restaurant venues; and additional attached housing types such as townhouses. Both vehicular and pedestrian cross connections should be promoted between sites, providing for future connections through easements, and should collectively promote a vibrant, livable center to the neighboring university population.		
ACTIONS REQUESTED:	To introduce and hold a public hearing on the PREZ22-01 request to rezone parcels 14-013-20-043-02 & -043-08 at 5785 E. Broadway Road from B-5 (Highway Business) District to PUD (Planned Unit Development) and the associated PUD Concept Plan; and to adjourn the hearing to be re-opened and continued at the June 21, 2022 regular meeting.		

Public Hearing Notice Information

The Planned Unit Development (PUD) review process requires a public hearing, which is subject to minimum requirements for publication, mailing, and posting of the hearing notice. In this case, the hearing notices were published in The Morning Sun and mailed in accordance with state Zoning Act requirements, but the required posting of a copy of the notice at the Twp. Hall was inadvertently overlooked.

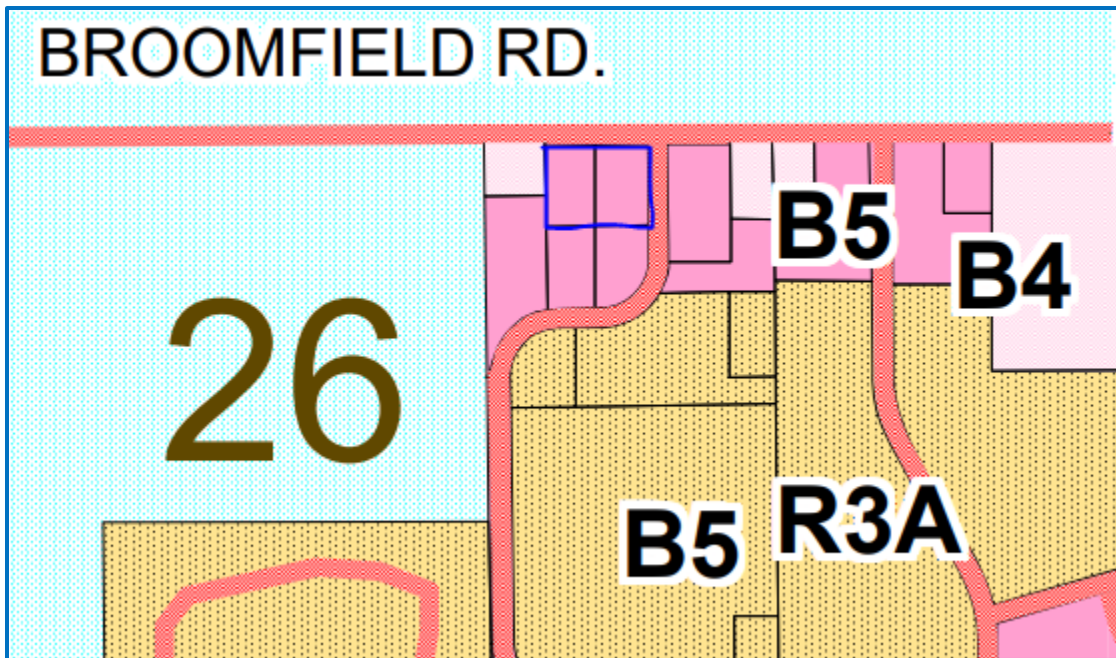
I recommend that the public hearing be held at this meeting in accordance with the notices that were published and mailed. To resolve the deficiency related to the notice posting, I recommend that the Chair take action at the end to “adjourn” (rather than to “close”) the hearing to be re-opened and continued during your regular June meeting. Staff will re-post the notice accordingly.

Background Information

The Den on Broomfield was a previously approved project for two (2) three-story mixed-use buildings. The scope of the project has now been revised to one (1) four-story building. This additional building height is the primary reason the project is now proposed as a Planned Unit Development (see comments under “Regulatory Flexibility” in this report). A PUD gives a project of this scope the type of flexibility that seeking a variance would not accomplish.

Existing Zoning

The following is an excerpt from the Township’s Official Zoning Map showing the subject parcels:



Planned Unit Development Requirements (Section 3.19)

The PUD Concept Plan is intended to establish the general arrangement of proposed buildings and site improvements, the specific land uses included as part of the PUD, and the scope and extent of any proposed deviations from Zoning Ordinance requirements. The Concept Plan resembles a site plan, but includes less detail. Preliminary and final site plan approvals will be required following any approval of the PUD rezoning and Concept Plan.

The following review comments are based upon Section 3.19 requirements. Where a ✓ is noted, the requirement has been met on the Concept Plan. Where a □ or a ○ is noted, the requirement has not been met and plan revisions or additional information are needed:

1. Eligibility Criteria

- ✓ The overall development is less than the required 5-acres (2.27 acres), but is located within the Bluegrass Center Area that permits less than 5-acres for a PUD project.
- ✓ The development will be under single ownership or control as required.

2. Regulatory Flexibility

Section 3.19.B. (Regulatory Flexibility) was included in the current Zoning Ordinance to provide a mechanism for a PUD applicant to propose and for the Planning Commission and Board of Trustees to consider “limited deviations” from specific Zoning Ordinance standards as part of an overall PUD Concept Plan.

It is the responsibility of the applicant to demonstrate that any proposed deviations are consistent with the purpose of the PUD option and compatible with the Master Plan, and would result in a higher quality of development than would otherwise be possible.

The following review comments are based upon the proposed list of deviations in the upper left corner of the PUD Concept Plan’s cover sheet:

- ☐ **Building height (stories).** The proposed limited building height deviations reference outdated height standards from Section 4.3 standards (the current maximum height standard in the underlying B-5 District is actually 45.0 feet), rather than the needed deviation from the maximum three (3) story height limitation as specified in Section 6.24.B. (Building Height) for a mixed-use building.
- ☐ **Required PUD open space.** The first proposed deviation #3 can be deleted from the list on the cover sheet, as it is not necessary. The minimum open space calculation on the plan (6,560 square-feet) actually exceeds what is needed based on the scope of the residential component of this project. It is the Zoning Administrator’s determination that a minimum dedicated open space area of 4,151 square-feet is required, which must be located outside of any required yard setback areas.
- ☐ **Documentation is needed on the PUD Concept Plan to satisfy Section 3.19.B.3. through 3.19.B.4.** by demonstrating that each deviation:
 - is consistent with the PUD Statement of Purpose;
 - will result in a higher quality of development; and
 - does not include broad waivers of Ordinance requirements or modifications determined to be incompatible with the Master Plan or the purpose and intent of this Ordinance as specified in Section 1.2.
- ☐ **No documentation was provided on the PUD Concept Plan regarding the Section 3.19.B.5. provision for adequate safeguards, features or planning mechanisms designed into the project** (if needed) for the purpose of achieving the objectives intended to be accomplished with respect to each of the regulations from which a deviation is sought.

3. Permitted Uses and Density

- a. *If the underlying zoning is B-5: any use allowed as principal permitted use or special use within the B-5 district and shopping centers.*
 - ✓ Mixed use
- b. *Residential Density*
 - ✓ Complies

4. Project Design Standards

- ☐ The setback dimensions for the B-5 District shown on the plan are outdated and not consistent with the current Zoning Ordinance standards. 20.0-foot front yard, 10.0-foot side yard, and 20.0-foot rear yard are the correct minimum setbacks that apply.
- ✓ The parking formula used for residential is correct.
- ☐ The commercial parking formula is incorrect. The correct calculation should either be that for Retail General [(1) space per 275 square-feet of usable floor area (UFA)] or for medical office [(1) space per 300 square-feet of UFA].
- ✓ A conceptual landscaping and screening plan is depicted on sheet 7. Additional details have been included for review, but are not required until the final site plan.
- ✓ A shared-access with the parcel to the south and two (2) potential cross-access connections to parcels to the west are shown on sheet 4.
- ☐ The proposed open space areas on sheet 4 (with a dog run and playground totaling 5,700 square-feet) are consistent with 3.19.D.6. requirements, provided that the dimensions are adjusted to be located outside of the 20.0-foot rear yard setback.
- ✓ There are no significant natural features on this previously farmed and mass-graded site that would be subject to requirements for protection or preservation.
- ✓ A 5.0-foot wide public sidewalk is proposed along the lot frontages adjacent to both Sweeney Road and E. Broomfield Road as required. Internal connections from those sidewalks to the building and from the open areas to the building are shown on the plan as required.
- ✓ A conceptual layout for stormwater retention is depicted on the plan, and is sufficient for this stage of review. Stormwater management calculations and details will be required as part of the final site plan for the project.
- ✓ The increased service needs associated with the new and expanded facilities depicted on the PUD Concept Plan are not anticipated to exceed the capacity of existing and available public roads, police and fire protection services, and educational services.
- ☐ The PUD Concept Plan is under review by the Public Services Department to verify available municipal water and sanitary sewer system capacity to service the project.

5. Application Data Requirements.

- ✓ Required names and contact information are provided on the plan's cover sheet.
- ✓ The legal description of the land on which the Planned Unit Development project will be developed together with appropriate tax identification numbers are provided.
- ✓ Except as otherwise noted in this report, the PUD Concept Plan includes all of the following required information:
 - ✓ *A general location map.*
 - ✓ *The location of existing roads and highways adjacent to the proposed development.*
 - ✓ *The general layout of dwelling units, parking, open space, and recreation and park areas.*
 - ✓ *General locations and setbacks of each structure and use in the development.*
 - ✓ *Typical layouts and facade designs for each type of use or building.*
 - ✓ *The vehicular circulation system planned for the proposed development.*
 - ✓ *Conceptual landscaping and screening plan.*
- ✓ A topographic survey plan has been submitted (sheet 3).

- ✓ A soils inventory based on the County Soils Survey has been submitted (sheet 3).
- ✓ There are no wetland areas or significant site features such as tree stands, unusual slopes, streams or water drainage areas on this site.
- ✓ A conceptual utility plan has been provided (sheet 6).
- ✓ A conceptual layout of the proposed stormwater drainage system is included.
- ✓ A map showing existing zoning designations for the subject property and all land within one quarter mile has been provided on the cover sheet.
- ✓ A map and written explanation of the relationship of the proposed PUD to the Township's Master Plan and Future Land Use Map has been submitted (sheet 2).
- ✓ The number of dwelling units to be developed (a total of 48) has been provided.

6. Additional Comments.

- ✓ **A Transportation Study** is not required for this project, based on the total floor area and number of residential units.
- ✓ **A broader analysis of the Fiscal Impact** (costs and revenues) of the proposed PUD project on the Township and the school district could be required for this project by the Planning Commission. Based on the proposed location and scope of proposed uses, staff would recommend that the fiscal analysis is not needed for this project.
- ❑ **Documentation that the applicant has sufficient development experience to complete the proposed project in its entirety.** The letter dated 4/25/2022 from the project engineer includes assurances related to apparent demand and the developer's due diligence in evaluating the market for this type of development. However, no documentation has been provided to indicate the target market sectors for the commercial and residential components of this project. With declining year-over-year enrollment at CMU, the potential for an oversupply of residential apartments may impact the market capacity to fill this proposed building without adverse impacts on existing housing. Staff would recommend that the applicant be directed to provide the following additional information for Commission consideration:
 - Descriptions of the developer's target markets for the commercial space and targeted population cohorts for the residential units (such as undergraduate or graduate students, young professionals, young families, empty nesters, etc.).
 - A statement from the developer indicating how this proposed PUD project fills an underserved market niche related to housing needs in the community.
 - A summary of the market analysis findings of fact that support the developer's conclusions related to apparent commercial and residential demand.

Building Form and Composition Requirements (Section 7.20)

The original 3-story Den on Broomfield project (two buildings) received final site plan approval prior to the adoption of the Zoning Ordinance amendment that added Section 7.20 (Building Form and Composition). The following is an excerpt from the purpose statement for this Section:

Consistent with the adopted Master Plan's development policies, it is the purpose of this Section to maintain the visual environment, protect the general welfare, and ensure that the Township's property values, appearance, character, and economic well-being are preserved through minimum building form and composition standards. This Section is further intended to encourage creativity, imagination, innovation, and variety in architectural design and building composition through complementary and appropriate use of scale, massing, and architectural details.

The PUD Concept Plan's building elevations are considered to be conceptual in character. Compliance with the Section 7.20 standards will be subject to further review and final approval as part of the final site plan. The following review comments are based on Section 7.20 standards. Where a ✓ is noted, the requirement has been met on the Concept Plan. Where a ☐ is noted, the requirement has not been met and plan revisions or additional information are needed:

- ✓ **Façade variation.** The proposed building includes an arrangement of projections, recesses, and variations in building height and façade materials.
- ☐ **Composition.** Section 7.20.C.2. requires all sides of a building to be complementary in design, details, and materials. Additional information is needed to verify consistency with this standard, since the east and south (rear) elevations are missing from the plan.
- ✓ **Public entrances.** The proposed building includes three (3) entrances facing the roads.
- ☐ **Rooftop equipment screening.** Section 7.20.C.4. requires roof-top mechanical equipment, HVAC systems, exhaust stacks, elevator housings, and other equipment to be screened around all sides of the building by a parapet wall or similar device. Additional information is needed on the building elevations to verify consistency with this standard.
- ✓ **Security and safety equipment.** Section 7.20.C.5. requires that exterior security gates or roll-down security doors be prohibited, and includes additional standards for security equipment consistent with the purpose of this Section. None proposed for this project.

Criteria for PUD Rezoning and Concept Plan Approval

The application has included information regarding Section 14.5.G which relates in general with typical rezoning applications. Staff has no issue with the applicant's assessments regarding Section 14.5.G. In addition, the applications will need to submit a report equally explaining Section 3.19.H. Some of 3.19.H was touched upon by the applicant's 14.3.G report.

In considering any application for PUD rezoning and Concept Plan approval, the Planning Commission and Township Board shall make their determinations based on consistency with the following criteria:

1. **The application and Concept Plan are compatible with the goals and policies of the Master Plan and any other Township planning documents.**
2. **The application and Concept Plan conform to all requirements of this Section 3.19, and all other applicable requirements of this Ordinance and other Township ordinances.**
3. **The overall Concept Plan site layout and mix of land uses are compatible with the natural resources and environment, adjacent uses and development, the surrounding neighborhood, and the Township as a whole.**

Key Findings

1. The proposed mixed-use (commercial/residential) building is fully consistent with the type of use preferred in the Master Plan for the Bluegrass Center Area of the Township.
2. The project satisfies the eligibility criteria for consideration as a Planned Unit Development.
3. Limited deviations from Zoning Ordinance requirements may be necessary to allow for some elements of the project, but some corrections are needed and the required documentation of the applicant's justifications for each deviation are missing from the PUD Concept Plan.
4. Based on the scope of development and proposed uses, a Transportation Study and a Fiscal Impact analysis are not necessary, but a request for additional information from the applicant about target markets to be served and documentation of apparent demand is warranted.
5. The PUD application contains minor errors that need to be corrected and is missing some required items of information, but is sufficiently complete for a public hearing and Planning Commission review.
6. A deficiency in the posting of the public hearing notice at the Twp. Hall will necessitate an adjournment (rather than a closing) at the conclusion of the hearing, which would then be re-opened and continued at the June 21, 2022 regular meeting. following re-posting of a notice for the adjourned hearing date.

Recommendations

I would ask that the Planning Commission take action to introduce and hold a public hearing on the PREZ22-01 request to rezone parcels 14-013-20-043-02 & -043-08 at 5785 E. Broadway Road from B-5 (Highway Business) District to PUD (Planned Unit Development) and the associated PUD Concept Plan; and to adjourn the hearing to be re-opened and continued at the June 21, 2022 regular meeting.

I would also recommend that the Planning Commission provide direction to the applicant with regards to the proposed building elevations and consistency with Section 7.20 (Building Form and Composition) standards.

Respectfully submitted,

Rodney C. Nanney, AICP

Community and Economic Development Director

Draft Motions: PREZ22-01 Planned Unit Development (PUD) Rezoning and Concept Plan Application - The Den on Broomfield Mixed Use Buildings, E. Broomfield Rd. at Sweeney Rd.

MOTION TO ADJOURN THE HEARING:

Motion by _____, supported by _____, to adjourn the public hearing on the PREZ22-01 request to rezone approximately 2.27 acres of land (PID 14-103-00-001-00 & -002-00) on the southwest corner of E. Broomfield Road and Sweeney Road from B-5 (Highway Business) District to PUD (Planned Unit Development) until the June regular Planning Commission meeting, and to request that staff post the required notice at the Township Hall of the June, 21, 2022 date when the hearing will be re-opened and continued.

