



**Planning Commission
Regular Meeting
February 21, 2017
7:00p.m.**

1. CALL MEETING TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

4. APPROVAL OF MINUTES

- 1-17-2017 Regular Planning Commission Meeting
- 2-07-2017 Special Planning Commission Meeting

5. CORRESPONDENCE / BOARD REPORTS

6. APPROVAL OF AGENDA

7. PUBLIC COMMENT: Restricted to (3) minutes regarding issues not on this agenda

8. PUBLIC HEARINGS

- SUP 2017-02 Self Storage Buildings 2420 E. Broomfield Rd.
Owner McGuirk Mini Storage INC.

9. NEW BUSINESS

- A. SPR 2017-01 Taco Bell 5760 E. Pickard Rd. *Action: Review and Approve*
- B. SUP 2017-01 Self Storage Buildings 2420 E. Broomfield Rd. Owner McGuirk Mini Storage INC. *Action: Recommendation to Township Board of Trustees*
- C. Proposed PC Bylaws. *Action: Review and Adopt*
- D. Nomination/Election of Vice Chair. *Action: Nominate and Elect*

10. OTHER BUISINESS

- A. Township Lighting Ordinance. *Action: Review and Discuss*

11. EXTENDED PUBLIC COMMENT: Restricted to 5 minutes regarding any issue

12. FINAL BOARD COMMENT

13. ADJOURNMENT

CHARTER TOWNSHIP OF UNION
Planning Commission
Regular Meeting

A regular meeting of the Charter Township of Union Planning Commission was held on January 17, 2017 at the Township Hall.

Meeting was called to order at 7:00 p.m.

Roll Call

Present: Fuller, LaBelle, McGuirk Mielke, Robinette, Squattrito, Strachan, & Zerbe

Excused: Woerle

Others Present

Peter Gallinat and Jennifer Loveberry

Approval of Minutes

Robinette moved **Mielke** supported the approval of the December 20, 2016 meeting minutes as presented. **Vote: Ayes: 8 Nays: 0. Motion carried.**

Correspondence / Reports

Approval of Agenda

LaBelle moved **Strachan** supported approval of the agenda as presented. **Vote: Ayes: 8 Nays 0. Motion carried.**

Public Comment – Open 7:09 p.m.

No comments.

New Business

A. Election of Planning Commission Officers

Fuller moved **Zerbe** supported to name Squattrito as Planning Commission **Chair** for 2017. **Vote: Ayes: 8 Nays 0. Motion carried.**

Robinette moved **Mielke** supported to name Fuller as Planning Commission **Secretary** for 2017. **Vote: Ayes: 8 Nays 0. Motion carried.**

Robinette moved **Fuller** supported to name McGuirk as Planning Commission **Vice Chair** for 2017. **Vote: Ayes: 8 Nays 0. Motion carried.**

Mielke moved **LaBelle** supported to name Zerbe as Planning Commission **Vice Secretary** for 2017. **Vote: Ayes: 8 Nays 0. Motion carried.**

B. Proposed Planning Commission By Laws

Discussion was held by the Planning Commissioners.

Old Business

Other Business

Extended Public Comment –open 8:12 p.m.

Margie Henry, 3155 S. Meridian – Thanked the Planning Commissioners for their service. Also spoke about her duties, as past Township Clerk, swearing in all Boards and Commissioners.

Brandon LaBelle, 1835 Chadwick Ct. - Thanked the Planning Commission for the time he spent serving with them.

Minde Lux, 1240 Buckingham Place- Questions regarding Board Appointments.

Erik Robinette 5100 Bridle Ln- Commented on Board Appointments.

Rick McGuirk, 4175 E. Bluegrass Rd. - Thanked the Planning Commission for the time he served with them, commenting on his 11 years service on the Planning Commission.

Adjournment – Chairman Squattrito adjourned the meeting at 8:28 p.m.

APPROVED BY:

Alex Fuller - Secretary

(Recorded by Jennifer Loveberry)

CHARTER TOWNSHIP OF UNION
Planning Commission
Special Meeting

A Special meeting of the Charter Township of Union Planning Commission was held on February 07, 2017 at 7:00 p.m. at Union Township Hall.

Meeting was called to order at 7:00 p.m.

Roll Call

Chair Squattrito, Secretary Fuller, Vice Sec Zerbe, Trustee Rep Woerle, Strachan, Robinette, Mielke were present. Vice Chair McGuirk and Labelle were excused absent.

Others Present

Two Planner Peter Gallinat, LSL Planners Kathleen Duffy and Josh Penn

Correspondence/Board Reports

Woerle updated the Planning Commission on Township Board of Trustee actions since the last Planning Commission Meeting. **Mielke** updated the Planning Commission on ZBA decisions at the most recent Zoning Board of Appeals meeting. **Squattrito** announced available upcoming trainings offered to members of the Planning Commission from the Michigan Association of Planning.

Approval of the Agenda

Woerle moved Zerbe supported to approve the agenda as presented Ayes: all. Motion carried

Public Comment

Open at 7:13pm

Eric Robinette 5100 Bridle Ln inquired on the process of Planning Commission Appointments
Bryan Mielke 3791 GreenAcres commented on the Planning Commission appointment process
Norm Woerle 5685 Carriage Ln commented on the Planning Commission appointment process

Closed 7:18pm

New Business

A. Future Land Use Map Discussion with LSL

Kathleen Duffy and Josh Penn presented a PowerPoint led discussion regarding the Future Land Use Map for the Charter Township of Union.

Old Business

None

EXTENDED PUBLIC COMMENT

None given

ADJOURNMENT

Chair Squattrito adjourned the meeting at 9:00 p.m.

APPROVED BY:

Alex Fuller, Secretary

(Recorded by Peter Gallinat)

Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	Norm	Woerle	11/20/2020
2-Chair	Phil	Squattrito	2/15/2020
3-Secretary	Alex	Fuller	2/15/2020
4	Ryan	Buckley	2/15/2019
5-Vice Secretary	John	Zerbe	2/15/2018
6	Denise	Webster	2/15/2020
7	Erik	Robinette	2/15/2018
8	Dwayne	Strachan	2/15/2018
9	Bryan	Mielke	2/15/2018
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1-Chair	Tim	Warner	12/31/2019
2-PC Rep / Vice Chair	Bryan	Mielke	2/18/2018
3-Vice Secretary	Jake	Hunter	12/31/2019
4-Secretary	Mike	Darin	12/31/2019
5	Paul	Gross	12/31/2018
Alt. #1	Andy	Theisen	12/31/2019
Alt. #2	Taylor	Sheahan-Stahl	2/15/2018
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1-Chair	Ronald	Mclvor	12/31/2018
2	James	Thering	12/31/2018
3	Brian	Neyer	12/31/2018
Alt #1	Mary Beth	Orr	1/25/2019
Citizens Task Force on Sustainability (4 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Laura	Coffee	12/31/2018
2	Mike	Lyon	12/31/2018
3	Jay	Kahn	12/31/2018
4	Phil	Mikus	11/20/2020
Construction Board of Appeals (3 Members) 2 year term			
1	Colin	Herron	12/31/2017
2	Richard	Klumpp	12/31/2017
3	Andy	Theisen	12/31/2017
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2018
2	John	Dinse	12/31/2017
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2019



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Fax 989-773-1988

02/16/17

TO: Planning Commission
FROM: Township Planner

New Business

SUBJECT: A) SPR 2017-01 Taco Bell 5760 E PICKARD RD

Applicant: WT Development Corp. for JROD, LLC.

Owner: SSP Associates INC

Location: 5672 E. PICKARD RD. MT PLEASANT, MI 48858

Current Zoning: B-7 Retail and Service Highway Business District.

Adjacent Zoning: B-7 to the north across the road, SCIT to the east, B-7 to the west, SCIT to the south.

Future Land Use/Intent: Commercial: Shopping, office and professional services with mixed residential uses.

Current Use: Vacant B-7 Zoned Property

Reason for Request: Applicant request to construct a Taco Bell fast food restaurant with drive through and pole barn accessory building

History: Over the course of the last 6 months applicant has worked with the Township and other outside agencies in preparation for tonight's review and possible approval. Applicant has demonstrated proof of ownership as claimed on the application. Please note that the applicant and owner are not the same. I have received review approvals from the Isabella County Drain Commission, Isabella County Transportation Commission, The Mt. Pleasant Fire Department, Township Utilities, and MDOT. The use of a restaurant with a drive through is a permitted use under section 25.2 in a B-7 District. The accessory building comports with Section 8.1 and 8.2 for accessory buildings and uses.

Objective of board: Approve or deny the Site Plan as presented. If approved, all conditions must be listed. If denied, reasons for denial must be listed.

Recommend at this time approval of SPR 2017-01

- The proposed site plan comports with requirements of Section 12
- The proposed site plan comports with additional standards set forth in Sections 8, 24.4, and 25 of the Zoning Ordinance

SUBJECT: B) SUP 2017-01 Self Storage Buildings 2420 E. BROOMFIELD RD

Applicant: CMS&D Surveying and Engineering

Owner: McGuirk Mini Storage INC

Location: 2420 E. BROOMFIELD RD. MT PLEASANT, MI 48858

Current Zoning: B-4 General Business District

Adjacent Zoning: B-4 to the north across the road, B-4/R-1 to the east, B-4/R-1 to the west, R-1 to the south.

Future Land Use/Intent: Commercial: Shopping, office and professional services with mixed residential uses.

Current Use: Office and Indoor Commercial Recreation

Reason for Request: Applicant request to construct several buildings for the purpose of operating a self storage facility.

History: A site plan for this property was approved by our planning commission in March of 2016. The plan was for Commercial buildings with no specified use yet identified. The Plan also included 2 existing Commercial buildings. One building for Office use and the other for Indoor Commercial Recreation. The property was granted a 60' variance from the Zoning Board of Appeals for setback requirements stated in Section 22.2.H.

Objective of board: Within reasonable time following the public hearing, the Planning Commission shall review the application for the special use permit, testimony received at the public hearing, and other materials submitted in relation to the request and make a recommendation to the Township Board. When making your recommendation to approve or deny the application it should be in accord with Sections 30.3. Other standards from Section 12, 22, and 30.4 should be considered when making the recommendation.

Recommend at this time a recommendation of approval to the Township Board of Trustees SUP 2017-01 with the following conditions:

- A site plan in accordance with Section 12, 22, and 30 of the Zoning Ordinance is approved by the Twp Planning Commission along with any additional conditions at the time site plan is considered.
- The Special Use comports with Section 30 of the Zoning Ordinance
- As part of section 30.2.D the applicant demonstrates prior to Township Board of Trustees approval that all conditions of SPR 2016-03 have been satisfied.

SUBJECT: C) Proposed Planning Commission Bylaws

History: At our January 2017 meeting we review and made corrections to Bylaws that were proposed back in 2009. I have noted the changes and corrections we made at that meeting.

Objective of board: To adopt Planning Commission Bylaws as proposed or with further changes as deemed necessary.

Recommend adoption of Proposed Bylaws

- Adoption of bylaws is required under Charter Township of Union Ordinance 2011-01 and the Michigan Planning Enabling Act. Act 33 of 2008.

SUBJECT: A) Nomination/Election of Vice Chair

Reason for Request: Since the election of our officers in January 2017 it has come to my attention that the elected Vice Chair is no longer a member of the Planning Commission

History: In the past the Planning Commission has operated with a Vice Chair. The Vice Chair runs the meeting in the absence of the Chair.

Objective of board: Elect a Vice chairperson to serve for a one (1) year term in the year 2017.

Recommend electing a Vice Chair for a one (1) year term in 2017.

- Identifies who shall serve as the Chairperson in 2017 for both the board and the public
- Identifies who shall serve in the absence of the Chairperson without needing to vote a temporary successor during the meeting.

Other Business

SUBJECT: A) Township Lighting Ordinance

Reason for Request: There is the need to either add standards for outdoor lighting in Zoning Districts where there is currently none or, to add an outdoor lighting ordinance that addresses all Zoning Districts.

History: In 2002 the Township Planning Commission began work on an Outdoor lighting amendment Ordinance to be added in Section 8 of the Zoning Ordinance. In the last year the Planning Commission has discussed at a number of meetings outdoor lighting in the township. During this time the board entertained a presentation from Roger Hammer, a Twp resident who helped draft the current Isabella County Outdoor lighting Ordinance. In the last year it came to the board's attention that there was no record of the Township adopting the proposed 2002 Lighting Ordinance.

Following this discovery the Planning Commission again set forth to draft a lighting Ordinance. The Planning Commission reviewed the proposed 2002 Township Planning Commission Outdoor lighting Ordinance, Isabella County Lighting Ordinance and the City of Mt. Pleasant lighting Ordinance. The Commission sought input from Township staff, outside staff and the Township Legal team but was unable to reach a consensus of how the Ordinance would read.

Objective of board: Consider the proposed rough draft of the lighting Ordinance. Decide whether to add standards for outdoor lighting where it does not exist in the Zoning Ordinance or create a new singular outdoor lighting Ordinance. Decide whether to take out or leave in any existing language on outdoor lighting currently in the zoning ordinance

Recommend a singular outdoor lighting Ordinance which fits all Districts but is still specific to certain Districts and Uses. Leave current existing language on outdoor lighting in the Zoning Ordinance where it is found. Make sure the language is not counterproductive with the new singular outdoor lighting Ordinance.

- A singular outdoor lighting Ordinance in Section 8 would assist the Township staff, Boards and outside developers in identifying the Township's outdoor lighting standards.
- A singular outdoor lighting Ordinance would ensure that any Zoning District or Use has a basic standard when it comes to outdoor lighting that everyone would have to adhere to.
- Recognizing that there is no one size fits all type of approach when it comes to lighting in any district for any use this lighting ordinance would be both sensitive and reasonable in outdoor lighting needs.

Peter Gallinat
Twp Planner

Union Township Site Plan Review Application 2015 Revision

FILL OUT THE FOLLOWING

- I. This application is for (circle one) Preliminary Site Plan Review Final Site Plan Review
- II. Applicant Name WT Development Corp. for JROD, LLC
- III. Applicant Address 10223 E. Cherry Bend Road, Suite A, Traverse City, MI 49684
- IV. Applicant Phone 231-922-9250 Owner Phone 989-799-5700
- V. Applicant is (circle) Contractor Architect/Engineer Developer Land Owner (skip V& VI)
Other
- VI. Land Owner Name SSP Associates, Inc.
- VII. Land Owner Address 1100 S. Washington Ave., Suite 3, Saginaw, MI 48601
- VIII. Project/Business Name Taco Bell
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area. For the first three items, check off if you have made the required submittals to other reviewing agencies.

SUBMITTALS TO OTHER AGENCIES		Off
Storm water management plan approval prior to application. Reviewed by the County Engineer	<input checked="" type="checkbox"/>	Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional.
All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.	<input checked="" type="checkbox"/>	MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies.
Mt. Pleasant Fire Dept.	<input checked="" type="checkbox"/>	Sgt Randy Keeler (989) 779-5122, (2) copies
Isabella Co Transportation Commission (ICTC)	<input checked="" type="checkbox"/>	Rick (989) 773 2913, (2) copies
WELLHEAD PROTECTION REPORTING FORMS (Required for all Site Plans)		
Hazardous Substances Reporting Form Part I and II (Forms included in this packet)		Kim Smith (989) 772-4600 ext 224 ksmith@uniontownshipmi.com
PERMIT INFORMATION - DEQ Check List		
SITE PLAN REQUIREMENTS	I Of	Comments - (also indicate any features which will not be included in the development or are not applicable)
Name and addresses of Property Owner	<input checked="" type="checkbox"/>	
Name and Address of Applicant	<input checked="" type="checkbox"/>	
Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)	<input checked="" type="checkbox"/>	Construction type is VB.

Union Township Site Plan Review Application 2015 Revision

The date, north arrow and scale. The scale shall be not less than 1"= 20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.	X	
All lot and/or property lines are to be shown and dimensioned, including building setback lines	X	
The location and dimensions of all existing and proposed: fire hydrants (within 400 feet of building) - - -	X	N/A
drives, -----	X	
sidewalks, (required) -----	X	
curb openings, -----	X	
acceleration/deceleration lanes, -----		
signs, -----	X	
exterior lighting on buildings and parking lots, - -	X	
parking areas (Including handicapped parking spaces, barrier-free building access, unloading areas), -----	X	
recreation areas, -----		
common use areas, -----		
areas to be conveyed for public use and purpose. -	X	N/A Cross Access to adjacent parcels
Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation	X	
Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.	X	Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department
All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)	X	
The location and right-of-way width of all abutting roads, streets, alleys and easements.	X	
A locational sketch drawn to scale giving the section number and the nearest crossroads.	X	

Union Township Site Plan Review Application 2015 Revision

The zoning of the subject property and the abutting properties.	X	
The location, height and type of fences and walls.		N/A
The location and detailed description of landscaping.	X	
For multiple family and mobile home parks, contour intervals shall be shown (two foot intervals for average slopes ten percent and under and five foot intervals for slopes over ten percent). Topography, however, is encouraged to be shown on all site plans.		N/A
The location of all existing and proposed structures on and within one hundred feet of the subject property's boundary.	X	
For apartments, provide a count of bedrooms per building and total count of bedrooms for the project.		N/A

APPLICANT COMMENTS

[illegible]

Union Township Site Plan Review Application 2015 Revision

I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission . False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.

Rick Beckett
Signature of Applicant

2/3/2017
Date

[Signature]
Signature of Owner (if other than applicant)

1/31/17
Date

PLEASE PLACE OUR REVIEW ON THE 2/21/2017 (INSERT DATE)
PLANNING COMMISSION MEETING. An owners representative WILL / WILL NOT attend. You
will not receive a reminder of the scheduled meeting.

Union Township Site Plan Review Application 2015 Revision

I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.

Seil Beckett
Signature of Applicant

2/3/2017
Date

John M. Meehan
Signature of Owner (if other than applicant)

1/30/17
Date

PLEASE PLACE OUR REVIEW ON THE 2/21/2017 (INSERT DATE)
PLANNING COMMISSION MEETING. An owners representative WILL / WILL NOT attend. You
will not receive a reminder of the scheduled meeting.

Union Township Site Plan Review Application 2015 Revision

<u>Township use</u>	<u>Review Comments</u>
File # <u>2017-01</u>	
Fee Paid initial <u>\$225 yes</u>	
Receipt # <u>79522</u>	
Date received <u>2-6-17</u>	
Date review completed by Zoning Administrator <u>1-30-17</u>	
Place on the <u>2-21-17</u> Planning Commission Agenda	
Planning Commission Decision _____	

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: Taco Bell

Name of business owner(s): JROD, LLC

Street and mailing address: 7870 Knapp Road, Houghton Lake, MI 48629


Telephone: 989-422-3534

Fax: _____

Email: rwalker@northlandinv.com

I affirm that the information submitted is accurate.

Owner(s) signature and date:


Rodney Walker 1/27/17

Information compiled by:

WT Development Corp.



Part 1: Management of Hazardous Substances and Polluting Materials

1. Y ☒ N Will the proposed facility store, use or generate hazardous substances or polluting materials (including petroleum-based products) now or in the future? If yes, please complete this form and submit with your site plan. A catalogue and map of natural resources on and near the site, including an assessment of groundwater vulnerability is required to be submitted with your plan.
2. Y N ~~Will the facility be used for storage of hazardous substances or polluting materials on-site?~~
3. Y ☒ N — Will any hazardous substances or polluting materials be stored on-site? If yes, identify the storage location on the site plan. Describe the size and type of secondary containment structure here or on an attached page. Submit a map and/or diagram of facilities on the site related to groundwater protection, including secondary containment structures, loading/unloading areas, drinking water wells, septic systems, underground storage tanks and storm drain inlets.
4. Y ☒ N Will the new underground storage tanks be located less than 2000 feet from a drinking water well serving more than a single household?
5. Y N N/A Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving more than a single household?
- If the answer to questions 4 or 5 are yes, you may be in violation of the State of Michigan underground storage tank regulations . For specific requirements, please contact the MDEQ Underground Storage Tank Division. District Office Telephone: 989-894-6200 (Saginaw Bay District Office)
6. Y ☒ N — — Will the interior of the facility have general purpose floor drains? (general purpose floor drains should not be connected to a sanitary sewer system, stormwater drainage system, dry well or septic system). If yes, will the floor drain connect to: (circle one)
- a. on-site holding tank
b. on-site system
- The on-site system must be approved by the MDEQ.
Contact: MDEQ Waste Management Division.
District Office telephone: 989-894-6200 (Saginaw Bay District Office)
7. Y ☒ N Will hazardous substances or polluting materials be stored, used, or handled out-of doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities which will be used (use an attached sheet with diagram if appropriate).

cc: Charter Township of Union Department of Public Works

Part II: Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on-site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

Common Name	CHEMICAL NAME (components)	Form	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
Generally readily available over the counter restaurant cleaning supplies in limited quantities				
	See attached SSDS sheets.			
	KEY: LIQ. = liquid P.LIQ = pressurized liquid S = solids G = gas PG = pressurized gas			KEY: AGT = above ground tank DM = drums UGT = underground tank Cy = cylinders CM = metal cylinders OW = wooden or composition container TP = portable tank



PERMIT INFORMATION

www.michigan.gov/deqpermits

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what DEQ permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: <http://www.michigan.gov/ehsguide>. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the DEQ programs noted below.

KEY QUESTIONS:	Yes <input type="checkbox"/>	No <input type="checkbox"/>	PROGRAM WEBPAGE AND CONTACTS
MISCELLANEOUS CONSTRUCTION			
<i>Air Quality Permit to Install:</i> Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Air Quality Division (AQD), Permit Section
<i>Asbestos Notification:</i> Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, Asbestos Program
<i>Land and Water Featured Programs (Water Resources Division) - USACE Consolidated Permits:</i> Please consult the Land and Water Management Decision Tree document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?).	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Water Resources Division (WRD), Joint Permit Application
<i>Soil Erosion and Sedimentation Control:</i> Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction)?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	Soil Erosion and Construction Storm Water , or Contact your Local Agency
<i>NPDES Storm Water Discharge from Construction Sites Notice of Coverage:</i> Does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	NPDES Storm Water Permits Program , or appropriate DEQ District Office
<i>Public Swimming Pool Construction (Spas/Hot Tubs) Permits:</i> Will your business involve the construction or modification of a public swimming pool, spa or hot tub?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Public Swimming Pool Program , or appropriate DEQ District Office
<i>Threatened and Endangered Species:</i> Does the project involve activities that would destroy a protected species of plant or animal or disturb a protected animal species?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Endangered Species Assessment, Threatened and Endangered Species Program , 517-373-1552
Does the project involve construction or alteration of any sewage collection or treatment facility?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Appropriate District Office , WRD, Part 41 Construction Permit Program
Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Waste Management and Radiological Protection (OWMRP), Solid Waste , Appropriate DEQ District Office
Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Hazardous Waste Section, Treatment, Storage and Disposal
WATER SUPPLY (More information, see: http://www.michigan.gov/deqwater, select "drinking water")			
I am buying water from my community water supply (i.e. city of Detroit or Grand Rapids)	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	Contact your Local Water Utility
I have a private or other water supply well (Type III)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact your (District or County) Local Health Department
I have a Non-Community Water Supply (Type II)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Guide , Contact your (District or County) Local Health Department
I am a community water supply (Type I)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Community Water Supply , DEQ District Office Community Water Supply Program