Charter Township of Union

APPLICATION FOR SITE PLAN REVIEW

☐

Minor Site Plan

☐

Preliminary Site Plan

☒

Final Site Plan

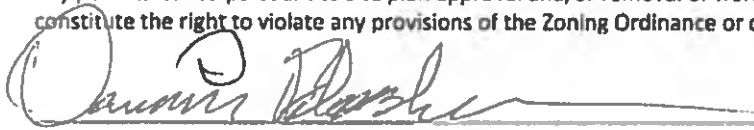
A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project	DARWIN BLANSHAN - 5252 S. MISSION ROAD		
Common Description of Property & Address (if issued)	5252 S. MISSION ROAD		
	MT. PLEASANT, MI 48858		
Applicant's Name(s)	DARWIN BLANSHAN		
Phone/Fax numbers	989-560-7067	Email	dblanshan@gmail.com
Address	3167 PADDOCK LANE	City:	MT. PLEASANT Zip: 48858

Legal Description:	<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s):	14-034-20-002-00	
Existing Zoning:	B-4	Land Acreage:	7.27	Existing Use(s):	VACANT LAND
<input checked="" type="checkbox"/> ATTACHED: Letter describing the project and how it conforms to Section 14.2.S. (Standards for Site Plan Approval)					

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: CENTRAL MI SURVEYING & DEV. CO. INC. Phone: 9897750756 Email: tbebee@cms-d.com
	2. Address: 2257 E. BROOMFIELD ROAD City: MT. PLEASANT State: MI Zip: 48858 Contact Person: TIMOTHY BEBEE Phone: 989-775-0756
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: DARWIN BLANSHAN Phone: 9895607067
	Address: 3167 PADDOCK LANE
	City: MT. PLEASANT State: MI Zip: 48858
	Signature: _____ Interest in Property: OWNER
	2. Name: _____ Phone: _____
	Address: _____
	City: _____ State: _____ Zip: _____
	Signature: _____ Interest in Property: _____

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.


Signature of Applicant

3-31-22
Date

Office Use Only

Application Received By: _____ Fee Paid: \$ _____

Date Received: _____ Escrow Deposit Paid: \$ _____

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: STORAGE BUILDING

Name of business owner(s): DARWIN BLANSHAN

Street and mailing address: 3167 PADDOCK LANE
MT. PLEASANT, MI 48858

Telephone: 989-560-7067

Fax: _____

Email: dblanshan@gmail.com

I affirm that the information submitted is accurate.

Owner(s) signature and date:



Information compiled by:

Shanee Thayer, Office Manager

CENTRAL MI SURVEYING & DEVELOPMENT CO. INC.

Types and Quantities of Hazardous Substances and Polluting Materials Used,

Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

COMMON NAME	CHEMICAL NAME (components)	FORM	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
N/A				
_____ NONE	KEY: LQ. = liquid P.LQ. = pressurized liquid S = solids G = gas PG = pressurized gas			KEY: AGT = above ground tank DM = drums UGT = underground tank Cy = cylinders CM = metal cylinders CW = wooden or composition container TP = portable tank

PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

Michigan.gov/EGLEpermits

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at Michigan.gov/EHSguide. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

How Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
1) Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), Permit Section	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
2) Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, Asbestos Program , 517-284-6777	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
3) Please consult the Permitting at the Land and Water Interface Decision Tree document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - Joint Permit Application , 517-284-5567:		
a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
d. Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
4) Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? Union Township and Isabella County	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
5) Does the project involve the construction or alteration of a water supply system system? Union Township Public Services Department and Drinking Water & Environmental Health Division (DWEHD), 517-284-6524	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
6) Does the project involve construction or alteration of any sewage collection or treatment facility? Union Township Public Services Department and WRD, Part 41 Construction Permit Program (staff) , 906-228-4527, or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
7) Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? Union Township and Public Swimming Pool Program , 517-284-6541, or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
8) Does the project involve the construction or modification of a campground? Union Township and DWEHD,Campgrounds program , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

9) Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), Solid Waste , 517-284-6588, or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
10) Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, Hazardous Waste Section, Treatment, Storage and Disposal , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Drinking (Potable) Water Supply?		
11) I am buying water from the municipal water supply system Contact the Union Township Public Services Dept.	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
12) I have a Non-Community Water Supply (Type II) Guide, Contact (District or County) Local Health Department , 517-485-0660	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
13) I am a community water supply (Type I) Community Water Supply, DWEHD District Office Community Water Supply Program , 517-284-6512	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
14) Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Wastewater Discharge System?		
15) NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, EGLE District Office , or National Pollutant Discharge Elimination (NPDES) Permit Program , 517-284-5568	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
16) Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, Permits Section , or EGLE District Office , 517-284-5588	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
17) Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, Groundwater Permits Program , 517-290-2570	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
18) Does the project involve the drilling or deepening of wells for waste disposal? Oil, Gas and Minerals Division (OGMD), 517-284-6841	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Operation and Air Emissions?		
19) Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, Permit Section , 517-284-6634	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
20) Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, Acid Rain Permit Program , 517-780-7843	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Waste Management?		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? MMD , 517-284-6588 or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? MMD, Hazardous and Liquid Waste , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (Hazardous Waste Program Forms & License Applications) MMD, EGLE District Office , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, Radioactive Material and Standards Unit , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD Radioactive Material and Standards Unit , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, Medical Waste Regulatory Program , 517-284-6594	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Sector-Specific Permits May be Relevant to My Business?		
Transporters	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste? MMD, Transporter Program , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
28) Does the project involve the <i>transport</i> of hazardous waste? MMD, Transporter Program , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, Water Hauler Information , 517-284-6527	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, Septage Program , 517-284-6535	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
31) Do you store, haul, shred or process <i>scrap tires</i> ? MMD, Scrap Tire Program , 517-284-6586	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Sectors	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, Dry Cleaning Program , 517-284-6780	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? Laboratory Services Certifications , 517-284-5424	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, Public Swimming Pools Program , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
35) Does the project involve the operation of a <i>campground</i> ? Union Township and DWEHD, Campgrounds , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Permits Do I Need to Add Chemicals to Lakes and Streams?		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, Aquatic Nuisance Control , 517-284-5593	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, Surface Water Assessment Section , 517-331-5228	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Why would I be subject to Oil, Gas and Mineral Permitting?

38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, Petroleum Geology and Production Unit , 517-284-6826	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, Sand Dune Mining Program , 517-284-6826	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, Radioactive Protection Programs , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Petroleum & Mining , OGMD, 517-284-6826		
41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
42) Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
44) Does the project involve mining coal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
45) Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Contact Union Township and [EGLE Permits & Bonding](#), OGMD, 517-284-6841

DARWIN BLANSHAN
PROPOSED SITE PLAN
5252 S. MISSION ROAD, MT. PLEASANT, MICHIGAN



LOCATION MAP
NOT TO SCALE

B-4 - GENERAL BUSINESS DISTRICT	
MINIMUM FRONT YARD SETBACK	20 FT
MINIMUM SIDE YARD SETBACK	10 FT (J)
MINIMUM REAR YARD SETBACK	20 FT (J)
MINIMUM LOT WIDTH	80 FT
MINIMUM LOT AREA	12,000 SQ. FT.
MAXIMUM LOT COVERAGE	50%
MAXIMUM BUILDING HEIGHT	35 FT

(J) AN ADDITIONAL 20.0 FEET OF SIDE AND REAR YARD SETBACK SHALL BE PROVIDED WHEN ABUTTING THE AG (AGRICULTURAL) DISTRICT, ANY RESIDENTIAL DISTRICT, OR AN EXISTING AGRICULTURAL OR RESIDENTIAL USE.

MISS DIG:

FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

UTILITY NOTE:

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-282-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY, NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

LEGEND
SYMBOLS

○ BOLLARD	☐ GAS RISER	⊙ SOIL BORING
▤ CATCH BASIN (CURB INLET)	↗ GUY ANCHOR	⊕ STORM SEWER MANHOLE
⊙ CATCH BASIN (ROUND)	⛶ HYDRANT - EXISTING	☐ TELEPHONE RISER
□ CATCH BASIN (SQUARE)	⛶ HYDRANT - PROPOSED	● TREE - CONIFEROUS
⊙ CLEAN OUT	☆ LIGHT POLE	● TREE - DECIDUOUS
⇒ DRAINAGE FLOW	☐ MAILBOX	⌘ UTILITY POLE
☐ ELECTRICAL BOX	⊕ MONITORING WELL	⌘ WATER MAIN VALVE
● FOUND CONC. MONUMENT	⊕ SANITARY SEWER MANHOLE	⌘ WATER SHUT-OFF
○ FOUND IRON	● SET IRON	⊕ WATER WELL
⌘ GAS MAIN VALVE	↔ SIGN	☐ WOOD STAKE

LINETYPES

—ELEC—	BURIED ELECTRICAL CABLE
—PHONE—	BURIED TELEPHONE CABLE
-DITCH-CL-	CENTERLINE OF DITCH
-FM-	FORCE MAIN
-GAS-	GAS MAIN
-RD-CL-	ROAD CENTERLINE
-8" SAN-	SANITARY SEWER
-12" SS-	STORM SEWER
-EX-TOS-	TOE OF SLOPE
-EX-TOB-	TOP OF BANK
-OHE-	UTILITIES - OVERHEAD
-UTIL-	UTILITIES - UNDERGROUND
-12" WM-	WATER MAIN

HATCH PATTERNS

	ASPHALT - EXISTING
	ASPHALT - PROPOSED
	CONCRETE
	GRAVEL
	LANDSCAPING
	RIP-RAP

EXCEPTIONS: (PER SCHEDULE B PART II OF MT. PLEASANT ABSTRACT & TITLE, INC. COMMITMENT NO. 502045)

- ACCESS EASEMENT TO OPTASIDE, INC. RECORDED AUGUST 19, 2005 IN LIBER 1308, PAGE 404. **AS SHOWN IN SURVEY**
- EASEMENT IN FAVOR OF CONSUMERS ENERGY COMPANY FOR THE PURPOSE OF INGRESS/EGRESS RECORDED FEBRUARY 12, 2007 IN LIBER 1383, PAGE 75. **AS SHOWN IN SURVEY**

DESCRIPTION PROVIDED: (MT. PLEASANT ABSTRACT & TITLE, INC. COMMITMENT NO. 502045)

COMMENCING 660 FEET NORTH OF THE EAST 1/4 CORNER OF SECTION 34, T14N-R04W, THENCE NORTH 600 FEET, WEST 528 FEET, SOUTH 600 FEET, EAST 528 FEET TO THE POINT OF BEGINNING, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

DEVELOPMENT PARCEL DESCRIPTION:

COMMENCING 860 FEET NORTH OF THE EAST 1/4 CORNER OF SECTION 34, T14N-R04W, THENCE NORTH 400 FEET, WEST 528 FEET, SOUTH 400 FEET, EAST 528 FEET TO THE POINT OF BEGINNING, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

SHEET INDEX

1	COVER SHEET
2	EXISTING TOPOGRAPHY & DEMOLITION
3	SITE HORIZONTAL PLAN
4	SITE PARKING PLAN
5	SITE GRADING & STORM SEWER PLAN
6	LANDSCAPING AND SCREENING PLAN
7	SITE LIGHTING PLAN
8	SITE LIGHTING DETAILS
9	SOIL EROSION PLAN
10	DETAILS SHEET

BEARING BASIS:

PER GEODETIC OBSERVATION WCS-84 THE BEARING BETWEEN THE EAST 1/4 CORNER AND THE NORTHEAST CORNER OF SECTION 34, T14N-R04W WAS DETERMINED TO BE S00°-08'-01"E.

SITE:	5252 S. MISSION ROAD MT. PLEASANT, MI 48858
CLIENT:	DARWIN BLANSHAN 3167 PADDOCK LANE MT. PLEASANT, MI 48858 CONTACT: DARWIN BLANSHAN EMAIL: dblanshan@gmail.com PHONE: (989) 560-7067
CONSULTANT:	CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC. 2257 E. BROOMFIELD ROAD MT. PLEASANT, MI 48858 CONTACT PERSON: TIMOTHY E BEBEE PHONE: (989) 775-0756 FAX: (989) 775-5012 EMAIL: info@cms-d.com

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MT. PLEASANT, MI 48858
(989) 621-4932
RANDY BUNKER
rbunker@chartercom.com

CONSUMERS ENERGY
1325 WRIGHT AVENUE
ALMA, MI 48801
(989) 466-4282
KIM STUDD
kimberly.studd@cmsenergy.com

FRONTIER
345 PINE AVENUE
ALMA, MI 48801
(989) 463-0392
MARK A. MARSHALL
Mark.Marshall@ftr.com

DTE ENERGY
4420 44TH STREET, S.E., SUITE B
KENTWOOD, MI 49512
(231) 347-1653
TINA MORENO
ernestina.moreno@dteenergy.com

MT. PLEASANT FIRE DEPARTMENT
804 E. HIGH STREET
MT. PLEASANT, MI 48858
(989) 779-5100 EXT 5122
LT. BRAD DOEPKER
bdoepker@mt-pleasant.org

UNION CHARTER TOWNSHIP
PUBLIC WATER/PUBLIC SEWER
2010 S. LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT. 24
KIM SMITH
ksmith@uniontownshipmi.com

UNION CHARTER TOWNSHIP
PLANNING & ZONING
2010 S. LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-0911
PETER GALLINAT
pgallinat@uniontownshipmi.com

DRAIN COMMISSIONERS OFFICE
ISABELLA COUNTY BUILDING
200 N. MAIN STREET ROOM 140
MT. PLEASANT, MI 48857
(989) 772-0911
ROBERT WILLOUGHBY
pgaffney@isabellacounty.org

ISABELLA COUNTY ROAD COMMISSION
2261 E. REMUS ROAD
MT. PLEASANT, MI 48858
(989) 773-7131 EXT 115
PATRICK GAFFNEY
pgaffney@isabellaroads.com

CMS & D

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2257 E. BROOMFIELD ROAD
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com



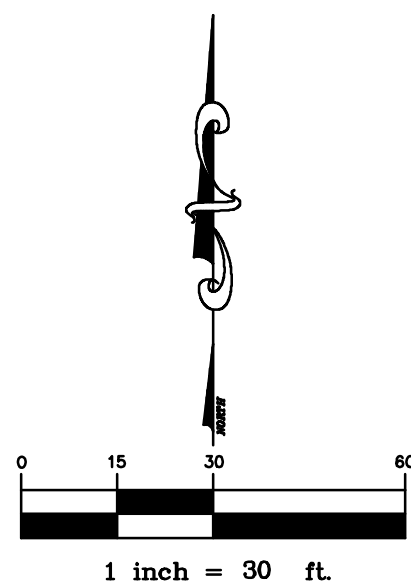
COVER SHEET
DARWIN BLANSHAN
PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4,
SECTION 34, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