WASTEWATER MANAGEMENT			
Storm Water Discharge to Wetlands: Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Great Lakes: Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Inland Lakes and Streams: Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes: Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year floodplain of a watercourse?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Sand Dune Management</u>
Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Dam Safety Program</u>
CONSTRUCTION PERMITS (SECTOR SPECIFIC)			
Does the project involve the construction or alteration of a water supply system or sewage disposal system for a manufactured housing project?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Drinking Water & Municipal Assistance (ODWMA)
Does the project involve a subdivision or site condominium project utilizing individual on-site subsurface disposal systems or individual wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA
Does the project involve the construction or modification of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds program</u>
Does the project involve the construction or modification of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Swimming pools program</u>
OPERATIONAL PERMITS			
Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Permit Section</u>
NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u>
Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Permits Section</u> , or appropriate <u>DEQ District Office</u>
Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Groundwater Permits Program</u>
Does the project involve the drilling or deepening of wells for waste disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Oil, Gas and Minerals (OOGM)
Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>OWMRP</u> or Appropriate <u>DEQ District Office</u>

Does the project involve the on-site treatment, storage, or disposal of hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous and Liquid Waste</u>
Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (<u>Web Site</u>)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Appropriate <u>DEQ District Office</u>
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Material and Standards Unit</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP <u>Radioactive Material and Standards Unit</u>
Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, DWEHS, <u>Source Water Protection Unit</u>
CHEMICAL ADDITION PROJECTS			
Are you using chemicals or materials in, or in contact with, drinking water at any point in the water works system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office</u> , <u>Public Water Supply Program</u>
Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (5.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Aquatic Nuisance Control</u> and Remedial Action Unit
Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Surface Water Assessment Section</u>
OPERATIONAL PERMITS (SECTOR SPECIFIC)			
Does the project involve the transport of some other facility's non-hazardous liquid waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does the project involve the transport hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Acid Rain Permit Program</u>
Is the project a dry cleaning establishment utilizing perchloroethylene or a flammable solvent in the cleaning process?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, AQD, <u>Dry Cleaning Program</u>
Does your laboratory test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, <u>Laboratory Services Certifications</u>
Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Medical Waste Regulatory Program</u>
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Septage Program</u>
Do you store, haul, shred or process scrap tires?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Scrap Tire Program</u>
Does the project involve the operation of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Public Swimming Pools Program</u>
Does the project involve the operation of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds</u>
Do you engage in the business of hauling bulk water for drinking or household purposes (except for your own household use)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Water Hauler Information</u>
PERSONAL LICENSES/CERTIFICATIONS			
Are you designated by your facility to be the Certified Operator to fulfill the requirements of a wastewater discharge permit (NPDES including Storm	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Operator Training, Storm Water Program</u>

Water or Groundwater)?		
Are you a drinking water operator in charge of a water treatment or water distribution system, back-up operator, or shift operator?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Operator Training</u>
Are you a water-well drilling contractor, pump installer, dewatering well contractor or dewatering well pump installer?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Well Construction Unit</u>
OIL, GAS AND MINERALS		
Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Petroleum Geology and Production Unit</u>
Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u>
Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve mining coal?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Do you want to change the status of an oil or gas well (i.e. plug the well)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve drilling of oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve plugging or deepening of an oil or gas well, or conveying rights in the well as an owner to another person?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Protection Programs</u>
STORAGE TANKS (CONSTRUCTION AND OPERATION)		
Does the project involve the installation of an aboveground storage tank for a flammable or combustible liquid (under 200 degrees Fahrenheit)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Michigan Department of Licensing and Regulatory Affairs (DLARA) - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a compressed natural gas dispensing station with storage?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a liquefied petroleum gas container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation, removal, or upgrade of an underground storage tank containing a petroleum product or a hazardous substance?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a hydrogen system?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>

Steven W. Pickard
Treasurer of Isabella County

ST

200700007060
SSP ASSOCIATES INC
SUITE 43H
3875 BAY ROAD
SAGINAW MI 48603

WARRANTY DEED

KNOW MEN BY THESE PRESENTS: That Grantor, Prodo, Inc. by its president, JOHN A. RAPANOS, of 925 East Wheeler Street, Midland, Michigan 48642, for and in consideration of \$276,912.81, the receipt of which is hereby acknowledged

CONVEYS AND WARRANT(S) to S.S.P. Associates, ^{INC.} of 3875 Bay Road, Saginaw MI 48603, property located in the County of Isabella, State of Michigan, more fully described as follows:

The North 444 feet of the East 1/2 of the East 10 acres of the Northwest 1/4 of the Northeast 1/4 of Section 13, T14N-R4W, Union Township, Isabella County, Michigan.

tax id # 14-013-20-023-00
5760 E. Pickard, Mt. Pleasant

~~This Deed is exempt from County and State transfer tax under MCL 207.505(5)(a) and under MCL 207.526(6)(a), respectfully. PJ~~

Dated: July 25, 2007

John A. Rapanos
Prodo, Inc.
JOHN A. RAPANOS, President

STATE OF MICHIGAN)
)ss
COUNTY OF MIDLAND)

On July 25, 2007, before me a NOTARY PUBLIC, in and for Midland County, personally appeared Prodo, Inc., by its president, John A. Rapanos, to me known to be the same person described in and who executed the within instrument, and who acknowledged the same to be his free act and deed.



MICHIGAN REAL ESTATE TRANSFER TAX
DEPT OF TAXATION \$ 2382.20
ISABELLA COUNTY, MI
200700007060 26 JUL 2007 \$ 304.70 C
00025669 \$ 2077.50 S

Julie A. Buckey
Julie A. Buckey, Notary Public
Midland County, Michigan
My commission expires: 12/29/2012

PREPARED BY:
Prodo, Inc. John A. Rapanos
925 East Wheeler Street
Midland, Michigan 48642
(989) 839-0541

WHEN RECORDED RETURN TO AND SEND SUBSEQUENT TAX BILLS TO:

S.S.P. Associates, Inc.,
3875 Bay Road
Saginaw MI 48603

AGREEMENT OF PURCHASE AND SALE – VACANT LAND

THIS AGREEMENT OF PURCHASE AND SALE (the "Agreement") is made and entered into this 20 day of July, 2016 (the "Effective Date"), by and between **SSP ASSOCIATES, INC.**, a Michigan corporation ("Seller"), and **JROD LLC**, a Michigan limited liability company, or its nominee, or assigns ("Purchaser").

1. **SALE.** In consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration in hand paid, the receipt and sufficiency of which are hereby acknowledged, Seller agrees to sell and convey to Purchaser, and Purchaser agrees to purchase from Seller, for the purchase price set forth below and on the terms and conditions set forth in this Agreement that certain real property approximately 1.71 acres which is located at 5760 East Pickard, Mount Pleasant, Michigan and legally described on Exhibit A attached hereto and made a part hereof (the "Land"), together with all rights, easements and interests appurtenant thereto and also any rights in all streets, alleys or other public ways adjacent to the Land and any water or mineral rights owned by, or leased to, Seller. The Land, together with all rights and appurtenances thereto are collectively referred to herein as the "Premises."

2. **PURCHASE PRICE.** The total purchase price to be paid to Seller by Purchaser for the Premises shall be (the "Purchase Price"). Provided that all conditions precedent to Purchaser's obligations to close as set forth in this Agreement ("Conditions Precedent") have been satisfied and fulfilled or waived, in writing, by Purchaser, the Purchase Price shall be paid to Seller at Closing (as defined in Section 3 below), plus or minus prorations and other adjustments required under this Agreement.

3. **CLOSING.** The purchase and sale transaction contemplated in this Agreement shall be consummated at closing ("Closing") to take place at the office of Seaver Title Company (the "Title Company") on the date ("Closing Date") which is the earlier of: (i) thirty (30) days from the expiration of the Approvals Period (as defined in, and as may be extended in accordance with, Section 6 below); or (ii) thirty (30) days after the date that Purchaser has notified Seller, in writing, that Purchaser elects to close.

4. **EARNEST MONEY.** Within ten (10) business days after the Effective Date, Purchaser shall deposit into escrow with the Title Company, an earnest money deposit ("Earnest Money"), in the amount of Ten Thousand and No/100 Dollars (\$10,000.00). The Earnest Money shall be held and disbursed in accordance with the Title Company's standard form of joint order escrow trust instructions. At Purchaser's election, the Earnest Money shall be deposited into an interest bearing account, with all interest accrued thereon being payable to the Purchaser. At Closing, the Earnest Money shall be applied to the Purchase Price.

5. **DOCUMENTS TO BE DELIVERED BY SELLER.** On or before the date which is five (5) days after the Effective Date, Seller shall deliver to Purchaser, to the extent not previously delivered, true, accurate and correct copies of the documentation set forth on Exhibit B attached hereto (collectively, the "Property Information").

6. DUE DILIGENCE AND APPROVALS.

(a) **Due Diligence Period.** From and after the Effective Date and continuing through the

IN WITNESS WHEREOF, the Seller and Purchaser have executed this Agreement as of the Effective Date.

SELLER:

SSP ASSOCIATES, INC.,
a Michigan corporation

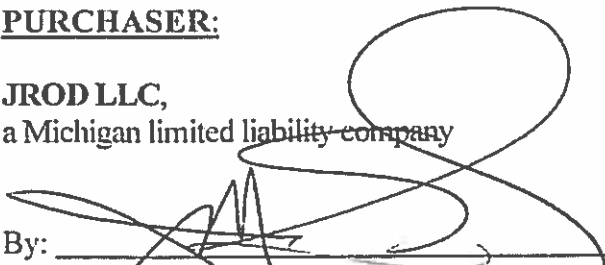
By:  _____

Name: Peter Shelton

Its: vice president

PURCHASER:

JROD LLC,
a Michigan limited liability company

By:  _____

Name: J.M. Sunka

Its: PARTNER

JROD, INC.
PO BOX 250
HOUGHTON LAKE, MI 48629

December 9, 2016, 2016

Government Authority

RE 5760 E. Pickard Road, Mt. Pleasant, Michigan
WT Development Representative of Owner

To Whom It May Concern:

I formally authorize WT Development Corporation to submit any and all plan reviews and permit applications and discussions on our behalf as they relate to our future fast food restaurant at the above referenced location.

Thank you for your assistance in this matter.

Sincerely,


Jim Sutika
Owner

Sam **B**er **E**ngineering

Bruce Rohrer P.E.
6465 S. Leaton
Shepherd, Michigan 48883
(989) 330-2150

January 10, 2017

Peter Gallinat
Union Township Planner
2010 S. Lincoln Road
Mt. Pleasant, MI 48858

RE: Storm Water Management Plan for Taco Bell Restaurant

Dear Mr. Gallinat:

I have reviewed the Storm Water Management Plan prepared by John W. Urbain, WT Development Corporation for the captioned project located in part of the NE1/4 of NW1/4 section 13, Union Township at 5760 E Pickard Rd. The proposed plan is consistent with the Union Township Storm Water Ordinance.

If you have any questions or need any further information, please feel free to contact me in my office.

Sincerely,



Bruce E. Rohrer, P.E.
Consulting Engineer
Isabella County

BER/cs

cc: John W. Urbain
WT Development Corp

Bill Beckett

Subject: FW: Application Ref. Number: 43654
Attachments: 2484.pdf

From: Burrows, Ben (MDOT) [<mailto:Burrowsb@michigan.gov>]
Sent: Tuesday, January 24, 2017 5:57 PM
To: Bill Beckett; WTDCORP
Cc: Loynes, Michael (MDOT); Wegener, Brandon (MDOT)
Subject: RE: Application Ref. Number: 43654

This site plan will be acceptable to MDOT as long as it is acceptable to Union Township as they have a access management plan in place for this location. We appreciate your efforts to try and share access with the neighbors.

Before we can issue your permit we will need a \$25,000.00 performance bond and electronic insurance from your contractor's surety. MDOT-ePerformanceBondCOI@michigan.gov

We will also need form 2484 completed for storm water which I have attached.

The drive width should be 39' with an entering radius of 20' and an exiting radius of 15'

I have placed the application on hold in the CPS system. Please attach updated plans as well as form 2484 and press resubmit so it comes back to me.

Please let me know if you need anything.

Ben Burrows
Permits and Materials
Mt. Pleasant TSC
989-775-6104 ext 305



Mount Pleasant Fire Department
804 E. High Street
Mount Pleasant, MI 48858

Union Township Site Plan Review

Monday December 19, 2016

Vacant Lot

5760 E Pickard RD
Mt. Pleasant, MI 48858

A Site Plan Review was conducted on Monday December 19, 2016 and revealed the following requirements listed below.

ORDER TO COMPLY: Since these conditions are contrary to code, you must correct them upon receipt of this notice. Please provide our department the documentation that verifies compliance with the code.

This list shall not be considered all-inclusive, as other requirements may be necessary, additional requirements are located in Chapter 5 and appendixes B, C, and D of the 2012 Edition of the International Fire Code.

If you have any questions regarding this matter, please feel free to contact me at (989) 779-5122.

Violation Code

1 PROPERTY Identification

Taco Bell (New Construction)
5760 E. Pickard
Mt. Pleasant, MI 48858

Date Submitted: December 8th, 2016
Site Number: 31223

Building Construction Type - VB
Pole Barn - 2400 square feet
Restaurant - 2760 square feet

ACCESS AND WATER Road and Water Supply

When fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternative methods of protection are provided. Temporary street signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles in accordance with Section 505.2 of the 2012 Edition of the International Fire Code.

Union Township Site Plan Review

ACCESS ROAD 150 FT Buildings within 150ft of Access Road

All portions of a building are required to be within 150 feet of an approved Fire Department access road, in accordance with Chapter 5, Section 503.1.1 of the 2012 Edition of the International Fire Code.

Site plan meets requirements.

ACCESS ROAD LOAD Designed and Maintained to Support the

All fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities in accordance with Chapter 5, Sections 503.2.3 and 503.4 of the 2012 Edition of the International Fire Code.

ACCESS ROAD OBSTRUCTED Dimensions and Clearances

All fire apparatus access roads, including parking lots, shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches in accordance with Chapter 5, Sections 503.2.1, 503.2.2, 503.3 and 503.4 of the 2012 Edition of the International Fire Code. Fire Prevention Ordinance 93.02(D)

Site plan meets requirements.

BUILDING IDENTIFICATION Buildings Shall Have Address

Provide address identification numbers in accordance with Chapter 5, Sections 505.1 of the 2012 Edition of the International Fire Code or applicable to the City of Mt. Pleasant code of ordinances 150.01 Land Usage.

Will verify during inspections.

DUMPSTERS Dumpster Locations

Dumpster's and containers with an individual capacity of 1.5 cubic yards or more shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines in accordance with Chapter 3, Section 304, and 304.3.3 of the 2012 Edition of the International Fire Code.

Site plan meets requirements.

KNOX BOX Knox Box Requirements and Location

Provide a Knox Key entry device and install it in approved location by the Fire Code Official, as in accordance with Chapter 5, Section 506.1, 506.1.1 and 506.2 of the 2012 Edition of the International Fire Code. (Go to Knoxbox.com and search by fire department or zip code - select "Mt. Pleasant Fire Department" and place order for the type of Knox box desired.)

Union Township Site Plan Review

WATER SUPPLY (GPM) Capable of Supplying the Required Fire

Provide fire hydrants capable of supplying the required fire flow in accordance with Chapter 5, Section 507 of the 2012 Edition of the International Fire Code. The number and spacing of fire hydrants is based on the construction type and square footage of the building in accordance with Appendix B and C and tables B105.1 and C105.1 of the 2012 Edition of the International Fire Code. (Contact Fire Department to verify locations.)

VB Construction 0-3600 square feet 1500 gpm - one hydrant required for fire protection.

Site plan meets requirements.

HYDRANT DISTANCE Hydrant maximum distance from buildings

Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exceptions: 1. For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet (183 m). 2. For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet (183 m).

The proposed pole barn does not meet the maximum distance of 400' from a hydrant. The connecting driveway to the adjacent property and the hydrant located on the adjacent property may be utilized to satisfy the 400' requirement. An easement would be required for private fire hydrant access from adjacent properties.

Keeler, Randy
Lieutenant
Mount Pleasant Fire Department

Bill Beckett

From: Rick Collins
Sent: Wednesday, January 4, 2017 9:53 AM
To: 'bbeckett@wtdevelopment.com'
Cc: 'Peter Gallinat'
Subject: Taco Bell site plan

I have reviewed site plans for Taco Bell on Pickard and have no issues with the plans.



Rick Collins | Executive Director
2100 E. Transportation Dr | Mt. Pleasant, MI 48858
Phone 989.773.6766 | Fax 989.773.1873
rcollins@ictcbus.com
Visit our website at ictcbus.com



2010 South Lincoln Road
Mt. Pleasant, MI 48858

Phone (989) 772 4800 ext. 224
Fax (989) 773 1988
E Mail ksmith@uniontownshipmi.com

February 2, 2017

Mr. Bill Beckett, President
WT Development Corporation
10223 E Cherry Bend Rd., Ste. A
Traverse City, MI 49684

RE: Proposed Taco Bell - Site Plan
5760 E Pickard

Dear Mr. Beckett:

The Charter Township of Union Public Works Department received the proposed site plan for the Taco Bell located at 5760 E. Pickard on January 30, 2017. The site plan has been reviewed for general water and sewer layout on the parcel only. Water and sewer construction approvals will be required once the site plan has been approved and full water and sewer plans, profiles, details, and specifications have been submitted for review.

We have the following comments on the site plan:

Water:

Water is available to this parcel

General water site plan layout approved as submitted

Fire suppression and possible hydrant placement requirements must be approved by the City of Mt. Pleasant Fire Department/Union Township Building Official. Copy of these approvals must be submitted to Public Works Department with proposed construction plans.

Sewer:

Sanitary sewer is available to this parcel

Project will have access to one existing lead on parcel. Due to high volume of sanitary sewer flow on Pickard Road if additional lead is required developer will be required to make connection into an existing manhole located on 8" sanitary sewer located within parcel right-of-way of Pickard Road if one is available.

Cleanouts required every 75' on sanitary sewer leads

Upon approval of site plan please forward six sets of sealed water and sewer plans and profiles in accordance with Charter Township of Union Design requirements for final construction review and approval. Our design requirements can be found on our website at www.uniontownshipmi.com/departments/utilities.

If you have any questions please call 989-772-4600 ext 224.

Sincerely,



Kim Smith
Public Works Coordinator

CC: Peter Gallinat – Township Planner
Ken Labelle – Township Building Official



Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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SITE UTILITY NOTES

THESE PLANS AND SPECIFICATIONS ARE SUBJECT TO MODIFICATION DURING CONSTRUCTION WHEN CONDITIONS DEVELOP THAT WERE NOT APPARENT DURING THE DESIGN AND PREPARATION OF THESE PLANS. ALL MODIFICATIONS MUST BE APPROVED BY LOCAL JURISDICTION PRIOR TO CONSTRUCTION AND/OR IMPLEMENTATION.

BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATION TO THESE PLANS OR OF ANY FIELD CONFLICTS.

IN THE EVENT OF ANY DISCREPANCY BETWEEN ANY DRAWING AND THE FIGURES WRITTEN THEREON, THE FIGURES SHALL BE TAKEN AS CORRECT.

SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.

CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

CONTRACTOR SHALL OBTAIN ENCROACHMENT PERMITS PRIOR TO COMMENCING CONSTRUCTION INVOLVING RIGHT-OF-WAYS, AND FOR THE CONSTRUCTION, MODIFICATION, OR CONNECTION TO FACILITIES. ALL WORKMANSHIP, EQUIPMENT AND MATERIALS SHALL CONFORM TO LOCAL JURISDICTION STANDARDS AND SPECIFICATIONS.

TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL JURISDICTION.

THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAG MEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY.

WHERE SOIL OR GEOLOGIC CONDITIONS ENCOUNTERED IN GRADING OPERATIONS ARE DIFFERENT FROM THOSE ANTICIPATED IN THE SOIL AND GEOLOGICAL INVESTIGATION REPORT, OR WHERE CONDITIONS WARRANT CHANGES TO THE RECOMMENDATIONS CONTAINED THEREIN, A REVISED SOIL OR GEOLOGIC REPORT SHALL BE SUBMITTED FOR APPROVAL AND SHALL BE ACCOMPANIED BY AN ENGINEER'S OPINION AS TO THE SAFETY OF THE SITE FROM THE POSSIBILITY OF LAND SLIPPAGE, SETTLEMENT AND SEISMIC ACTIVITY.

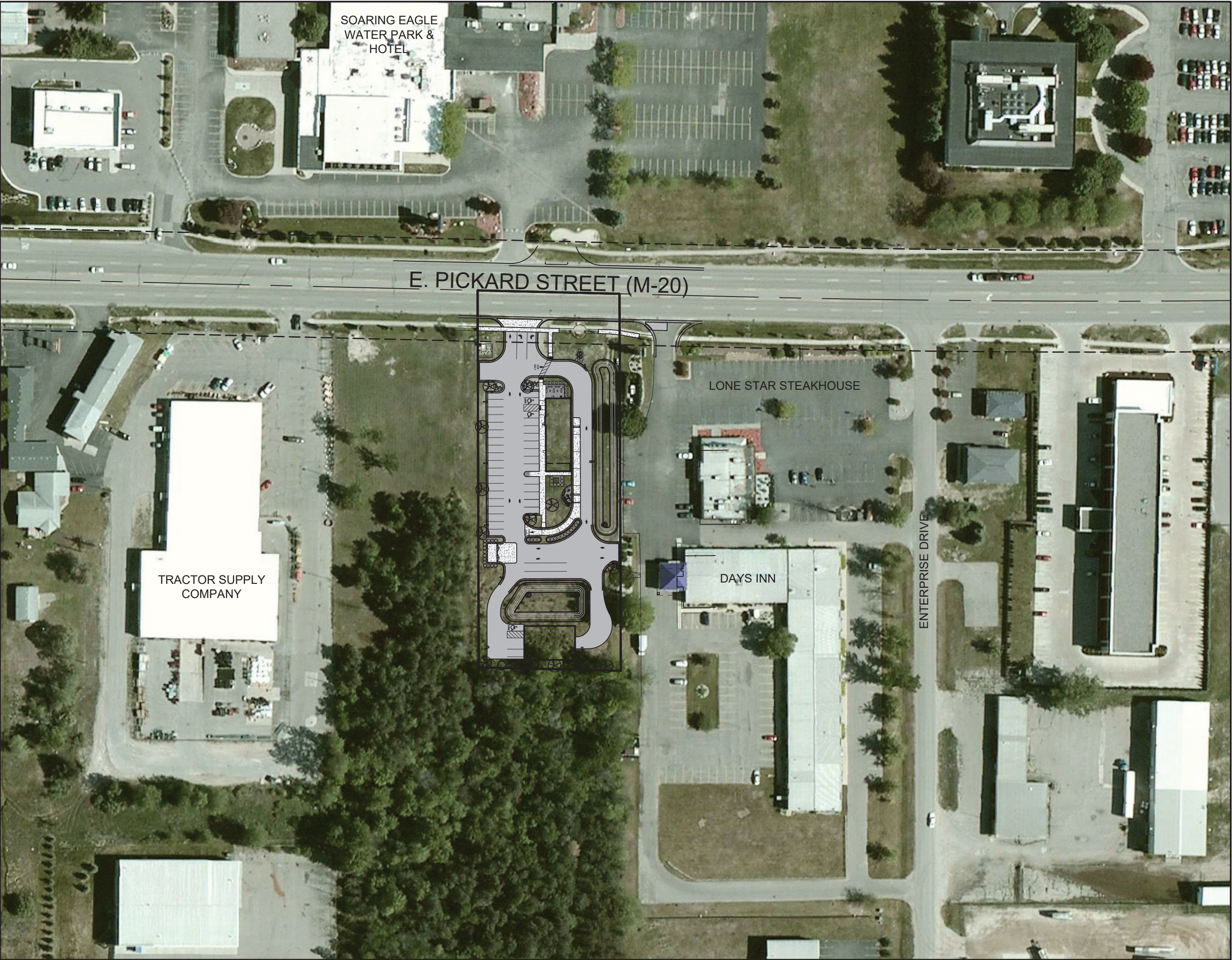
A PRECONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE DEVELOPER, SERVICES PERSONNEL AND THE DEVELOPER'S CONTRACTOR. A PRECONSTRUCTION MEETING SHALL TAKE PLACE PRIOR TO THE STARTING OF ANY CONSTRUCTION ON THE SITE.