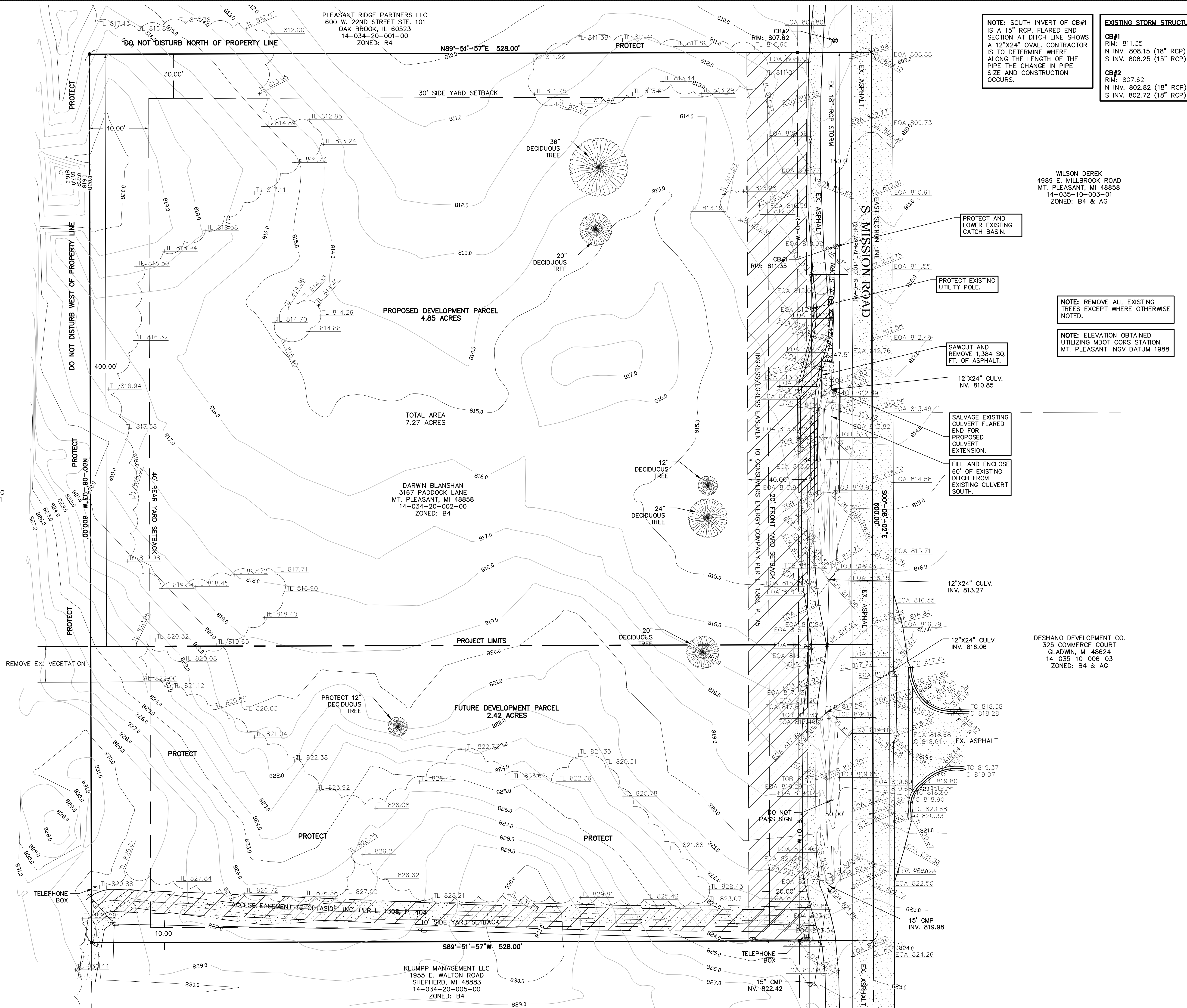
2-16-22	REVISIONS:
3-25-22	REVISIONS:
4-5-22	REVISIONS:
4-25-22	REVISIONS:

2112-186	JOB NUMBER:
CD	DRAWN BY:
CD	DESIGNED BY:
TELB	CHECKED BY:

N/A	SCALE
1 of 10	SHEET NUMBER



PLEASANT RIDGE PARTNERS LLC
600 W. 22ND STREET STE. 101
OAK BROOK, IL 60523
14-034-20-001-00
ZONED: R4



NOTE: SOUTH INVERT OF CB#1 IS A 15" RCP. FLARED END SECTION AT DITCH LINE SHOWS A 12"x24" OVAL. CONTRACTOR IS TO DETERMINE WHERE ALONG THE LENGTH OF THE PIPE THE CHANGE IN PIPE SIZE AND CONSTRUCTION OCCURS.

EXISTING STORM STRUCTURES
CB#1
RIM: 811.35
N INV. 808.15 (18" RCP)
S INV. 808.25 (15" RCP)
CB#2
RIM: 807.62
N INV. 802.82 (18" RCP)
S INV. 802.72 (18" RCP)

WILSON DEREK
4989 E. MILLBROOK ROAD
MT. PLEASANT, MI 48858
14-035-10-003-01
ZONED: B4 & AG

NOTE: REMOVE ALL EXISTING TREES EXCEPT WHERE OTHERWISE NOTED.

NOTE: ELEVATION OBTAINED UTILIZING MDOT CORRS STATION. MT. PLEASANT, NGV DATUM 1988.

PROTECT AND LOWER EXISTING CATCH BASIN.

PROTECT EXISTING UTILITY POLE.

SAWCUT AND REMOVE 1,384 SQ. FT. OF ASPHALT.

12"x24" CULV. INV. 810.85

SALVAGE EXISTING CULVERT FLARED END FOR PROPOSED CULVERT EXTENSION.

FILL AND ENCLOSE 60' OF EXISTING DITCH FROM EXISTING CULVERT SOUTH.

12"x24" CULV. INV. 813.27

12"x24" CULV. INV. 816.06

DESHANO DEVELOPMENT CO.
325 COMMERCE COURT
GLADWIN, MI 48624
14-035-10-006-03
ZONED: B4 & AG

CMS & D

SURVEYING / ENGINEERING
2957 E. BROWNFIELD ROAD
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com



EXISTING TOPOGRAPHY & DEMOLITION

DARWIN BLANSHAN

PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4,
SECTION 34, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:
SUBMITTAL FOR PRELIMINARY REVIEW 2-16-22
SUBMITTAL TO UNION TOWNSHIP 3-25-22
SUBMITTAL TO UNION TOWNSHIP 4-5-22
SUBMITTAL TO UNION TOWNSHIP 4-25-22

JOB NUMBER:
2112-186

DRAWN BY:
CDS

DESIGNED BY:
CDS

CHECKED BY:
TELB

SCALE
1" = 30'

SHEET NUMBER
2 of 10

NOTE: SOUTH INVERT OF CB#1 IS A 15" RCP. FLARED END SECTION AT DITCH LINE SHOWS A 12"x24" OVAL. CONTRACTOR IS TO DETERMINE WHERE ALONG THE LENGTH OF THE PIPE THE CHANGE IN PIPE SIZE AND CONSTRUCTION OCCURS.

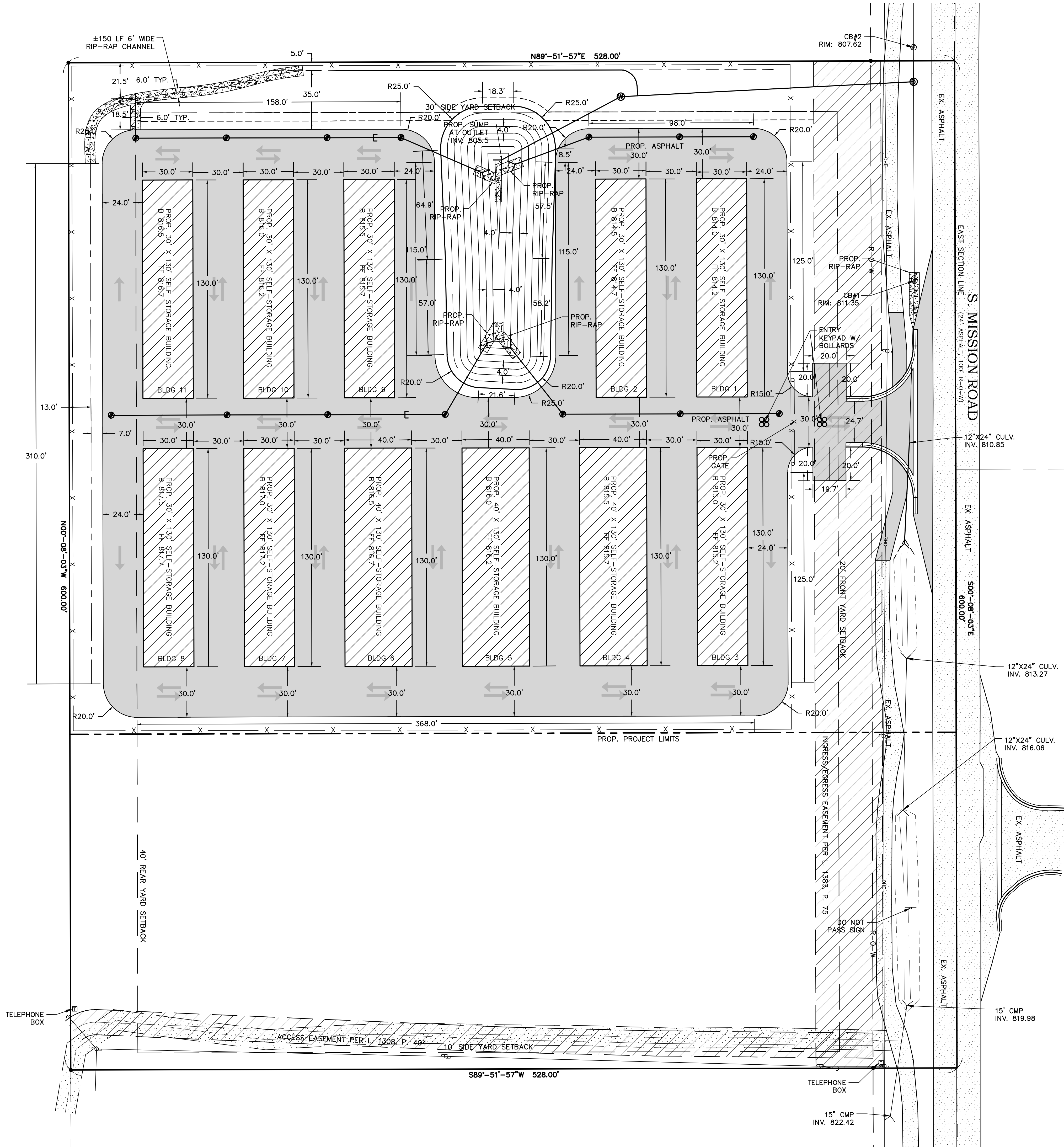
EXISTING STORM STRUCTURES

CB#1
RIM: 811.35
N INV. 808.15 (18" RCP)
S INV. 808.25 (15" RCP)

CB#2
RIM: 807.62
N INV. 802.82 (18" RCP)
S INV. 802.72 (18" RCP)

NOTE: CONTRACTOR TO COORDINATE WITH CLIENT ON AUTOMATIC GATE DESIGN AND INSTALLATION.

NOTE: BUILDINGS ARE NUMBERED IN ACCORDANCE WITH THEIR CONSTRUCTION SCHEDULE.



- DEVELOPMENT NOTES:
1. NO CARGAGE PICKUP OR RECYCLING OFFERED, THUS NO DUMPSTER OR RECYCLING ENCLOSURES ARE SHOWN.
 2. NO DOMESTIC WATER AND SANITARY SEWER PROPOSED FOR SITE. PUBLIC WATER AND SANITARY SEWER ARE PROPOSED.
 3. NO ONSITE DOMESTIC WATER AND SEWER PROPOSED.
 4. THE HOURS OF OPERATION FOR THE PROPOSED BUSINESS SHALL BE 24 HOURS A DAY, 7 DAYS A WEEK.
 5. THE TOTAL NUMBER OF PROPOSED STORAGE UNITS IS 336.

NOTE: SEE SHEET 10 OF 10 FOR ENTRANCE DIMENSIONS.

REVISIONS:

SUBMITTALS:	2-16-22
SUBMITTAL FOR PRELIMINARY REVIEW	2-16-22
SUBMITTAL TO UNION TOWNSHIP	3-25-22
SUBMITTAL TO UNION TOWNSHIP	4-5-22
SUBMITTAL TO UNION TOWNSHIP	4-25-22

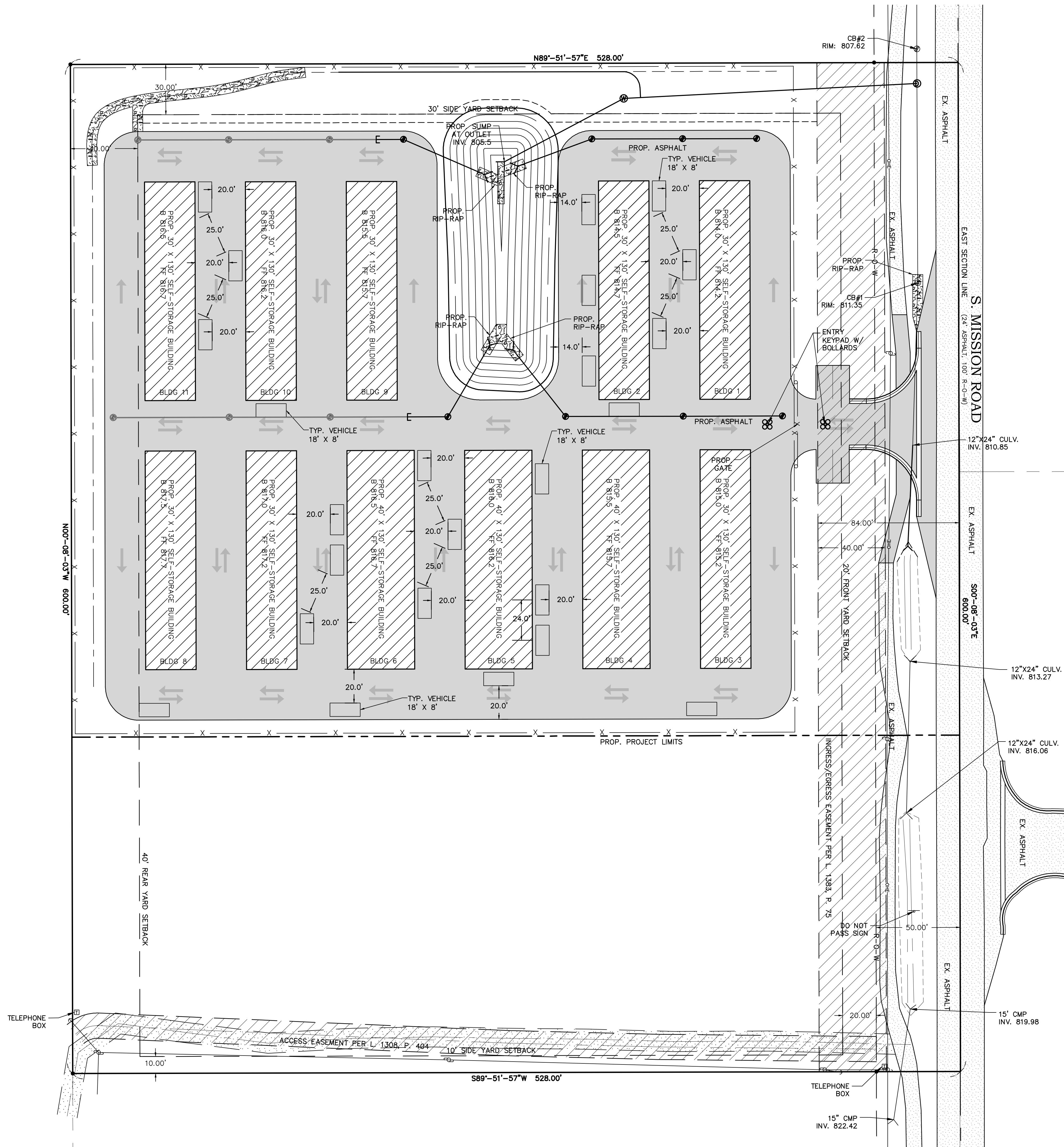
JOB NUMBER:	2112-186
DRAWN BY:	CDS
DESIGNED BY:	CDS
CHECKED BY:	TELB

SCALE	1" = 30'
SHEET NUMBER	3 of 10

CB#1
RIM: 811.35
N INV. 808.15 (18" RCP)
S INV. 808.25 (15" RCP)

CB#2
RIM: 807.62
N INV. 802.82 (18" RCP)
S INV. 802.72 (18" RCP)

NOTE: SOUTH INVERT OF CB#1 IS A 15" RCP. FLARED END SECTION AT DITCH LINE SHOWS A 12"x24" OVAL. CONTRACTOR IS TO DETERMINE WHERE ALONG THE LENGTH OF THE PIPE THE CHANGE IN PIPE SIZE AND CONSTRUCTION OCCURS.



NOTE: THE HOURS OF OPERATION FOR THE PROPOSED BUSINESS SHALL BE 24 HOURS A DAY, 7 DAYS A WEEK.

NOTE: THE TOTAL NUMBER OF PROPOSED STORAGE UNITS IS 336.

NOTE:

UNION TOWNSHIP ZONING STATES THAT SELF-STORAGE UNITS ARE TO HAVE 11 SPACES PER ONE STORAGE UNIT AVAILABLE DUE TO THE PROPOSED USE OF THE PARKING SPACES FOR SELF-STORAGE, IS AN INAPPROPRIATE TO INCLUDE A DEDICATED PARKING LOT ON SITE, AND SO PARKING HAS BEEN SHOWN AS PARALLEL PARKING ALONGSIDE THE BUILDINGS AND PERIMETER. PHASE ONE PARKING REQUIREMENTS ARE 11 SPACES. PHASE TWO PARKING REQUIREMENTS ARE 11 SPACES. FUTURE PHASING PARKING REQUIREMENTS ARE 26 SPACES. THEREFORE, THE TOTAL NUMBER OF PARKING SPACES REQUIRED AND PROVIDED WHEN ALL PHASES ARE COMPLETE WILL BE 39 SPACES.