GENERAL SITE NOTES

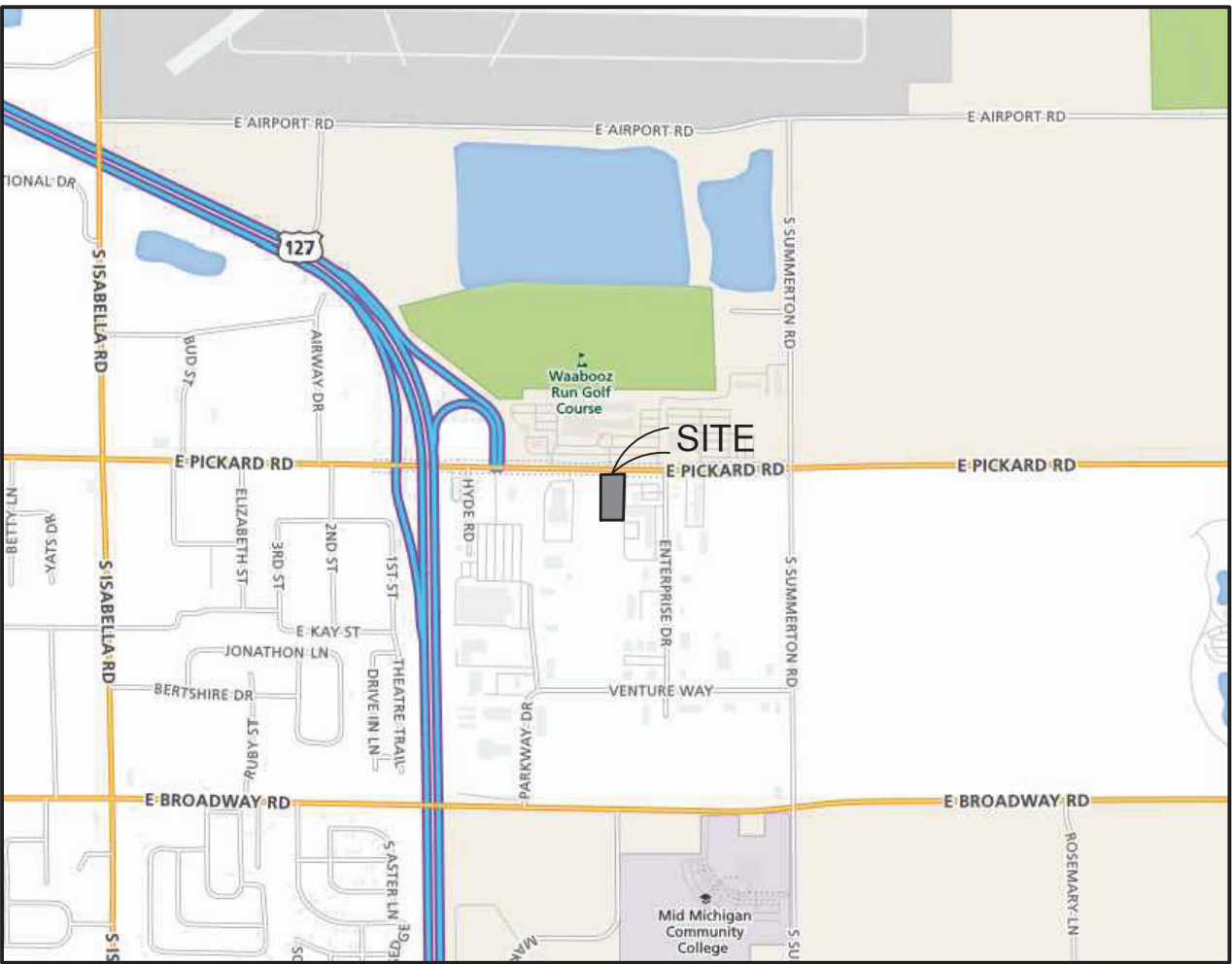


TACO BELL

SECTION 13, TOWN 14 NORTH, RANGE 4 WEST,
TOWNSHIP OF UNION
ISABELLA COUNTY, MICHIGAN



SITE SKETCH 1" = 100'



LOCATION MAP N.T.S.

SANITARY SEWER / WATER

UNION CHARTER TOWNSHIP
2010 S. LINCOLN RD.
MT. PLEASANT, MICHIGAN 48858
Contact: KIM SMITH
Phone: (989) 772-4600, EXT. 224

STORM DRAINAGE

UNION CHARTER TOWNSHIP
2010 S. LINCOLN RD.
MT. PLEASANT, MICHIGAN 48858
Contact: BRUCE ROHR
Phone: (989) 772-0911 EXT. 231

PLANNING/ZONING

UNION CHARTER TOWNSHIP
2010 S. LINCOLN RD.
MT. PLEASANT, MICHIGAN 48858
Contact: PETER GALLINAT
Phone: (989) 772-4600, EXT. 241

ELECTRIC

CONSUMERS ENERGY
1325 WRIGHT AVE.
ALMA, MI 48801
Contact: MATTHEW DUNCAN
Phone: (517) 463-1181

NATURAL GAS

CONSUMERS ENERGY
2400 WEISS STREET
SAGINAW, MI 48602
Contact: MARCIA JANSON-WILSON
Phone: (989) 791-5869

ROADS/HIGHWAY

MICHIGAN DEPT. OF TRANSPORTATION
1212 CORPORATE DR.
MT. PLEASANT, MI 48858
Contact: BEN BURROUGHS
Phone: (989) 773-7756

FIRE CODE

CITY OF MT. PLEASANT FIRE DEPARTMENT
804 E. HIGH STREET
MT. PLEASANT, MICHIGAN 48858
Contact: RANDY KEELER
Phone: (989) 779-5122

HEALTH DEPARTMENT

CENTRAL MICHIGAN HEALTH DEPARTMENT
2012 E. PRESTON STREET
MT. PLEASANT, MICHIGAN 48858
Contact: SCOTT JONES
Phone: (989) 773-5921

TELEPHONE

FRONTIER COMMUNICATIONS
345 PINE AVE.
ALMA, MI 48801
Contact: DOUG HOVEY
Phone: (989) 463-5497

EMERGENCIES

POLICE DEPARTMENTS - 911
FIRE DEPARTMENTS - 911
AMBULANCE - 911

AGENCIES

PROPERTY OWNER/APPLICANT

JROD, LLC
7870 KNAPP ROAD
HOUGHTON LAKE, MI 48629

ZONING INFORMATION

PARCEL ID: 61-19-576-012
PARCEL AREA: 1.71 ACRES (74,325 SQ. FT.)
PARCEL ZONING: RETAIL AND SERVICE HIGHWAY BUSINESS (B-7)
PROPOSED USE: RESTAURANT, DRIVE-THRU
PARCEL ADDRESS: 5760 E. PICKARD STREET
MT. PLEASANT, MICHIGAN 48858

LOT COVERAGE: 35% LOT COVERAGE REQUIRED (MAX.)
TACO BELL: 2,722 S.F.
POLE BUILDING: 2,400 S.F.
NET PARCEL AREA: 64,289 S.F.
8% LOT COVERAGE PROPOSED

STRUCTURE SETBACKS

FRONT: 15 FEET
SIDE: 10 FEET
REAR: 10 FEET

PARKING SETBACKS

FRONT: 20 FEET
SIDE: 10 FEET
REAR: 10 FEET

PARKING REQUIREMENTS

PARKING FORMULA:

TACO BELL: ONE (1) SPACE FOR EACH THREE (3) SEATS

TOTAL NO. OF SEATS - 66 SEATS

TOTAL NO. OF PARKING SPACES REQUIRED - 22

NO. OF BARRIER-FREE PARKING SPACES PROVIDED - 2
TOTAL NO. OF PARKING SPACES PROVIDED - 34

DRIVE-THRU STACKING SPACES PROVIDED - 10

MAINTENANCE/STORAGE BUILDING: ONE(1) SPACE FOR EACH EMPLOYEE

NO. OF BARRIER-FREE PARKING SPACES PROVIDED - 1
TOTAL NO. OF PARKING SPACES PROVIDED - 2

PROJECT INFORMATION

THE NORTH 444 FEET OF THE EAST 1/2 OF THE EAST 10 ACRES OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4, SECTION 13, TOWN 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

BOUNDARY DESCRIPTION

SHEET	SHEET TITLE
C	COVER SHEET
C0	ALTA/ACSM LAND TITLE SURVEY
C1.0	DEMOLITION PLAN
C2.0	SOIL EROSION AND SEDIMENTATION CONTROL PLAN
C3.0	SITE PLAN
C3.1	SITE DETAILS
C3.2	SITE DETAILS
C3.3	SITE DETAILS
C4.0	GRADING PLAN
C5.0	UTILITY PLAN
C5.1	UTILITY PROFILES
C5.2	UTILITY DETAILS
L1.0	LANDSCAPE PLAN
I1.0	ILLUMINATION PLAN
A0.1	FLOOR PLAN & ELEVATIONS (TACO BELL)
A0.2	FLOOR PLAN & ELEVATIONS (STORAGE BUILDING)

SHEET INDEX

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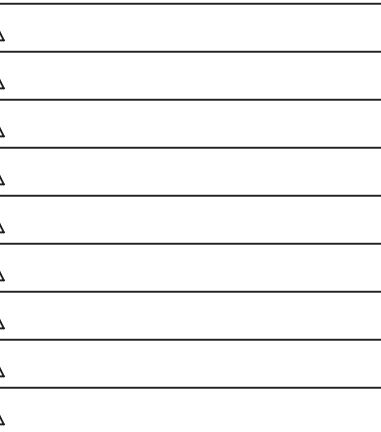


WT
DEVELOPMENT
CORPORATION

WT Development Corporation
10223 E. Cherry Bend Rd., Ste. A
Traverse City, Michigan, 49684

Contact: Bill Beckett, President
Phone: (231) 922-9250
Fax: (231) 922-9257

PROJECT CONSULTANT



CONTRACT DATE: XX.XX.XXXX

BUILDING TYPE: LG66 Explorer Lite

PLAN VERSION: 2016

SITE NUMBER: 312234

ENTITY NUMBER: 442493

TACO BELL

5760 E. PICKARD RD.
MT. PLEASANT, MI



LG66 Exp. Lite

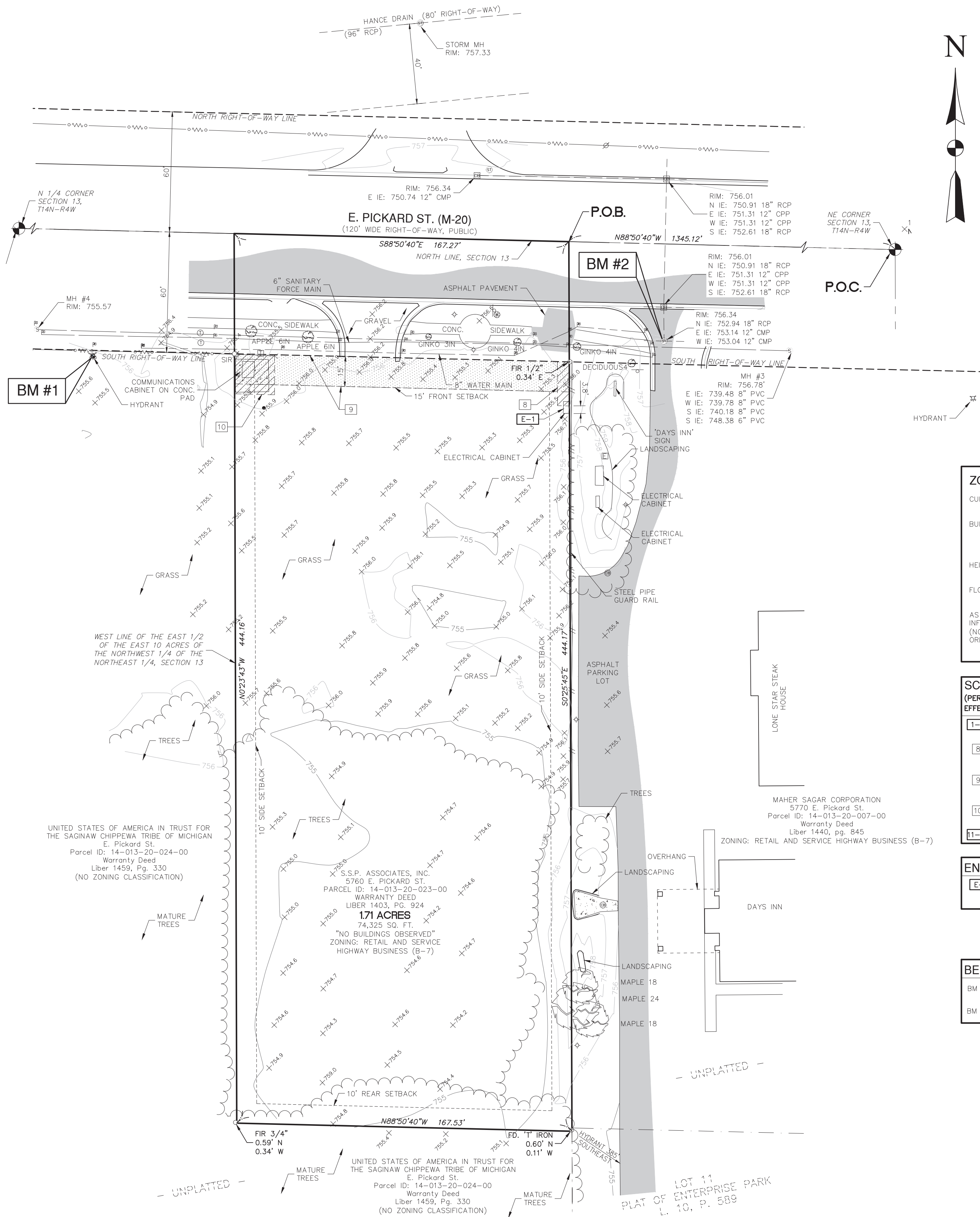
COVER SHEET

C

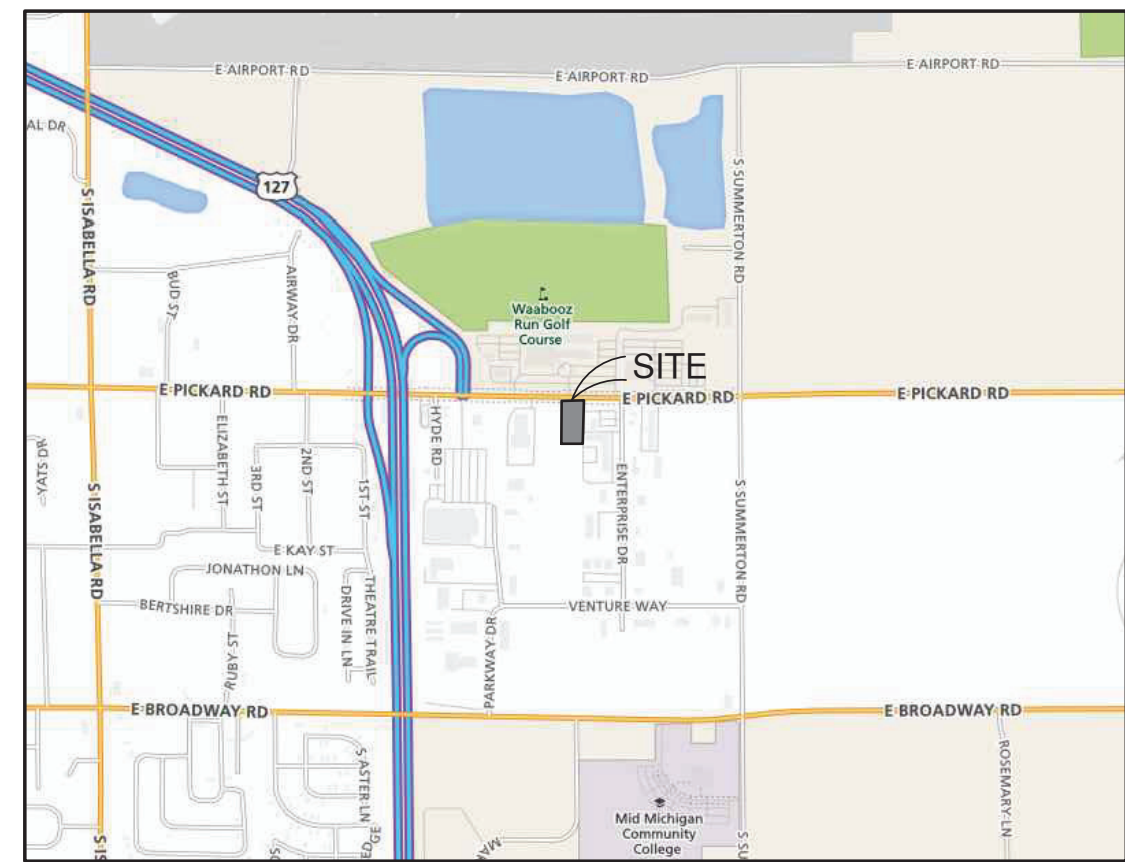
PLOT DATE: 01.13.2017

ALTA/NSPS LAND TITLE SURVEY

IN THE NORTHEAST 1/4 OF SECTION 13, TOWN 14 NORTH, RANGE 04 WEST,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN



LEGEND	
EX. PROPERTY LINE	EX. TRANSFORMER
EX. SECTION LINE	EX. UTILITY POLE
EX. EASEMENT LINE	EX. GUY WIRE
EX. CURB/PAVEMENT	EX. UNDERGROUND TELEPHONE
EX. METAL FENCE	EX. UNDERGROUND WATER
EX. SIGN	EX. UNDERGROUND GAS
EX. LIGHT POLE	EX. CONCRETE
EX. WATER MAIN	EX. ASPHALT
EX. HYDRANT	TITLE EXCEPTION
EX. WATER VALVE	RECORD DISTANCE
EX. SANITARY SEWER	FIELD MEASURED DISTANCE
EX. SANITARY MANHOLE	PARKING SPACE COUNT
EX. STORM INLET/CATCH BASIN	SECTION CORNER
EX. STORM SEWER	FOUND MONUMENTATION AS NOTED
EX. OVERHEAD ELECTRIC	SET 1/2" CAPPED IRON ROD
EX. UNDERGROUND GAS	POINT OF COMMENCEMENT
EX. GAS METER	POINT OF BEGINNING
EX. GAS METER	
EX. UNDERGROUND TELEPHONE	
EX. TELEPHONE RISER	
EX. MAIL BOX	
EX. CABLE PEDESTAL	



DESCRIPTION:
(PER SEAVER TITLE AGENCY COMMITMENT FILE NO. 37-16490931-SCM, WITH AN EFFECTIVE DATE OF AUGUST 5, 2016 AT 8:00 AM)

The North 444 feet of the East 1/2 of the East 10 acres of the Northwest 1/4 of the Northeast 1/4, Section 13, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan.

DESCRIPTION AS SURVEYED:

A parcel of land located in the Northeast One-Quarter of Section 13, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan, being further described as follows:

Commencing at the Northeast corner of said Section 13; thence along the North line of said Section 13 N88°50'40"W 1345.12 feet to East line of the West One-Half of the Northeast One-Quarter of said Section 13 and the **POINT OF BEGINNING**; thence S00°25'45"E 444.17 feet along said East line of the West One-Half of the Northeast One-Quarter; thence N88°50'40"W 167.53 feet, parallel with said North line of Section 13; thence N00°23'43"W 444.16 feet along the West line of the East One-Half of the East 10 acres of the Northwest One-Quarter of the Northeast One-Quarter of said Section 13 to the North line of said Section 13; thence S88°50'40"E 167.27 feet along said North line of Section 13 to the Point of Beginning. Containing 1.71 acres of land, more or less. Being subject to easements and/or restrictions of record, if any.

SURVEYORS NOTES:

- THE BEARING BASIS FOR THE SITE IS MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD83.
- I HEREBY CERTIFY THAT THE PARCEL SHOWN HEREON DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL INSURANCE ADMINISTRATION FOR THE COUNTY OF ISABELLA, STATE OF MICHIGAN, COMMUNITY NUMBER - 260812, MAP NUMBER 26073003300, AN EFFECTIVE DATE OF FEBRUARY 5, 2014. THEREFORE AS NOTED IN SAID DOCUMENT, THE SCALED LOCATION OF THE SUBJECT PROPERTY IS IN ZONE X (UNSHADED), TO THE BEST OF MY KNOWLEDGE AND BELIEF.
- DATE OF SURVEY: AUGUST 24, 2016.
- SOME FEATURES SHOWN ON SURVEY MAY BE OUT OF SCALE FOR CLARITY.
- DIMENSIONS ON THIS SURVEY ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED.
- SQUARE FOOTAGE:
 - EXTERIOR FOOTPRINT OF ALL BUILDINGS AT GROUND LEVEL
 - GROSS FLOOR AREA OF ALL BUILDINGS:
 - N/A - NO BUILDINGS OBSERVED ON SURVEYED PROPERTY AT TIME OF SURVEY.
 - GROSS LAND AREA OF PARCEL: 1.71 ACRES, (74,325 SQUARE FEET).
 - NET LAND AREA OF PARCEL (DOES NOT INCLUDE ROAD RIGHT-OF-WAY): 1.48 ACRES, (64,288 SQUARE FEET).
- PERTAINING TO TABLE A REQUIREMENTS, ITEM 5, THE FOLLOWING INFORMATION WAS USED AT THE TIME OF SURVEY:
 - SOURCE OF INFORMATION - GROUND SURVEY
 - CONTOUR INTERVAL - 1 FOOT
 - DATUM - NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
 - ORIGINATING BENCHMARK - ONLINE POSITIONING USER SERVICE (OPUS)
- AS PERTAINING TO TABLE A REQUIREMENTS, ITEM 9, NO PARKING AREAS WERE FOUND AT THE TIME OF SURVEY.
- AS PERTAINING TO TABLE A REQUIREMENTS, ITEM 10, THERE WAS NO OBSERVABLE EVIDENCE OF DIVISION OR PARTY WALLS AT THE TIME OF SURVEY.
- AS PERTAINING TO TABLE A REQUIREMENTS, ITEM 11, MISS DIG WAS CONTACTED ON AUGUST 17, 2016. USING THIS SERVICE, MISS DIG GENERATED TICKET NO. B62301194, AND NOTIFIED UTILITIES IN THE PROJECT AREA TO PROVIDE UTILITY INFORMATION OF UNDERGROUND LINES WITHIN THE PROPOSED WORK AREA. THIS SURVEY REPRESENTS THE UNDERGROUND UTILITIES THAT PARTICIPATED IN THE REQUEST. ADDITIONAL UTILITIES MAY EXIST, BUT WERE NON-RESPONSIVE TO THE REQUEST.
- UTILITY INFORMATION SOURCES:
 - MICHIGAN DEPARTMENT OF TRANSPORTATION ROAD PLANS, M-20, PROJECT 33134A, DATED 07/07/1992.
 - MICHIGAN DEPARTMENT OF TRANSPORTATION ROAD PLANS, M-20, PROJECT 12144A, DATED 02/06/1978.
 - UNION TOWNSHIP, SANITARY SEWER PLANS, DATED 12/09/1980.
 - UNION TOWNSHIP, WATER MAIN PLANS, DATED 02/09/1988.
 - ISABELLA COUNTY DRAIN COMMISSIONER, HANCE IMPROVEMENT DRAIN #357, DATED 01/19/1991.
 - WINDSTREAM, FIBER PLANS, DATED 08/19/2016.
 - CONSUMERS ENERGY, ELECTRICAL PLANS, DATED 08/19/2012.
 - CONSUMERS ENERGY, NATURAL GAS PLANS, DATED 05/14/2012.
 - FRONTIER COMMUNICATIONS, FIBER/COPPER COMMUNICATIONS PLANS, DATED 08/22/2016.
- AS PERTAINING TO TABLE A REQUIREMENTS, ITEMS 16 AND 17, THERE WAS NO OBSERVABLE EVIDENCE AT THE TIME OF SURVEY.
- AS PERTAINING TO GENERAL REQUIREMENTS, 4. RECORDS RESEARCH - THE CURRENT RECORD DESCRIPTIONS OF ADJOINERS, RECORDS WERE RESEARCHED BY METRO CONSULTING ASSOCIATES (NOT PROVIDED) ON AUGUST 17, 2016.

SURVEYORS CERTIFICATE:

To: (i) JROD, LLC, a Michigan Corporation; (ii) Seaver Title Agency; (iii) First American Title Insurance Company, and (iv) SSP Associates, Inc., AKA S.S.P. Associates, Inc., a Michigan Corporation:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 8, 9, 10(a), 10(b), 11, 13, 16, and 17 of Table A thereof. The fieldwork was completed on August 24, 2016.

Trevor A. McMan, PS
Professional Surveyor No. 50442
TMcMan@metroca.net

Dated: 08/31/16



CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



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CLIENT NAME: WT DEVELOPMENT CORP.

ALTA/NSPS LAND TITLE SURVEY
PART OF THE NORTHEAST 1/4, SECTION 13
TOWN 14 NORTH, RANGE 04 WEST, UNION
TOWNSHIP, ISABELLA COUNTY, MICHIGAN

GRAPHIC SCALE
0' 15' 30' 60'
SCALE: 1" = 30'
(24"x36" DRAWINGS ONLY)

MCA JOB #: 1051-16-7708

DATE: 08/31/2016

DRAWN BY: JWU

CHECK BY: TAM

PM: JWU

BOOK/CREW: 127/JL

SECTION: 13

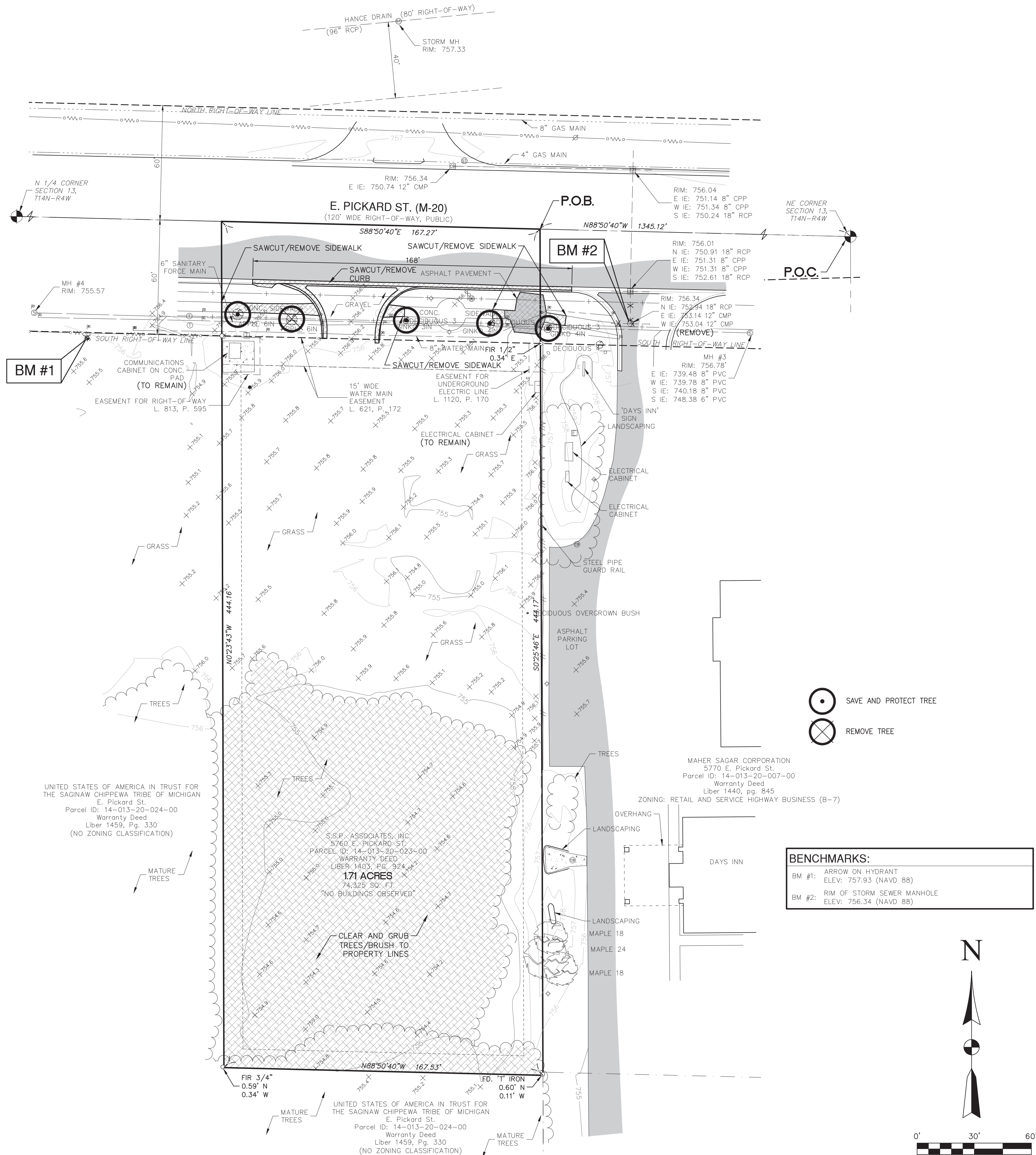
TOWNSHIP: 14N

RANGE: 04W

COUNTY: UNION TWP.

CITY: ISABELLA

SHEET: 1 OF 1



EXISTING CONDITIONS/DEMOLITION PLAN 1" = 30' 12

ALL EXISTING STREET CURBING SHOWN TO BE REMOVED SHALL BE SAWCUT TO FULL DEPTH. PROVIDE NEAT AND CLEAN CUTS PARALLEL TO THE BACK OF CURB. INTERSECTING CUTS SHALL BE SQUARE.

PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN AREA PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN THE SOILS REPORT & THE PLANS, ETC.

DEMOLITION/SITE CLEARING: SEE CIVIL DRAWINGS AND GEOTECHNICAL REPORT FOR EXTENT OF SITE DEMOLITION. THIS WORK SHALL INCLUDE REMOVAL OF ALL EXISTING PAVEMENTS, CURBS (U.O.N.), LIGHT POLES (INCLUDING FOOTINGS), VEGETATION (INCLUDING STUMPS), UTILITIES (NOT OTHERWISE REUSED), ETC., AS REQUIRED FOR NEW CONSTRUCTION.

SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS & SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING & REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AND MOISTURE CONDITIONED AS SPECIFIED IN THE SOILS REPORT. OWNER WILL REQUIRE COMPACTION VERIFICATION PREPARED BY A QUALIFIED SOILS ENGINEER, OR THIRD PARTY VENDOR, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS, AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.

THE SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS. THE G.C. IS RESPONSIBLE FOR LOCATING IMPROVEMENTS PER THESE PLANS.

THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE APPROPRIATE UTILITY COMPANY. NO COMPENSATIONS SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY THEIR WORK FORCE.

ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

SEE CIVIL PLANS FOR ALL WORK IN STREET RIGHT-OF-WAY. HIGHWAY (IF APPLICABLE) AND CITY ENCROACHMENT PERMITS SHALL BE OBTAINED AND PAID FOR BY THE GENERAL CONTRACTOR.

REFER TO THE LANDSCAPE DRAWINGS FOR LANDSCAPE AREAS. VERIFY FINAL PLANTING PLAN WITH OWNER PRIOR TO THE START OF WORK.

ORANGE PROTECTIVE FENCING SHALL BE PLACED AT THE DRIP LINE OF TREES TO BE SAVED.