PHASE ONE PARKING REQUIREMENTS

GENERAL PARKING COUNT BY USE

- SELF-STORAGE UNITS
0.1 SPACES PER STORAGE UNIT,
PLUS 5 SPACES AT SITE OFFICE
 $60 \text{ UNITS} \times 0.1 = 6 + 5 = 11 \text{ SPACES}$

REQUIRED AND PROVIDED PARKING

REGULAR SPACES REQUIRED =	11 SPACES
MAXIMUM SPACES PROVIDED =	96 SPACES
A.D.A SPACES REQUIRED =	2 SPACES
A.D.A SPACES PROVIDED =	2 SPACES
TOTAL REQUIRED PARKING SPACES =	11 SPACES
TOTAL PROPOSED PARKING SPACES =	11 SPACES

PHASE TWO PARKING REQUIREMENTS

GENERAL PARKING COUNT BY USE

- SELF-STORAGE UNITS
0.1 SPACES PER STORAGE UNIT,
PLUS 5 SPACES AT SITE OFFICE
 $62 \text{ UNITS} \times 0.1 = 6.2 = 6 + 5 = 11 \text{ SPACES}$

REQUIRED AND PROVIDED PARKING

REGULAR SPACES REQUIRED =	11 SPACES
MAXIMUM SPACES PROVIDED =	96 SPACES
A.D.A SPACES REQUIRED =	2 SPACES
A.D.A SPACES PROVIDED =	2 SPACES
TOTAL REQUIRED PARKING SPACES =	11 SPACES
TOTAL PROPOSED PARKING SPACES =	11 SPACES

FUTURE PARKING REQUIREMENTS

GENERAL PARKING COUNT BY USE

- SELF-STORAGE UNITS
0.1 SPACES PER STORAGE UNIT,
PLUS 5 SPACES AT SITE OFFICE
 $214 \text{ UNITS} \times 0.1 = 21.4 = 21 + 5 = 26 \text{ SPACES}$

REQUIRED AND PROVIDED PARKING

REGULAR SPACES REQUIRED =	21 SPACES
MAXIMUM SPACES PROVIDED =	96 SPACES
A.D.A SPACES REQUIRED =	2 SPACES
A.D.A SPACES PROVIDED =	2 SPACES
TOTAL REQUIRED PARKING SPACES =	21 SPACES
TOTAL PROPOSED PARKING SPACES =	21 SPACES

TOTAL PARKING REQUIREMENTS

GENERAL PARKING COUNT BY USE

0.1 SPACES PER STORAGE UNIT,
PLUS 5 SPACES AT SITE OFFICE
 $336 \text{ UNITS} \times 0.1 = 33.6 = 34 + 5 = 39 \text{ SPACES}$

REQUIRED AND PROVIDED PARKING

REGULAR SPACES REQUIRED =	39 SPACES
MAXIMUM SPACES PROVIDED =	96 SPACES
A.D.A SPACES REQUIRED =	2 SPACES
A.D.A SPACES PROVIDED =	2 SPACES
TOTAL REQUIRED PARKING SPACES =	39 SPACES
TOTAL PROPOSED PARKING SPACES =	39 SPACES

CMS & D

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MT. PLEASANT, MICHIGAN 48858
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FAX: (989) 775-5012
EMAIL: info@crms-d.com



SITE PARKING PLAN

DARWIN BLANSHAN

PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4,
SECTION 34, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:
SUBMITTAL FOR PRELIMINARY REVIEW 2-16-22

JOB NUMBER:
2112-186

1" = 30'

SCALE

DESIGNED BY:

SHEET NUMBER
4 OF 10

P-STMH#1
RIM: 811.35
PROP. 4' DIA CONC FLAT TOP
E.J.I.W. 1040 W/ SOLID LID
N INV. 803.50 (18" RCP)
S INV. 803.50 (18" RCP)
W INV. 804.20 (12" N-12)

P-WEIR#1
RIM: 815.25
PROP. 4' DIA CONC FLAT TOP
E.J.I.W. 1040 W/ SOLID LID
CONC. WEIR = 812.5
SW INV. 805.18 (12" N-12)
E INV. 805.08 (12" N-12)
3" ORIFICE @ 805.13

P-CB#3
RIM: 812.6
PROP. 2' DIA MDOT HEAVY WALL STR.
E.J.I.W. 1040 TYPE M1 GRATE
W INV. 809.1 (12" N-12)

P-CB#4
RIM: 812.6
PROP. 2' DIA MDOT HEAVY WALL STR.
E.J.I.W. 1040 TYPE M1 GRATE
W INV. 808.78 (12" N-12)
E INV. 808.88 (12" N-12)

P-CB#5
RIM: 813.0
PROP. 2' DIA MDOT HEAVY WALL STR.
E.J.I.W. 1040 TYPE M1 GRATE
W INV. 807.73 (12" N-12)
E INV. 808.50 (12" N-12)

P-CB#6
RIM: 814.0
PROP. 2' DIA MDOT HEAVY WALL STR.
E.J.I.W. 1040 TYPE M1 GRATE
W INV. 810.49 (12" N-12)
E INV. 807.75 (12" N-12)

P-CB#7
RIM: 814.1
PROP. 2' DIA MDOT HEAVY WALL STR.
E.J.I.W. 1040 TYPE M1 GRATE
W INV. 810.82 (12" N-12)
E INV. 810.72 (12" N-12)

P-CB#8
RIM: 814.6
PROP. 2' DIA MDOT HEAVY WALL STR.
E.J.I.W. 1040 TYPE M1 GRATE
W INV. 811.22 (12" N-12)
E INV. 811.12 (12" N-12)

P-CB#9
RIM: 815.0
PROP. 2' DIA MDOT HEAVY WALL STR.
E.J.I.W. 1040 TYPE M1 GRATE
E INV. 811.5 (12" N-12)

P-CB#10
RIM: 816.0
PROP. 2' DIA MDOT HEAVY WALL STR.
E.J.I.W. 1040 TYPE M1 GRATE
E INV. 812.5 (12" N-12)

P-CB#11
RIM: 815.6
PROP. 2' DIA MDOT HEAVY WALL STR.
E.J.I.W. 1040 TYPE M1 GRATE
W INV. 812.15 (12" N-12)
E INV. 812.05 (12" N-12)

P-CB#12
RIM: 815.1
PROP. 2' DIA MDOT HEAVY WALL STR.
E.J.I.W. 1040 TYPE M1 GRATE
W INV. 811.75 (12" N-12)
E INV. 811.65

P-CB#13
RIM: 814.6
PROP. 2' DIA MDOT HEAVY WALL STR.
E.J.I.W. 1040 TYPE M1 GRATE
W INV. 811.30 (12" N-12)
NE INV. 807.75 (12" N-12)

P-CB#14
RIM: 814.1
PROP. 2' DIA MDOT HEAVY WALL STR.
E.J.I.W. 1040 TYPE M1 GRATE
NW INV. 807.75 (12" N-12)
E INV. 809.25 (12" N-12)

P-CB#15
RIM: 813.6
PROP. 2' DIA MDOT HEAVY WALL STR.
E.J.I.W. 1040 TYPE M1 GRATE
W INV. 809.60 (12" N-12)
E INV. 809.70 (12" N-12)

P-CB#16
RIM: 813.5
PROP. 2' DIA MDOT HEAVY WALL STR.
E.J.I.W. 1040 TYPE M1 GRATE
W INV. 810.0 (12" N-12)

NOTE: SEE SHEET
10 OF 10 FOR
DIVERSION
CHANNEL CROSS
SECTION DETAIL.

Total Area Directed to Detention Facility: 211,266 sq. ft. = 4.85 acres

STORM WATER CALCULATIONS:

Allowable Discharge (0.10 cfs/acre) - 3.93 acres * 0.10 cfs/acre = 0.39 cfs
 Total Contributing Area = 3.93 acres
 Total Impervious Area = 3.01 acres
 Total Pervious Area = 0.92 acres
 Design Ponding Elevation = 812.5
 Invert of Restrictor Elevation = 805.5

Restrictor Calculation
Formula: $a = Qa / [0.62[(64.4(h))^{1/2}]]$
 a = Area of orifice in sq. ft.
 Qa = Allowable outflow
 H = elevation difference from maximum ponding elevation to centerline of orifice
 h = (2/3) H
 $a = 0.39 \text{ cfs} / 0.62 [(64.4)(812.5 - 805.5)(2/3)^{1/2}]^{1/2}$
 $a = 0.045 \text{ sft}$
 $a = \pi(D^4) / 4 = D = 0.24 \text{ ft} = 2.88 \text{ inches}$

Pass-Through Flow Calculation
 2.42 acres * 0.35 cfs/acre = 0.85 cfs
 0.85 cfs pass-through + 0.39 cfs allowable = 1.24 cfs Total Outflow

Restrictor Calculation (revised)
Formula: $a = Qa / [0.62] \{ (64.4(h)) \}^{1/2}$
 a = Area of orifice in sq. ft.
 Qa = Allowable outflow
 H = elevation difference from maximum ponding elevation to centerline of orifice
 $h = (2/3)H$
 $a = 1.24 \text{ cfs} / 0.62 [(64.4)(812.5 - 805.5)(2/3)]^{1/2}$
 $a = 0.115 \text{ sf}$
 $a = \pi(D^2) / 4 = D = 0.383 \text{ ft} = 4.60 \text{ inches}$

Therefore the required on site detention for a 25 Year/24 Hour Storm Event is 26,616 cft. The system as proposed provides 27,925 cft at the 812.5 ponding elevation.

The required on site detention for a 100 Year/24 Hour Storm Event is 33,616 cft. The system as proposed provides 37,537.5 cft at the 813.5 ponding elevation. Therefore the 100 Year Storage Elevation would occur at 813.1 contour.

805.5 CONTOUR = 108 SF
806.5 CONTOUR = 958 SF
807.5 CONTOUR = 1,992 SF
808.5 CONTOUR = 3,144 SF
809.5 CONTOUR = 4,402 SF
810.5 CONTOUR = 5,762 SF
811.5 CONTOUR = 7,222 SF
812.5 CONTOUR = 8,782 SF
813.5 CONTOUR = 10,443 SF

VOL 806.5 = (108 + 958)/2 * 1 = 533 CF	
VOL 807.5 = (958 + 1,992)/2 * 1 = 1,475 CF	T-VOL = 2,008 CF
VOL 808.5 = (1,992 + 3,144)/2 * 1 = 2,568 CF	T-VOL = 4,576 CF
VOL 809.5 = (3,144 + 4,402)/2 * 1 = 3,773 CF	T-VOL = 8,349 CF
VOL 810.5 = (4,402 + 5,762)/2 * 1 = 5,082 CF	T-VOL = 13,431 CF
VOL 811.5 = (5,762 + 7,222)/2 * 1 = 6,492 CF	T-VOL = 19,923 CF
VOL 812.5 = (7,222 + 8,782)/2 * 1 = 8,002 CF	T-VOL = 27,925 CF

VOL 813.5 = (8,782 + 10,443)/2 * 1 = 9,612.5 CF T-VOL = 37,537.5 C

CB#1
RIM: 811.35
N INV. 808.15 (18" RCP)
S INV. 808.25 (15" RCP)

NOTE: SOUTH INVERT OF CB#1 IS A 15" RCP. FLARED END SECTION AT DITCH LINE SHOWS A 12"x24" OVAL. CONTRACTOR IS TO DETERMINE WHERE ALONG THE LENGTH OF THE PIPE THE CHANGE IN PIPE SIZE AND CONSTRUCTION OCCURS.

1. BAFFLE WALL TO BE CONSTRUCTED OF 8" CONCRETE BLOCK WITH SMOOTH-RAKED JOINTS.
2. EPOXY #4 REINFORCING BARS INTO THE SIDEWALLS AND BASE OF THE PRECAST STRUCTURE AT 8" SPACING. BARS ARE TO EXTEND ACROSS THE ENTIRE WIDTH OF THE STRUCTURE.
3. PLACE #4 REINFORCING BARS IN THE BAFFLE WALL VERTICALLY AT 12" SPACINGS. THE VERTICAL BARS TO HORIZONTAL BARS.
4. GROUT-FILL ALL CONCRETE BLOCK.
5. COAT ENTIRE BAFFLE WALL WITH XYPEX WATERPROOFING OR APPROVED EQUAL.

E.E.J.I. 1020 WITH SOLID COVER

ADJUSTING RINGS

RIM ELEVATION 815.25

ELEVATION 814.5

ELEV. 813.5

MORTAR JOINT

TOP OF WALL ELEV. 812.5
@ 25 YR./24 HR. DETENTION VOLUME

M.H. STEPS AT 15" CTRS.
STEPS TO BE PROVIDED IN
STRUCTURES GREATER THAN
48" FROM THE RIM GRADE TO
THE INVERT GRADE

8" BAFFLE WALL

BOOTED 12" SDR-35

INV. 805.08

ELEV. 803.08 (MIN. OF 24" SUMP

0.5'

1.0'

1.0' MIN.

4' DIA.

PVC ORIFICE
INTO WALL
INV. 805.13

NOTED 12" N-12

INV. 805.18

P-WEIR STORM WATER OVERFLOW STRUCTURE

NOT TO SCALE



SITE GRADING & STORM SEWER PLAN

DARWIN BLANSHAN
PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4,
SECTION 34, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

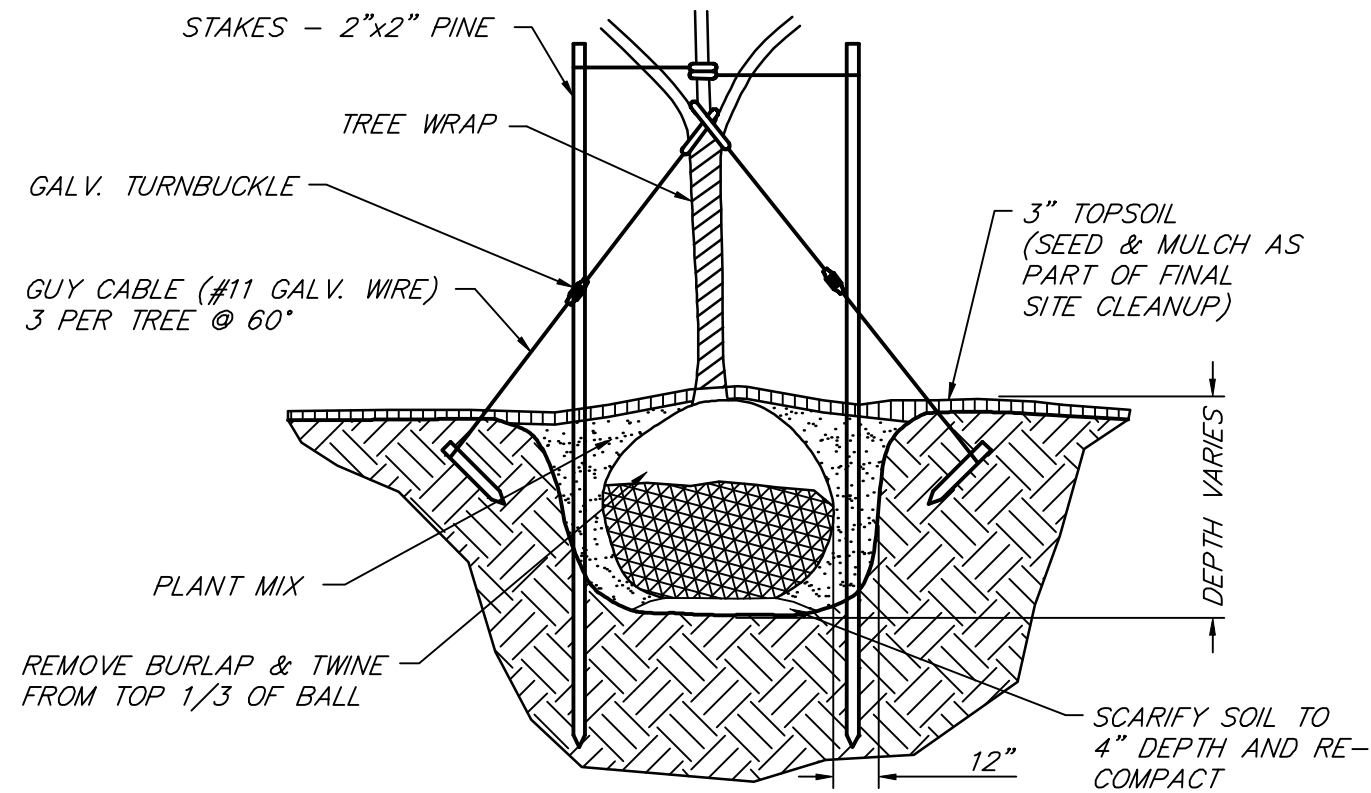
SCALE	JOB NUMBER:	SUBMITTALS:	REVISIONS:
1" = 30'	2112-186	SUBMITTAL FOR PRELIMINARY REVIEW 2-16-22	
	DRAWN BY:	SUBMITTAL TO UNION TOWNSHIP 3-25-22	
	CDS	SUBMITTAL TO UNION TOWNSHIP 4-5-22	
SHEET NUMBER	DESIGNED BY:	SUBMITTAL TO UNION TOWNSHIP 4-25-22	
5 OF 10	CDS		
	CHECKED BY:		
	TELB		

NOTE: THREE EVERGREEN SPECIES TO BE UTILIZED FOR SCREENING: CONCOLOR FIR, SERBIAN SPRUCE, AND NORWAY SPRUCE, GROUPED INTO CLUSTERS OF FIVE OF THE SAME SPECIES AS SHOWN.

NOTE: ALL LANDSCAPING AND FENCING TO BE DONE DURING PHASE ONE

NOTE: FOUR SHRUB SPECIES WILL BE UTILIZED FOR LANDSCAPING: CHOKEBERRY, BURNING BUSH, KNOCK-OUT ROSES, AND DAYLILIES. CONTRACTOR IS TO COORDINATE WITH CLIENT ON LOCATION OF PLANTING OF EACH SPECIES.

INSTALL (61) 6-7" TALL EVERGREEN TREES 15' ON CENTER ALONG THE WEST AND NORTH PROPERTY LINE. DOUBLE STACK TREES AT WESTERN DRIVE ENDS.



TYP. TREE PLANTING DETAIL

NOT TO SCALE

REQUIRED PROJECT LANDSCAPING:

IN ACCORDANCE WITH SECTION 10, LANDSCAPING AND SCREENING OF THE UNION CHARTER TOWNSHIP ORDINANCE, THE FOLLOWING SHALL BE PLANTED IN ACCORDANCE WITH SECTION 10.2 SUMMARY OF MINIMUM PLANTING REQUIREMENTS AND SUMMARY OF PLANT MATERIAL SPECIFICATIONS OF PLANTING AND SECTION 10.4, STANDARDS FOR LANDSCAPING MATERIALS.

LANDSCAPING ADJACENT TO S. MISSION ROAD.

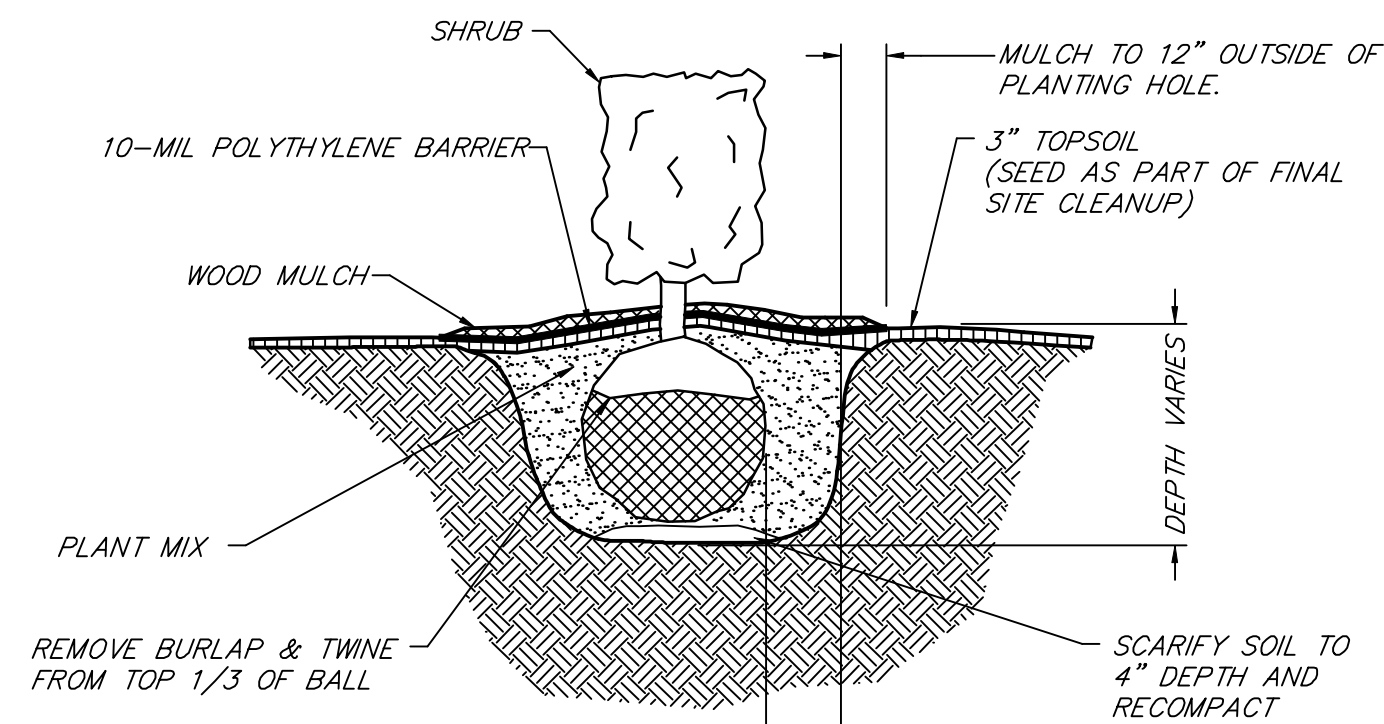
- 1) THERE ARE SHOWN (10) "STREET" TREES FOR THE 400 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE ON S. MISSION ROAD. 1 TREE FOR EVERY 40 FRONT FEET.
- 2) THERE ARE (4) ORNAMENTAL STREET TREES FOR THE 400 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE ON S. MISSION ROAD. 1 TREE FOR EVERY 100 FRONT FEET.
- 3) THERE ARE (80) SHRUBS FOR THE 400 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE ON S. MISSION ROAD. 8 SHRUBS FOR EVERY 40 FRONT FEET.

SCREENING ADJACENT TO RESIDENTIAL SHALL BE EVERGREENS SPACED NO MORE THAN 15 FEET ON CENTER. THE PROPOSED PROJECT IS ADJACENT TO A RESIDENTIAL ZONE OR USE ALONG THE NORTH AND WEST PROPERTY LINES. AS SUCH, THERE ARE (55) EVERGREEN TREES FOR THE 828 FEET ADJACENT TO THE RESIDENTIAL ZONE. 1 TREE FOR EVERY 15 FEET.

PARKING LOT LANDSCAPING SHALL BE 1 TREE FOR EVERY 5 PARKING SPACES. THE PROPOSED PROJECT HAS NO DEDICATED PARKING LOT.

GREENBELTS SHALL BE DECIDUOUS OR EVERGREEN TREES SPACED NO MORE THAN 30 FEET ON CENTER. THE PROPOSED PROJECT INCLUDES A GREENBELT ALONG THE PROPOSED SOUTH FENCE LINE. AS SUCH, THERE ARE (15) DECIDUOUS TREES FOR THE 450 FEET OF FENCE LINE. 1 TREE FOR EVERY 30 FEET.

LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 10.5, INSTALLATION AND MAINTENANCE. LANDSCAPING WILL HAVE ONE YEAR GUARANTEE FROM THE INSTALLER. PRIOR TO THE ONE YEAR ANNIVERSARY, THE INSTALLER WILL REPLACE ANY DAMAGED, DYING OR DEAD PLANTINGS. FOLLOWING THIS GUARANTEE PERIOD, EACH SPRING, THE PLANTINGS SHALL BE INSPECTED AND ANY DAMAGED, DYING OR DEAD PLANTINGS WILL BE REPLACED. GENERAL LAWN AREAS WILL BE MAINTAINED AND MOWED REGULARLY.



TYPICAL EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE

TELEPHONE BOX

ACCESS EASEMENT PER L. 1308, P. 404

589'-51'-57"W 528.00'

INSTALL (15) MAPLE TREES 30' ON CENTER ALONG THE SOUTH FENCE LINE.

INSTALL (5) MAPLE TREES 40' ON CENTER ALONG THE EAST FENCE LINE.

INSTALL (40) SHRUBS AND BUSHES IN LANDSCAPE AREA.

INSTALL (4) SNOWDRIFT CRABAPPLE TREES AT THE FRONT ENTRANCE.

INSTALL (40) SHRUBS AND BUSHES IN LANDSCAPE AREA.

INSTALL (5) MAPLE TREES 30' ON CENTER ALONG THE EAST FENCE LINE.

TREE PLANTING GENERAL NOTES:

STAKE TREES UNDER 4" CALIPER

1. GUY TREES 4" CALIPER & OVER
2. PRUNE TO THIN & SHAPE CANOPY
3. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
4. SET TOP OF BALL TO CORRESPOND WITH FINISH GRADE
5. SET STAKES VERTICAL AND EVENLY
6. STAYS OR GUYS TO BE SET ABOVE FIRST BRANCH
7. SCARIFY SOIL TO 4" DEPTH & RECOMPACT
8. STAKES TO EXTEND 18" BELOW PIT IN UNDISTURBED SOIL
- 9.

NOTE: ALL OTHER SOFT AREAS NOT DESIGNATED AS COVERED SHALL BE GRASS COVERED.

= LANDSCAPE AREA

STREET PLANTINGS - S. MISSION ROAD

10 DECIDUOUS TREES
4 ORNAMENTAL TREES
80 SHRUBS

SCREENING PLANTINGS - N. & W. PROP.
55 EVERGREEN TREES REQUIRED
61 TREES PROVIDED (SEE NOTE)

NOTE: UNION TOWNSHIP ORDINANCE REQUIRES 8 FOOT TALL EVERGREEN TREES AT THE TIME OF PLANTING. 8 FOOT TALL EVERGREEN TREES ARE ONLY AVAILABLE IN ONE SPECIES. 6-7 FOOT TALL EVERGREEN TREES ARE AVAILABLE IN THREE SPECIES, WHICH ALLOWS FOR GROUPING OF TREES IN A WAY THAT IS SUITABLE FOR THE MITIGATION AND PREVENTION OF DISEASE. 6 EXTRA TREES HAVE BEEN ADDED IN STRATEGIC LOCATIONS TO COMPENSATE FOR POTENTIAL HEADLIGHTS.

- PROP DECIDUOUS TREE WITH A MIN. CALIPER OF 2.5 INCHES AND A MIN. HEIGHT OF 4 FEET TO FIRST BRANCH.
- PROP ORNAMENTAL TREE - MIN. CALIPER OF 2.0 INCHES & A MIN. HEIGHT OF 4 FEET TO FIRST BRANCH.
- PROP SHRUB - MIN. HEIGHT OF 3 FEET AND A MIN. SPREAD OF 2 FEET.

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MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com



LANDSCAPING AND SCREENING PLAN
DARWIN BLANSHAN
PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4,
SECTION 34, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN


REVISIONS:

SUBMITTALS:	2-16-22
SUBMITTAL FOR PRELIMINARY REVIEW	2-16-22
SUBMITTAL TO UNION TOWNSHIP	3-25-22
SUBMITTAL TO UNION TOWNSHIP	4-5-22
SUBMITTAL TO UNION TOWNSHIP	4-25-22

JOB NUMBER:	2112-186
DRAWN BY:	CDS
DESIGNED BY:	CDS
CHECKED BY:	TELB

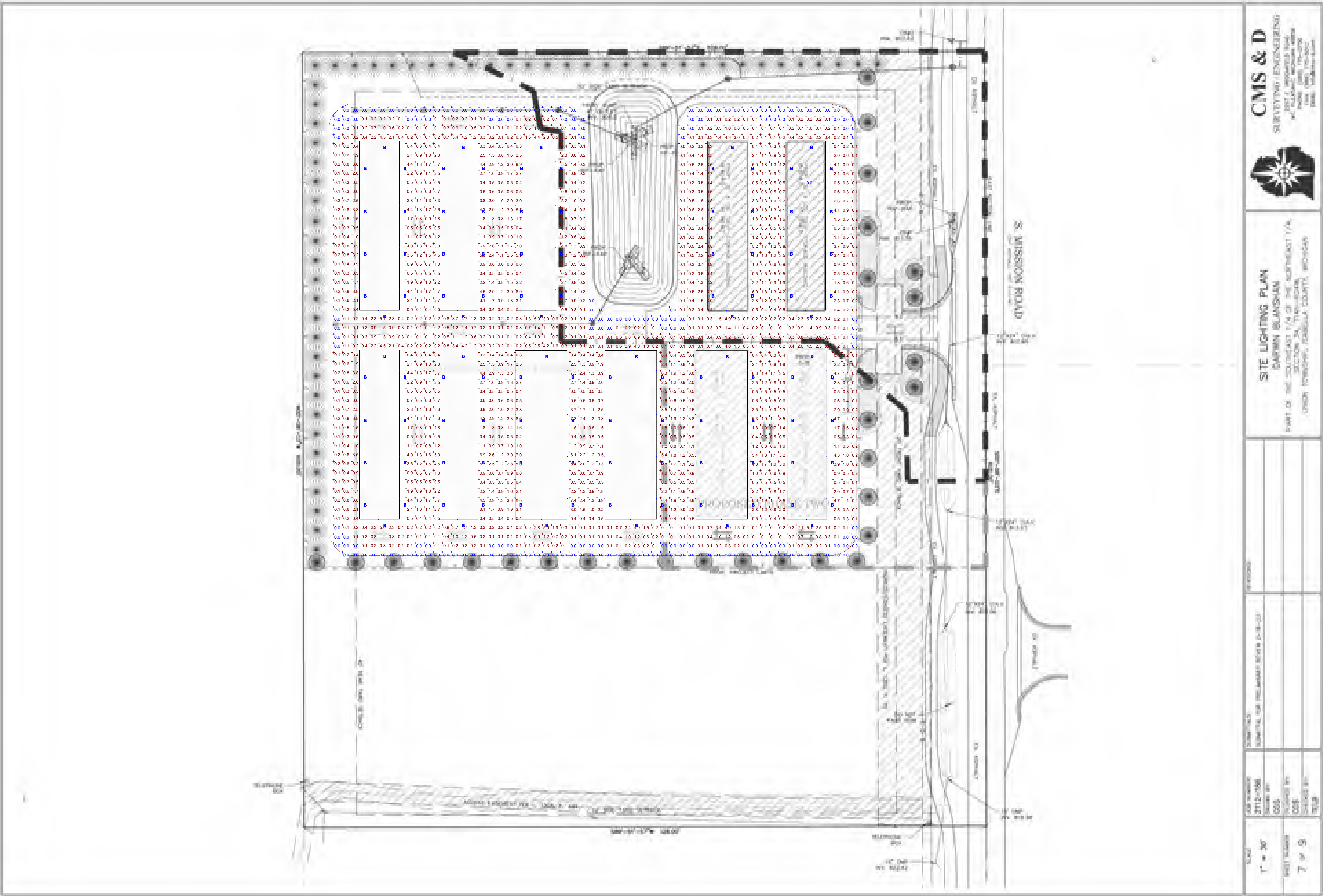
SCALE
1" = 30'
SHEET NUMBER
6 of 10

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp	Wattage
	B	110	HUBBELL OUTDOOR	SG1-10-5K	10w LED Wall Pack	1348	10.9

Statistics

Description	Symbol	Avg	Max	Min
Parking	+	1.1 fc	9.0 fc	0.0 fc



Plan View

Storage Unit

Designer
d badgley
Date
03/23/2022
Scale
Not to Scale
Drawing No.

Summary

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 HUBBELL
Lighting

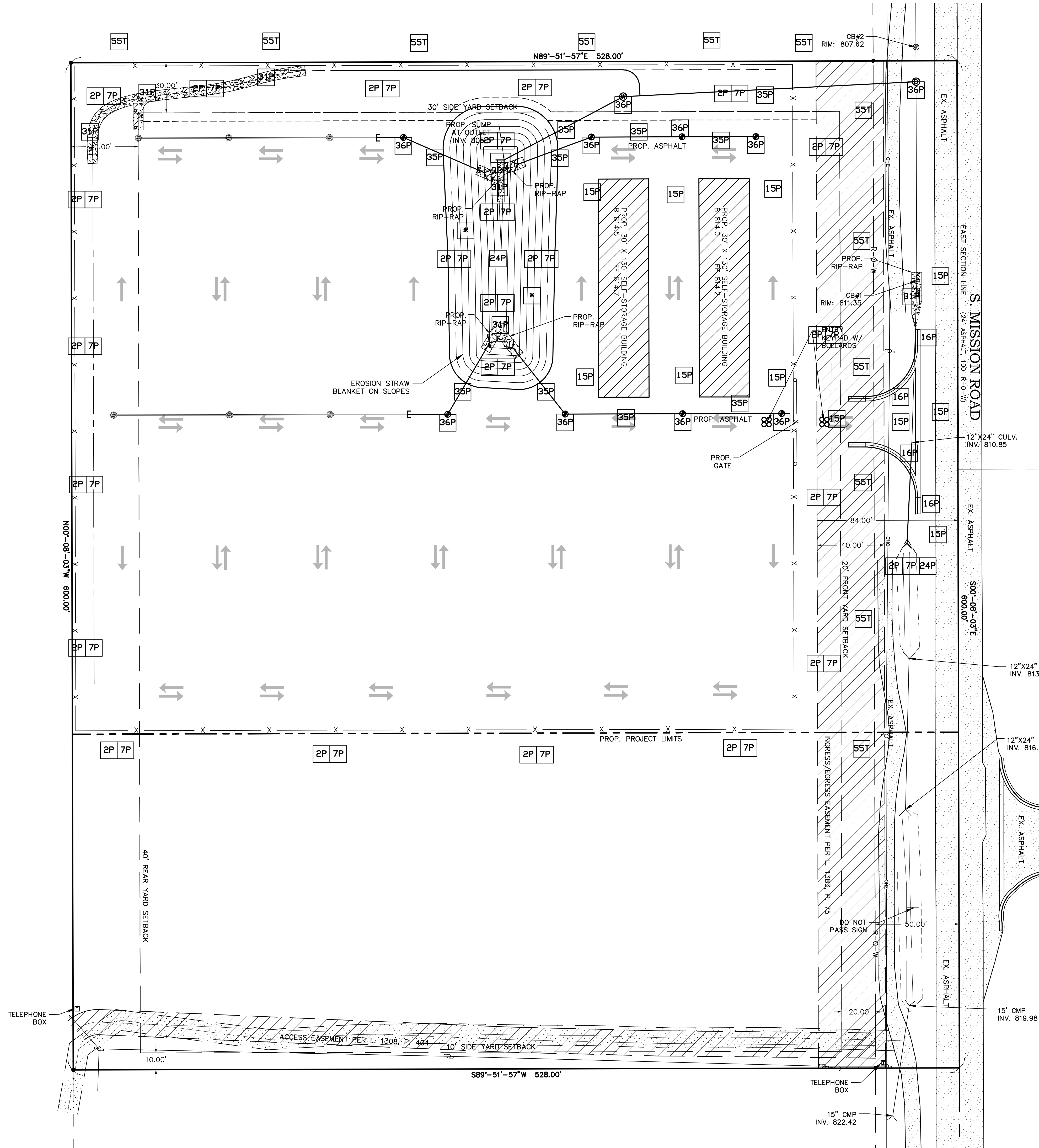
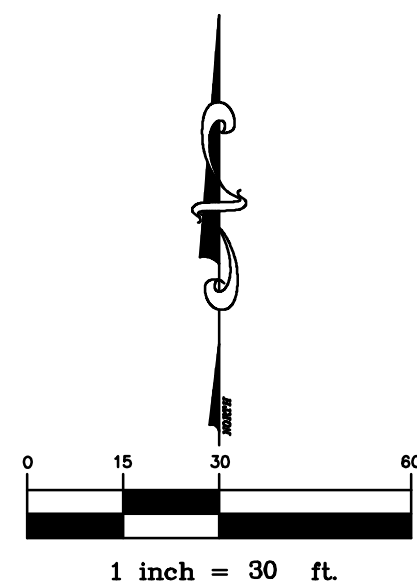
Page 8 of 8 Rev. 11/17/20 © 2020 Hubbell Outdoor Lighting, a division of Hubbell Lighting, Inc. Specifications subject to change without notice. HUBBELL

P = PERMANENT *T* = TEMPORARY

XT

KEY	DETAIL	CHARACTERISTICS
2	<p>Selective Grading & Shaping</p>	<p>Water can be diverted to minimize erosion</p> <p>Flatter slopes ease erosion problems</p>
7	<p>Hydro-seeding</p>	<p>Effective on large areas</p> <p>Mulch seeding agent used to provide immediate protection until grass is rooted</p> <p>Should include prepared topsoil bed</p>
15	<p>Paving</p>	<p>Protects areas which cannot otherwise be protected, but increases runoff</p> <p>volume and velocity</p> <p>Irregular surface will help slow velocity</p>
16	<p>Curb & Gutter</p>	<p>Keeps high velocity runoff on paved areas from leaving paved surface</p> <p>Collects and conducts runoff to enclosed drainage system or prepared dropway</p>
24	<p>Grassed Waterway</p>	<p>Much more stable form of dropway than bare channel</p> <p>Grass tends to slow runoff and filter out sediment</p> <p>Used where bare channel would be eroded</p>
31	<p>Energy Dissipator</p>	<p>Slows runoff velocity to non-erosive level</p> <p>Permits sediment collection from runoff</p>
33	<p>Sediment Trap</p>	<p>May be constructed of a variety of materials</p> <p>Traps sediment and reduces velocity of flow</p> <p>Can be cleaned and expended as needed</p>
35	<p>Storm Sewer</p>	<p>System removes collected runoff from site, particularly from paved areas</p> <p>Can accept large concentrations of runoff</p> <p>Conducts runoff to municipal sewer system or stabilized outlet location</p> <p>Use catch basins to collect sediment</p>
36	<p>Catch Basin, Drain Inlet</p>	<p>Collects low velocity concentrated runoff</p> <p>May use filter cloth over inlet</p>
55	<p>Geotextile Silt Fence</p>	<p>Controls and Contains sediment from sheet flow conditions.</p> <p>Fabric must be "tied" into the soil 6" or more to prevent underflow.</p> <p>Must be constructed of adequate strength filter fabric and stakes.</p>

* INSTALL STRAW MATT ON ALL DETENTION POND SLOPES FOR EROSION PROTECTION.



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EMAIL: info@cms-d.com

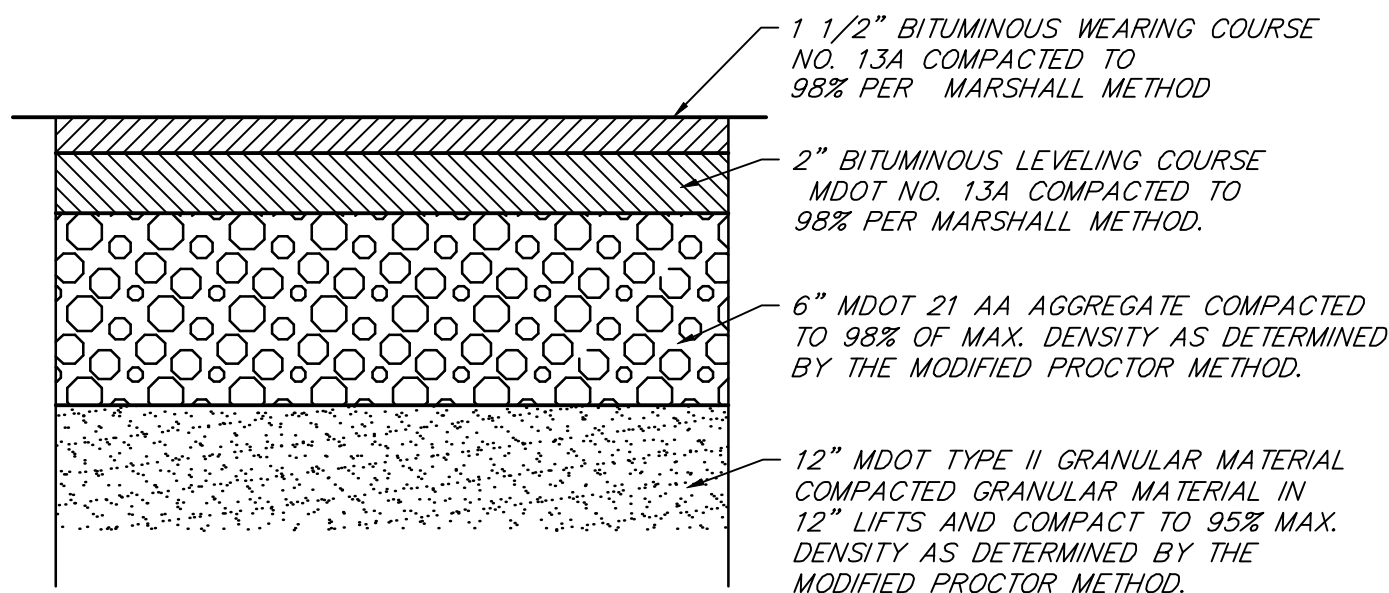


SOIL EROSION PLAN

DARWIN BLANSHAN

PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4,
SECTION 34, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

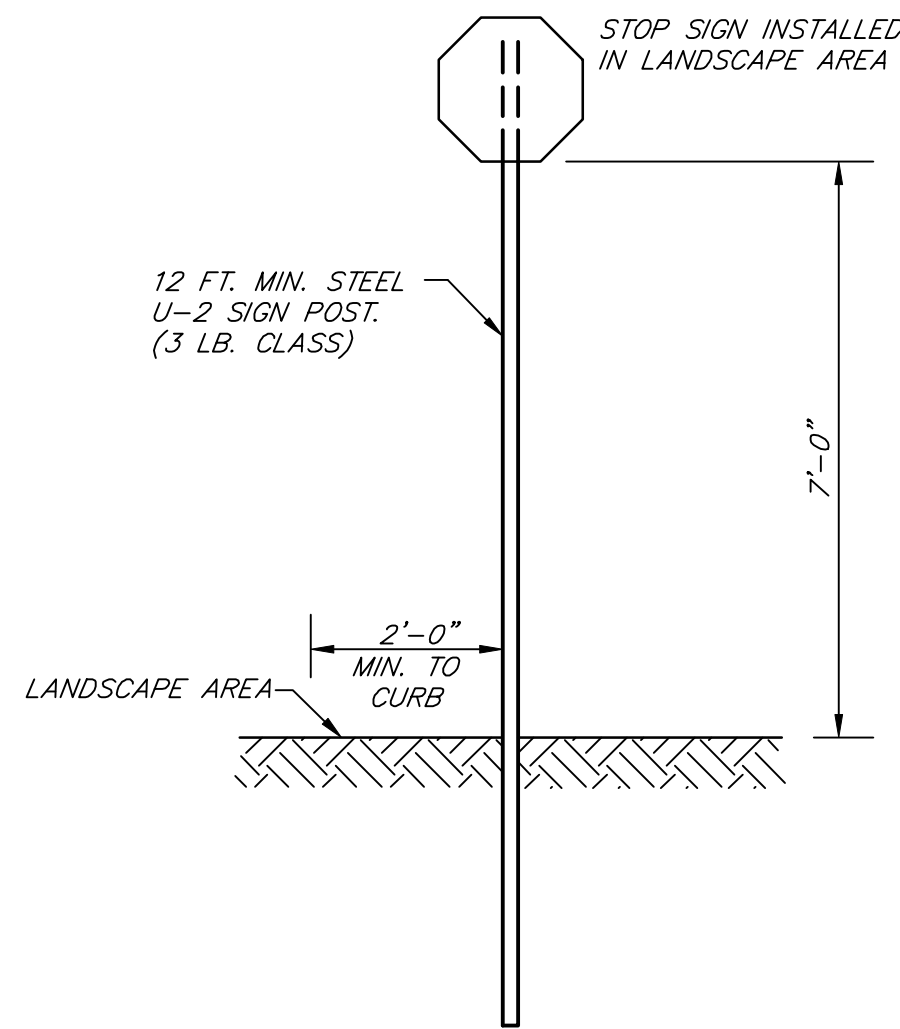
SCALE 1" = 30'	JOB NUMBER: 2112-186	SUBMITTALS: SUBMITTAL FOR PRELIMINARY REVIEW 2-16-22 SUBMITTAL TO UNION TOWNSHIP 3-25-22 SUBMITTAL TO UNION TOWNSHIP 4-5-22 SUBMITTAL TO UNION TOWNSHIP 4-25-22	REVISIONS:
SHEET NUMBER 9 OF 10	DRAWN BY: CDS		
	DESIGNED BY: CDS		
	CHECKED BY: TELB		



NOTE: COMPACTION TESTS ARE REQUIRED. RESULTS SHALL BE SUBMITTED TO OWNER PRIOR TO FINAL ACCEPTANCE OF SUB-BASE, BASE AND ASPHALT MATERIALS.

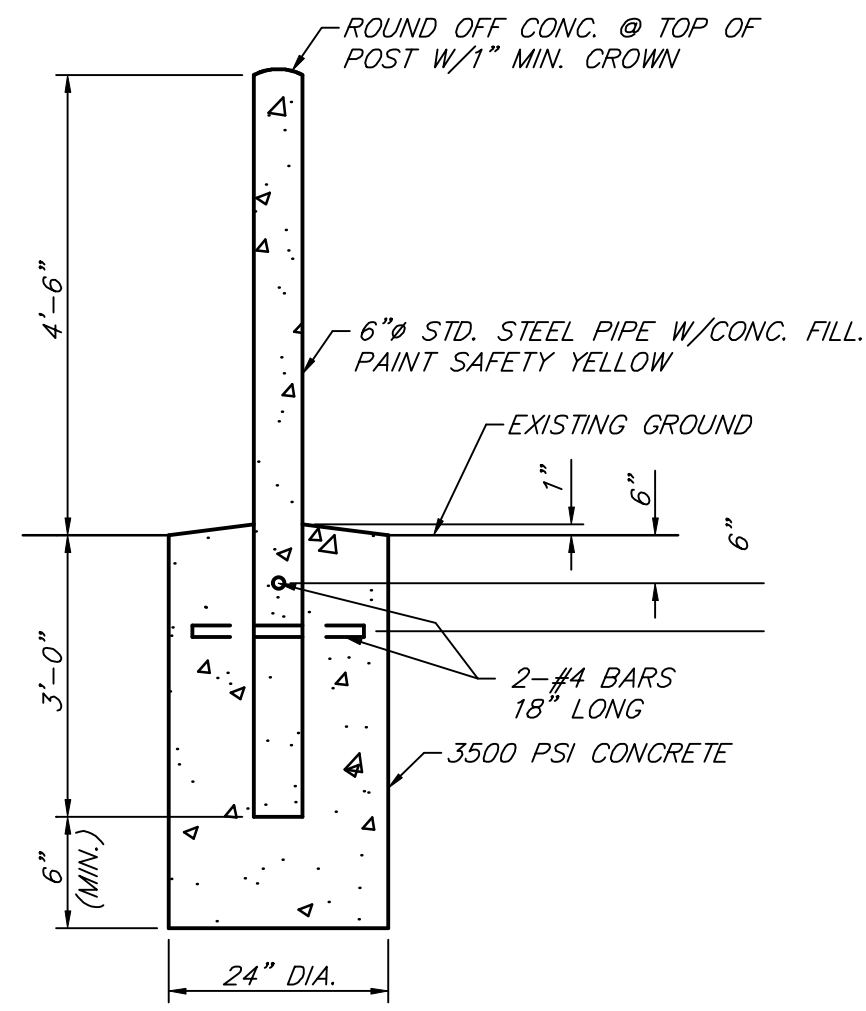
PARKING LOT ASPHALT PAVEMENT CROSS-SECTION

NOT TO SCALE



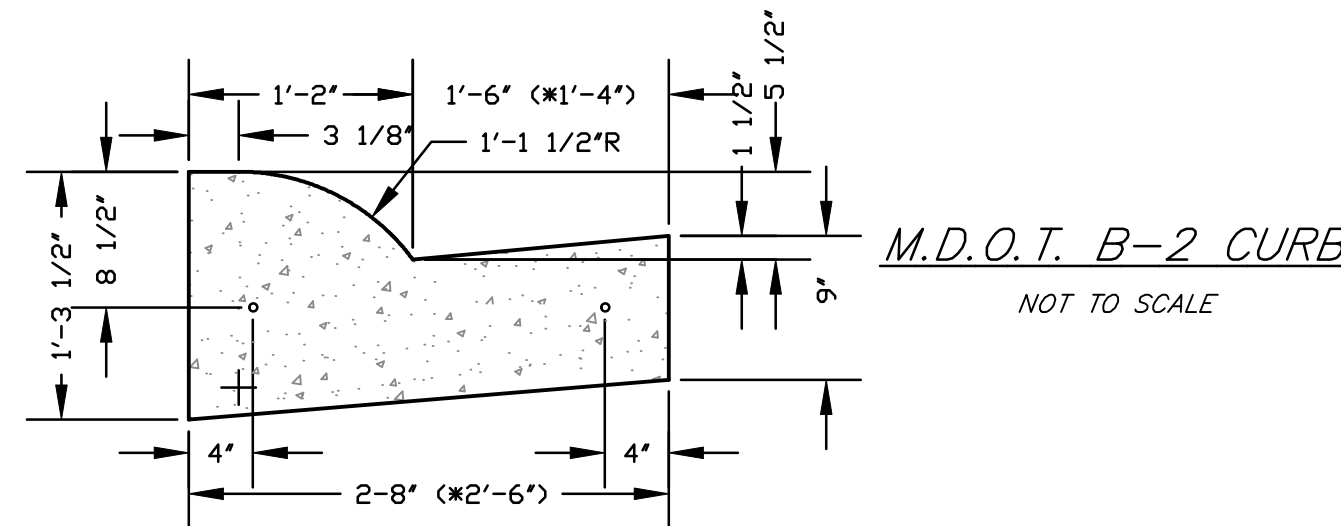
PARKING LOT SIGN POST DETAILS

NOT TO SCALE



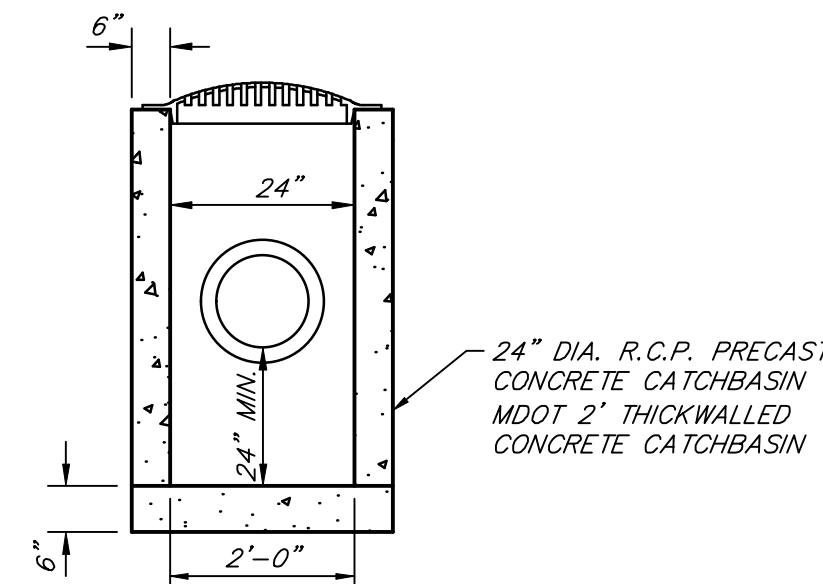
BOLLARD DETAIL

NOT TO SCALE



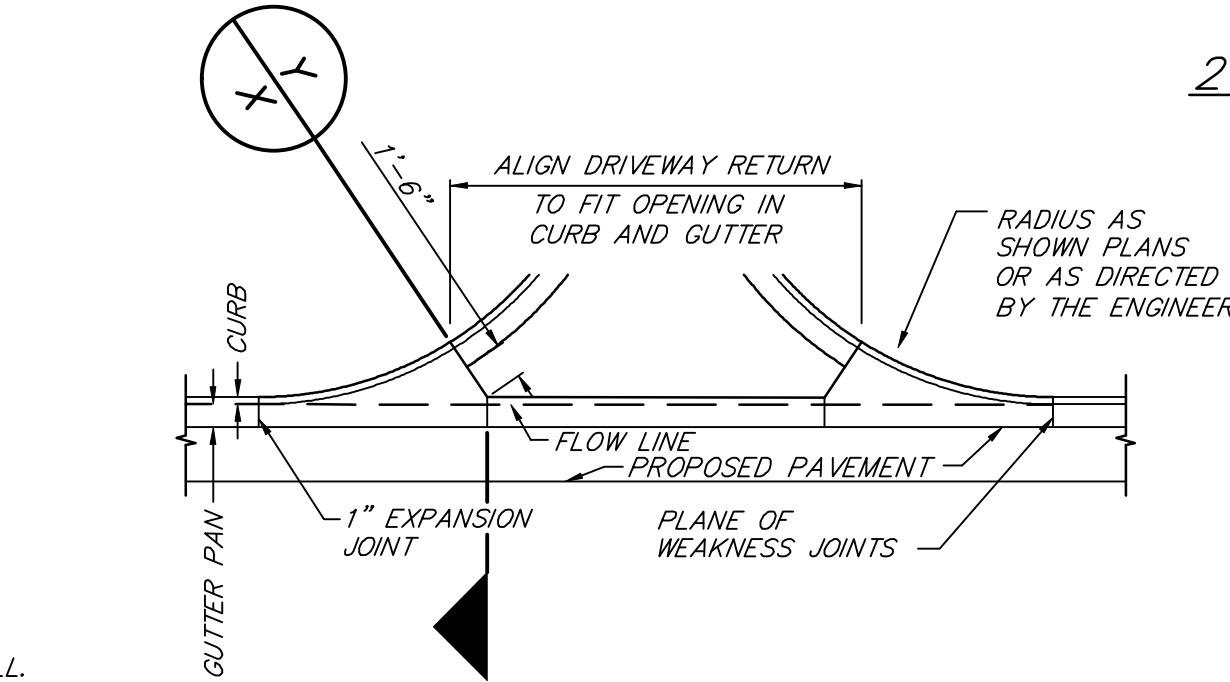
M.D.O.T. B-2 CURB

NOT TO SCALE



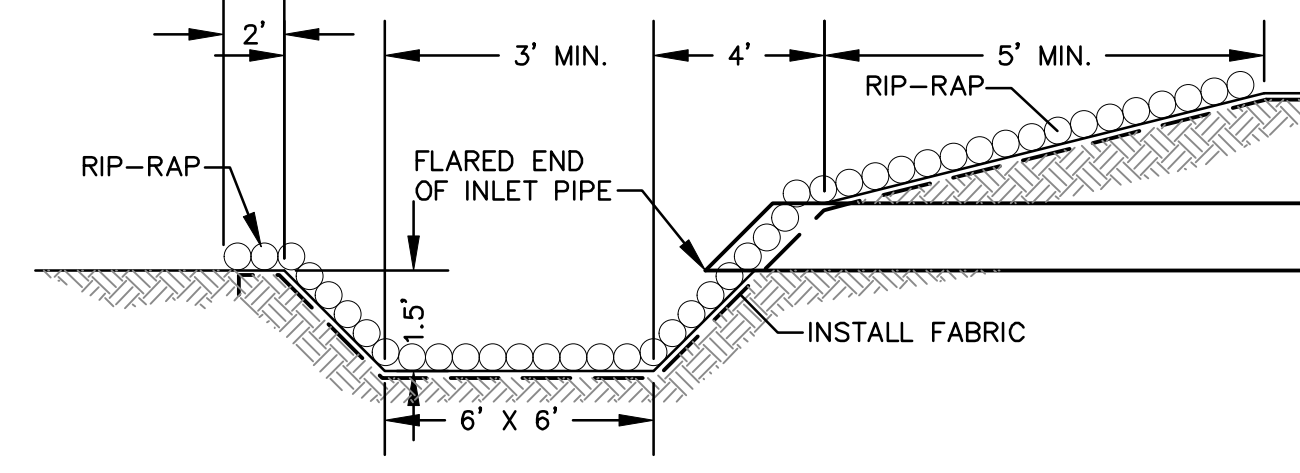
2' DIA. CATCH BASIN DETAIL

NOT TO SCALE



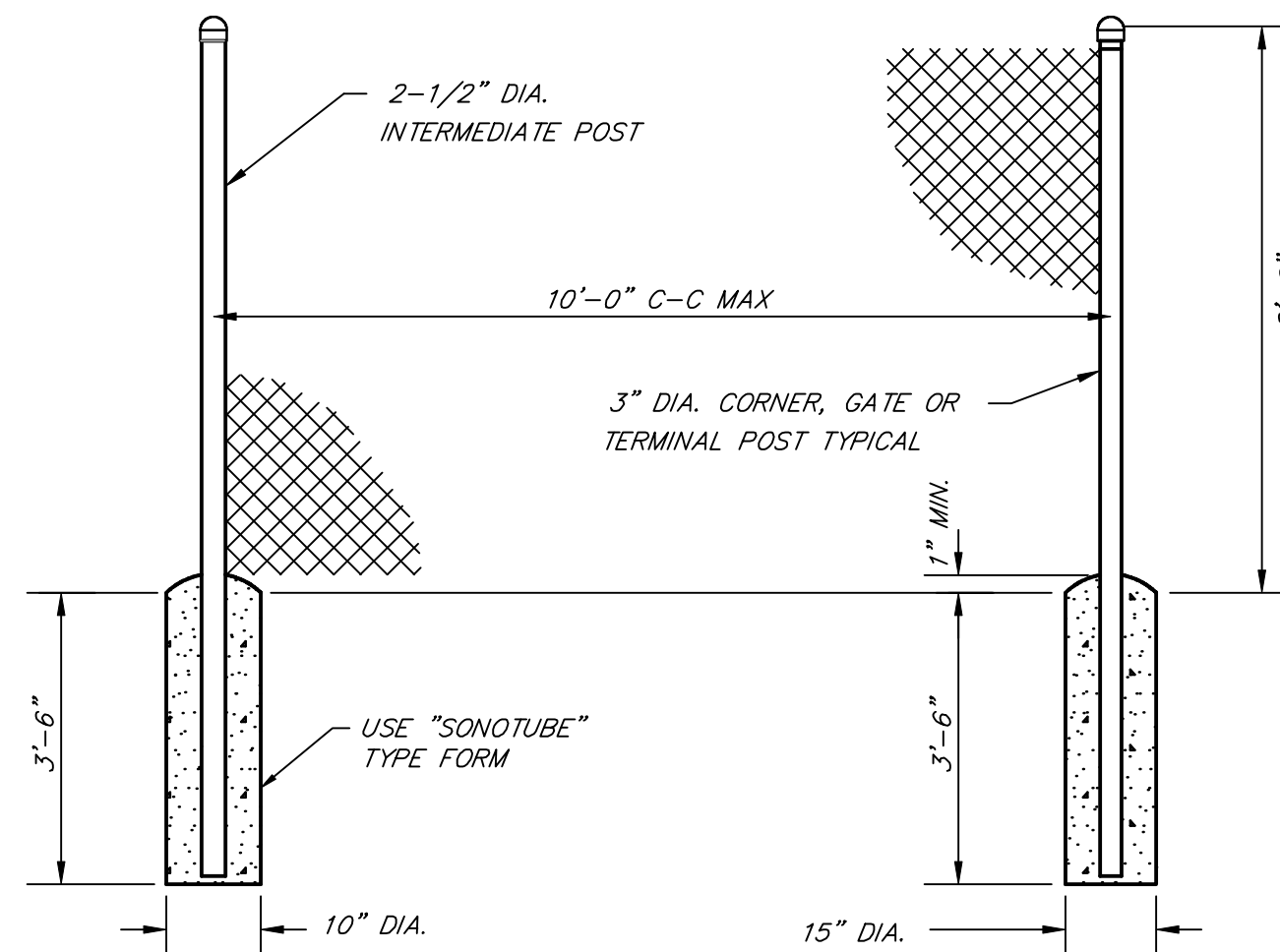
CONCRETE DRIVEWAY OPENING - DETAIL M

NOT TO SCALE



RIP-RAP SEDIMENT TRAP DETAIL

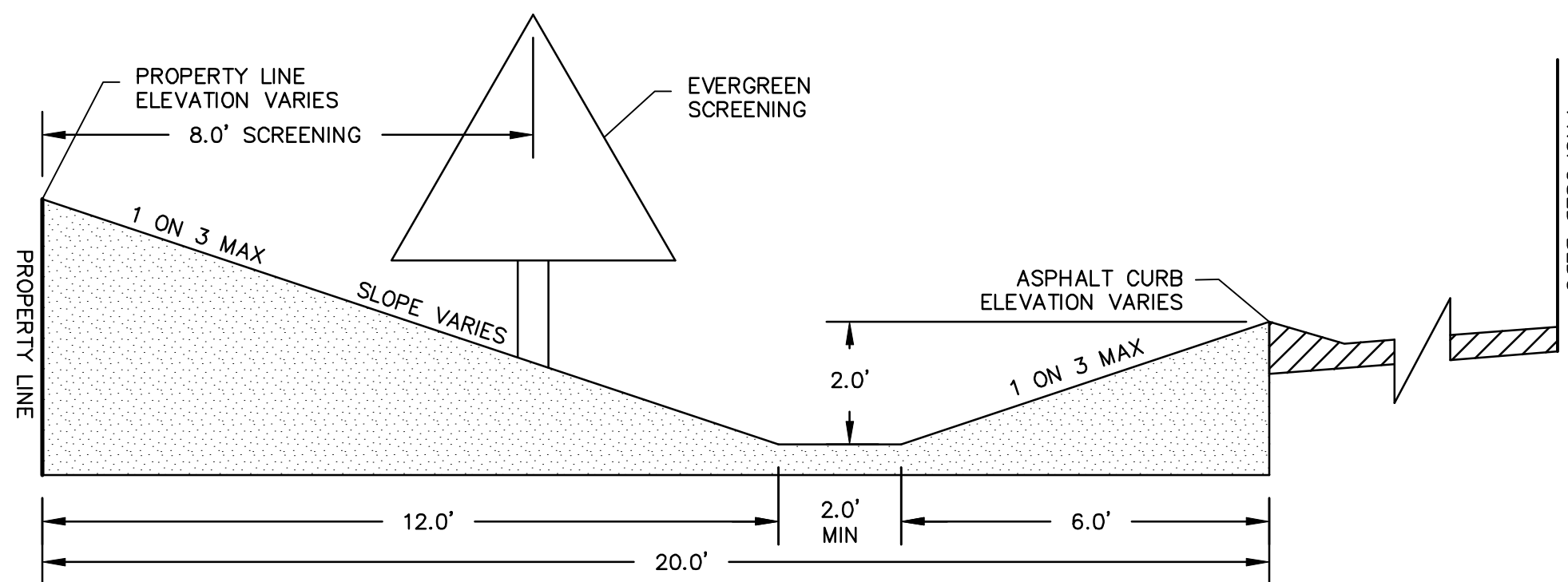
NOT TO SCALE



TYPICAL FENCE CROSS-SECTION

NOT TO SCALE

NOTE: SOUTH INVERT OF CB#1 IS A 15" RCP. FLARED END SECTION AT DITCH LINE SHOWS A 12"X24" OVAL. CONTRACTOR IS TO DETERMINE WHERE ALONG THE LENGTH OF THE PIPE THE CHANGE IN PIPE SIZE AND CONSTRUCTION OCCURS.



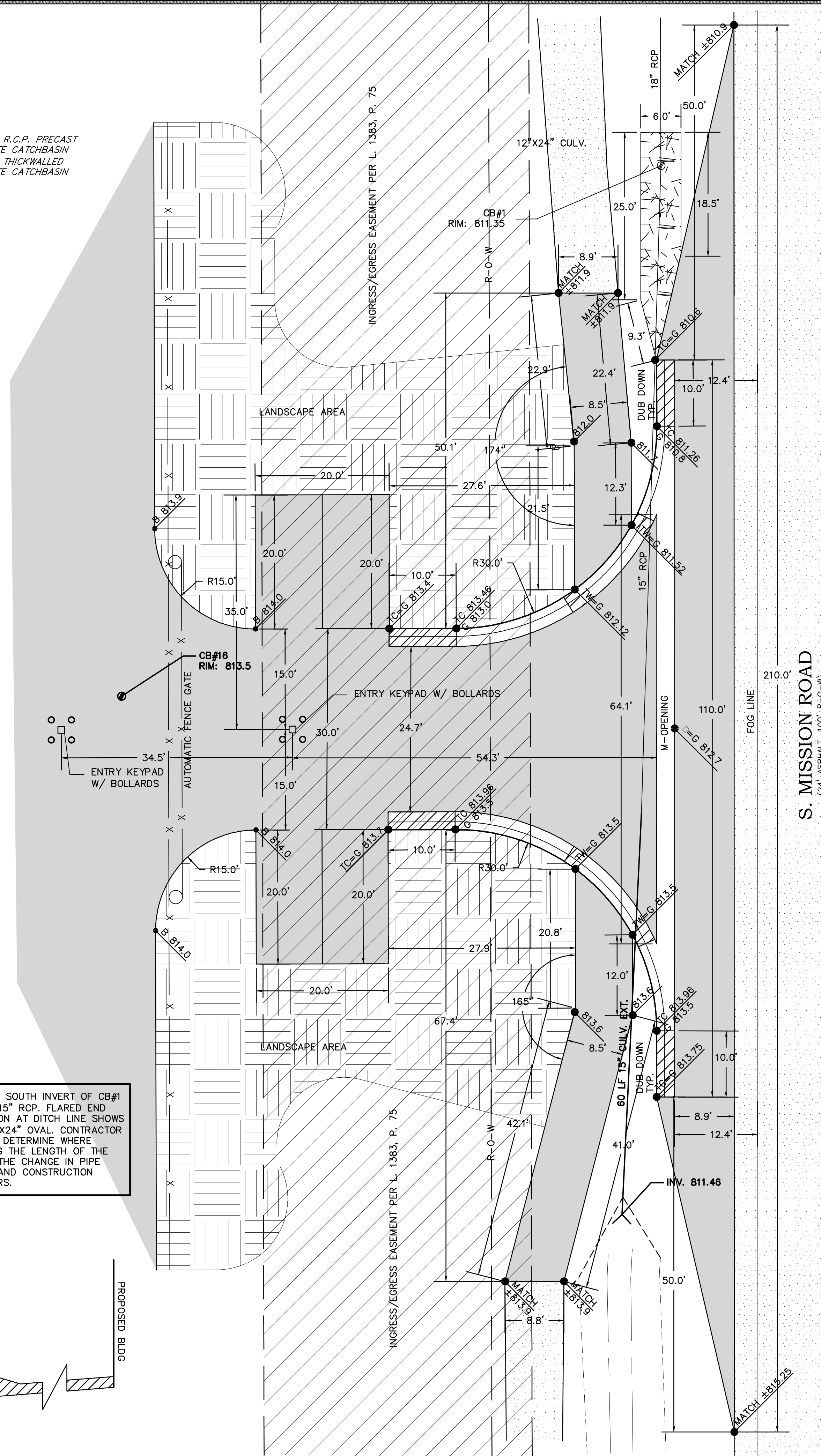
DIVERSION FLOW CHANNEL CROSS-SECTION DETAIL

NOT TO SCALE

STANDARD MANHOLE BUILT OVER EXISTING SEWER

N.T.S.

NOTE: MANHOLE RISERS AND CONES SHALL MEET THE REQUIREMENT OF A.S.T.M. SPEC.-C-478. LENGTH OF EACH RISER SHALL BE A MULTIPLE OF 16" LENGTH OF CONE SHALL BE 2'-8" MIN. TWO LIFT HOLES WILL BE PERMITTED IN EACH UNIT, AND MUST BE FILLED WITH NON-SHRINK MORTAR AFTER SETTING MANHOLE.



PROPOSED ENTRANCE DETAIL

1" = 10'

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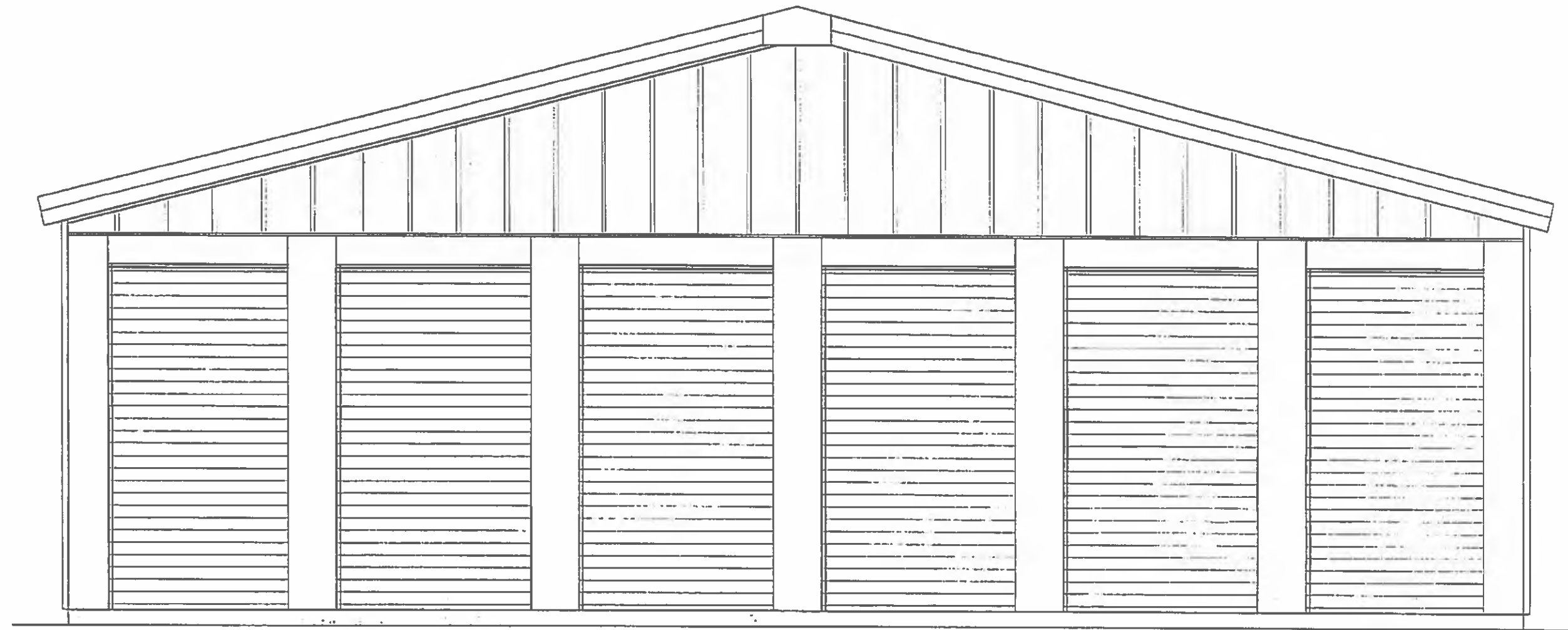
DETAILS SHEET
DARWIN BLANSHAN
PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4,
SECTION 34, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

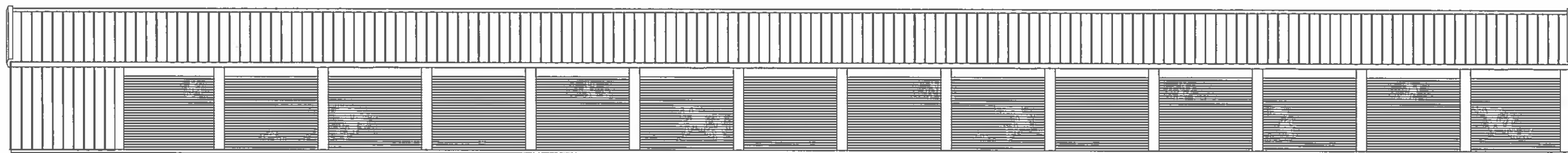
2112-186	2-16-22
CDS	3-25-22
CDS	4-5-22
CDS	4-25-22

JOB NUMBER:	2112-186
DRAWN BY:	CDS
DESIGNED BY:	CDS
CHECKED BY:	TELB

SCALE:	N/A
SHEET NUMBER:	10 OF 10



END WALL ELEVATION



SIDE WALL ELEVATION



FINAL SITE PLAN REPORT

TO:	Planning Commission	DATE:	May 9, 2022
FROM:	Peter Gallinat, Zoning Administrator	ZONING:	B-4, General Business District
PROJECT:	PSPR22-05 Final Site Plan Application for Self-Storage Facilities (Mini-warehouse, Mini-Storage)		
PARCELS:	PID 14-034-20-002-00		
OWNER(S):	Dar Blanshan		
LOCATION:	Approx. 7.27 acres located at 5252 S. Mission Road in the NE 1/4 of Section 34.		
EXISTING USE:	Vacant Land	ADJACENT ZONING:	AG, R-4
FUTURE LAND USE DESIGNATION: <i>Neighborhood Service:</i> Located primarily along corridors adjoining lower intensity land uses, the intent of this district is to limit future retail and focus on small-scale personal service and office uses. This district accommodates shallow lots, providing a good buffer and transition to residential uses and limiting heavy commercial and general retail uses so they can be focused on other areas of the township. Rear yards adjoining residential areas should be well-screened to limit impacts of higher intensity uses. These areas should be accessible and comfortable for the pedestrian and should create a sense of place along the roadway.			
ACTION REQUESTED: To review the PSPR 22-05 final site plan dated 4/25/2022 for the proposed Self-Storage facility located at 5252 S. Mission Road in the NE 1/4 of Section 34 and in the B4 (General Business) District.			

Site Plan Approval Process

Per Section 14.2.C. of the Zoning Ordinance, both preliminary site plan approval and final site plan approval are required for this project. Planning Commission approval of a final site plan *“constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met”* (Section 14.2.L.).

Final Site Plan Review Comments

The following comments are based on the standards for final site plan approval and specific elements of the proposed site plan:

1. **Construction Timing.** The final site plan includes some “phasing” notes in places. This is not development phasing as the Zoning Ordinance would regulate, but rather reflects the developer’s intentions to construct the individual self-storage buildings over a period of time based on demand for the units. All landscaping, screening, fencing, and related site improvements will be constructed as part of the initial development activity. **CONFORMS**

2. **Special Use Permit Standards.** The final site plan is fully consistent with the approved special use permit for a Self-Storage facility on this site. **CONFORMS**
3. **Section 14.2.P. (Required Site Plan Information).** The site plan conforms to the minimum Section 14.2.P. information requirements for a final site plan. Parking calculations, elevations, and hours of operation have been added as required. **CONFORMS**
4. **Section 8 (Environmental Performance Standards).** The applicant has submitted a completed Hazardous Substances Reporting form and EGLE Permit checklist form. **CONFORMS**
5. **Section 7.14 (Trash Removal and Collection).** No dumpster or enclosure is onsite. An on-site dumpster is not required for this project. **CONFORMS**
6. **Section 7.10 (Sidewalks and Pathways).** There is an existing pathway along S. Mission Rd. No additional sidewalk improvements are required for this project. **CONFORMS**
7. **Section 8.2 (Exterior Lighting)** The proposed exterior lighting shown on sheet 7 fully conforms with Zoning Ordinance standards. **CONFORMS**
8. **Section 9 (Parking, Loading, and Access Management).** The four (4) spaces proposed at the front of the development will be constructed as part of the initial development activity. The additional required parking will be added per the approved final site plan as individual self-storage buildings are constructed. The formula conforms with the required 0.1 space per storage unit for a total of 39 spaces when fully developed. **CONFORMS**
9. **Section 6.38 (Self Storage Buildings).** The final site plan and building elevation details conform to applicable requirements of roof design, ingress/egress, screening, dimensions, and hard surfacing. Outdoor recreational vehicle storage is not proposed, nor is any other outdoor storage. **CONFORMS**
10. **Outside agency approvals.** The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval. Approvals have been obtained from the Mt. Pleasant Fire Department, Isabella County Road Commission, Isabella County Transportation Commission, and Storm Water approval from the Isabella County Drain office. No other agency reviews are necessary for this project. **CONFORMS**

Objective

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

Key Findings

1. The application as presented conforms to the minimum requirements of Section 14.2.P. information requirements for a final site plan.
2. The proposed use and site plan are fully consistent with the approved special use permit.
3. The final site plan fully conforms to the Section 14.2.S. standards for final site plan approval, and is ready for Planning Commission review and action.

Recommendations

Based on the above findings, I would recommend that the Planning Commission approve the PSPR 22-05 final site plan dated 4/25/2022 for the proposed Self-Storage facility located at 5252 S. Mission Road in the NE 1/4 of Section 34 and in the B4 (General Business) District, as presented.

Please contact me at (989) 772-4600 ext. 241, or via email pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat – Zoning Administrator

Community and Economic Development Department

**Draft Motions: PSPR 22-05 Self-Storage Facility, 5252 S. Mission Road
Final Site Plan Review Application**

MOTION TO APPROVE:

Motion by _____, supported by _____, to approve the PSPR 22-05 final site plan for a proposed self-storage facility at 5252 South Mission Road in the northeast quarter of Section 34 and in the B-4 (General Business) District, finding that the site plan dated April 25, 2022 fully complies with applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval).

MOTION TO APPROVE WITH CONDITIONS:

Motion by _____, supported by _____, to approve the PSPR 22-05 final site plan for a proposed self-storage facility at 5252 South Mission Road in the northeast quarter of Section 34 and in the B-4 (General Business) District, finding that the site plan dated April 25, 2022 can comply with applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s):

MOTION TO POSTPONE ACTION:

Motion by _____, supported by _____, to postpone action on the PSPR 22-05 final site plan for a proposed self-storage facility at 5252 South Mission Road until _____, 2021 for the following reasons:

MOTION TO DENY:

Motion by _____, supported by _____, to deny the PSPR 22-05 final site plan for a proposed self-storage facility at 5252 South Mission Road in the northeast quarter of Section 34 and in the B-4 (General Business) District, finding that the site plan dated April 25, 2022 does not comply with applicable Zoning Ordinance requirements, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:

TO:	Planning Commission	DATE:	May 10, 2022
FROM:	Rodney C. Nanney, AICP, Community and Economic Development Director		
SUBJECT:	Lincoln Reception Center – follow up discussion		

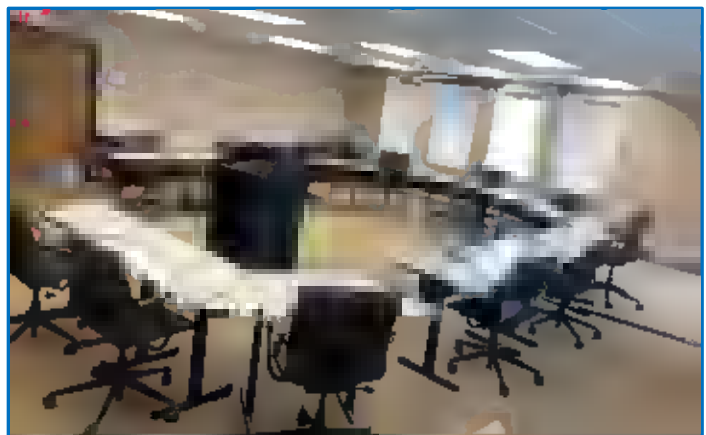
Background Information

To accommodate concerns about social distancing for in-person meetings, the Planning Commission has been meeting in the Lincoln Reception Center (2300 S. Lincoln Rd.) since the temporary Open Meetings Act authorization for electronic meetings ended in December. The Township's rental agreement for this meeting space was set up for a temporary period, and is currently scheduled to conclude with our 6/21/2022 meeting date.

The following options are available for Planning Commission meetings beginning in July:

- A. Extend our agreement with the Lincoln Reception Center for another 90 days.** Subject to availability, the Township's meeting room rental agreement can be extended to allow the Commission to continue Lincoln Reception Center meetings for July, August, and September. We would then re-evaluate circumstances again during our August regular meeting.
- B. Return to meeting in the Twp. Hall Board Room.** As part of resetting the Board Room meeting space after the recent election, Clerk Lisa Cody requested an adjustment to expand the U-shaped seating arrangement somewhat to provide for more space between board and commission members. For Planning Commission meetings, staff would continue to use separate table space (in the foreground of the picture), with the nine (9) Board table seats reserved for commissioners.

The seven-member Board of Trustees has been meeting in the Board Room since July of last year. The nine-member EDA Board, which has also been meeting in the Lincoln Reception Center, made a decision last month to return to meeting in the Township Hall Board Room beginning with their July meeting.



Please plan to take action during your May regular meeting to provide direction to staff related to your meeting location preference beginning in July. At either location, masks will be available to any members or visitors that would like one, but are not currently required to be worn. Please contact me at (989) 772-4600 ext. 232 or via email at rnannay@uniontownshipmi.com with any questions.

Respectfully submitted,

Rodney C. Nanney, AICP

Community and Economic Development Director