DEMOLITION NOTES 3

	EX. SPOT ELEVATION
	EX. CONTOUR
	EX. ADJACENT PROPERTY LINE
	EX. EASEMENT LINE
	EX. CURB/PAVEMENT
	EX. FENCE
	EX. GRAVEL
	EX. TREELINE
	EX. TREE (CONIFEROUS)
	EX. TREE (DECIDUOUS)
	EX. SIGN
	EX. WATER MAIN
	EX. WATER VALVE
	EX. HYDRANT
	EX. STORM SEWER
	EX. CATCH BASIN
	EX. STORM MANHOLE
	EX. SANITARY SEWER
	EX. SANITARY MANHOLE
	EX. UNDERGROUND GAS
	EX. GAS VALVE
	EX. OVERHEAD ELECTRIC
	EX. UTILITY POLE
	EX. GUY WIRE
	EX. CONCRETE
	EX. ASPHALT

LEGEND 4



WT Development Corporation
10223 E. Cherry Bend Rd., Ste. A
Traverse City, Michigan, 49684

Contact: Bill Beckett, President
Phone: (231) 922-9250
Fax: (231) 922-9257

PROJECT CONSULTANT

	PERMITS 12.02.2016
	STORM WATER RW 12.20.2016
	BUILDING UPDATE 02.06.2017

CONTRACT DATE: XX.XX.XXXX
BUILDING TYPE: LG66 Explorer Lite
PLAN VERSION: 2016
SITE NUMBER: 312234
ENTITY NUMBER: 442493

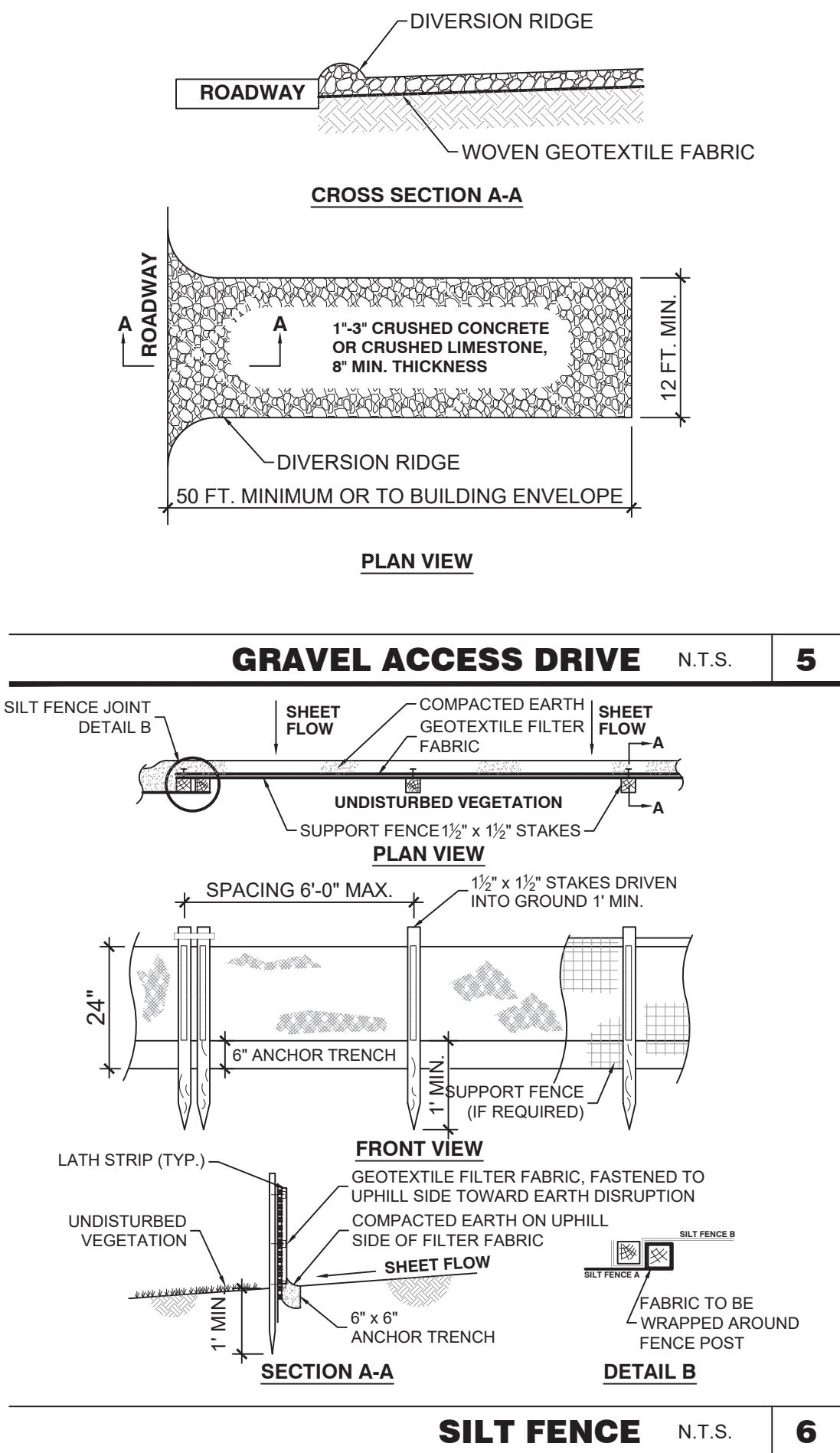
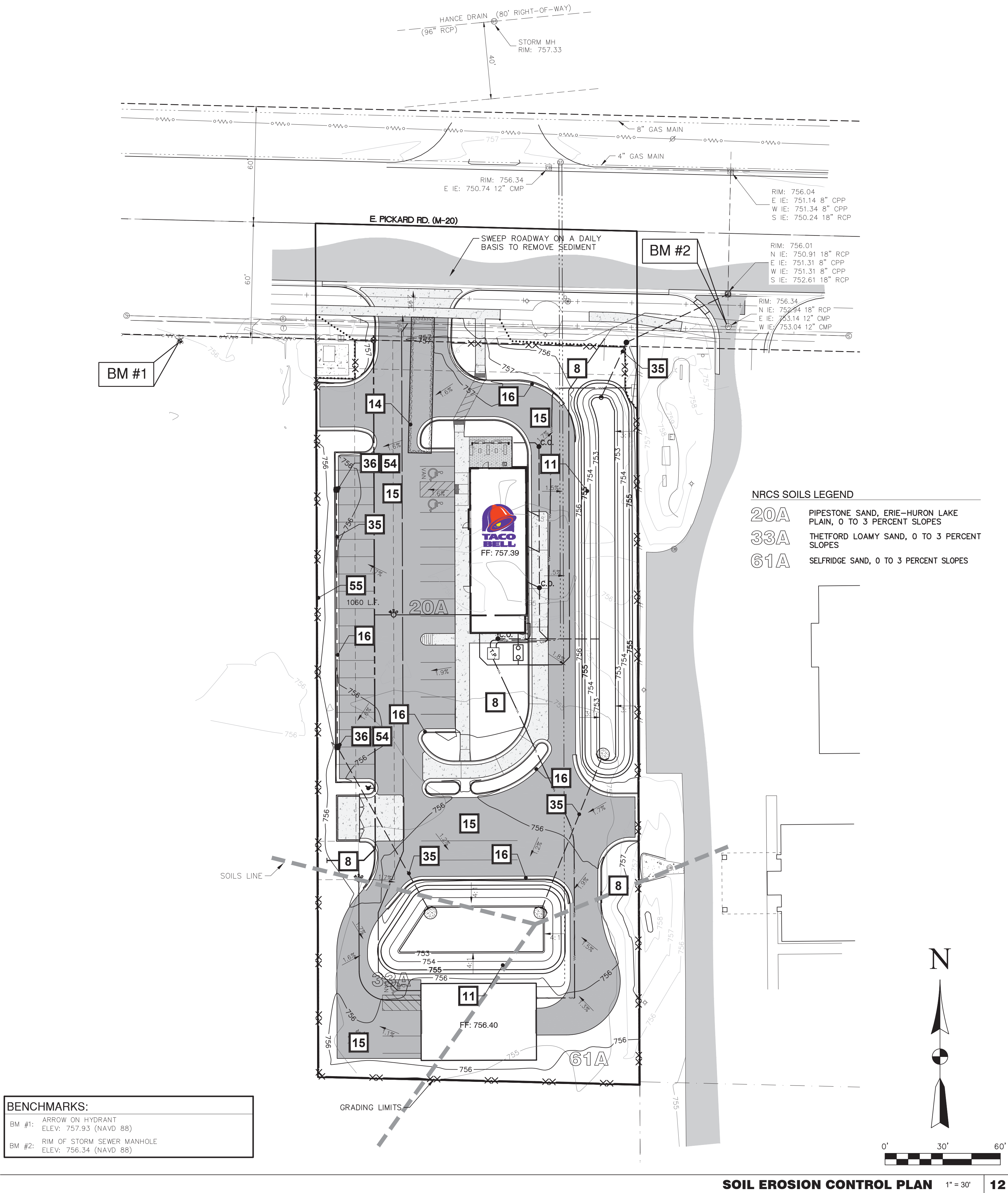
TACO BELL
5760 E. PICKARD RD.
MT. PLEASANT, MI



LG66 Exp. Lite
EXISTING
CONDITIONS

C1.0

PLOT DATE: 02.06.2017



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WT DEVELOPMENT CORPORATION
10223 E. Cherry Bend Rd., Ste. A
Traverse City, Michigan, 49684
Contact: Bill Beckett, President
Phone: (231) 922-9250
Fax: (231) 922-9257
PROJECT CONSULTANT

CONTRACT DATE: XX.XX.XXXX
BUILDING TYPE: LG66 Explorer Lite
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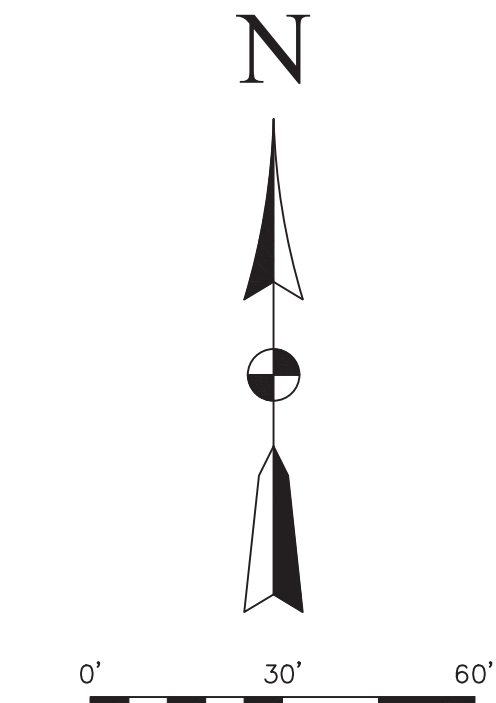
TACO BELL
5760 E. PICKARD RD.
MT. PLEASANT, MI

LG66 Exp. Lite

SOIL EROSION CONTROL PLAN

C2.0

PLOT DATE: 02.06.2017

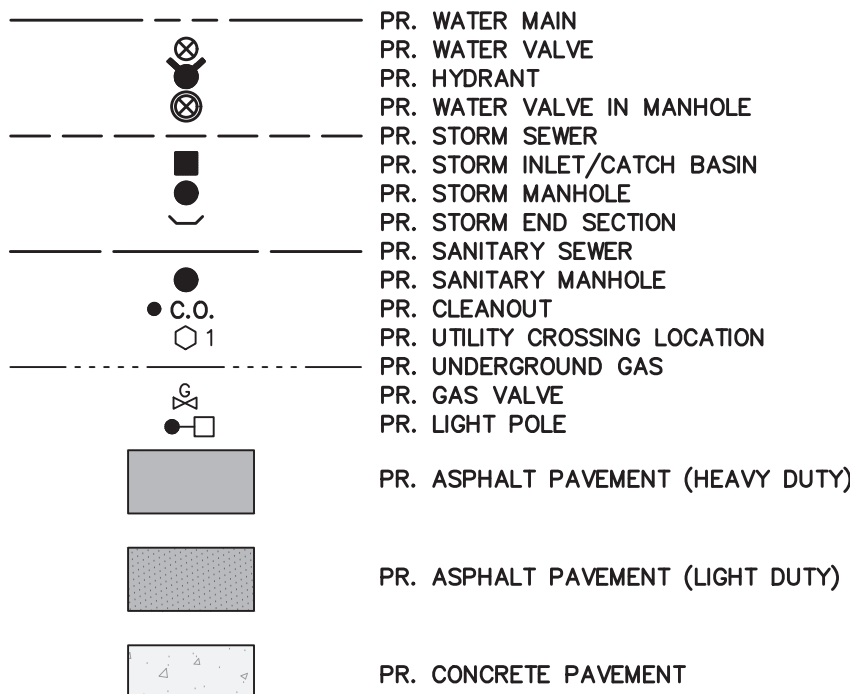


- 1 HEAVY-DUTY A.C. PAVING AND BASE, SEE DETAIL 1/C3.1 AND SOILS REPORT.
- 2 LIGHT-DUTY A.C. PAVING AND BASE, SEE DETAIL 2/C3.1 AND SOILS REPORT.
- 3 CONSTRUCT 6-INCH CONCRETE PAVEMENT PER DETAIL 5/C3.1 AND SOILS REPORT.
- 4 CONSTRUCT 6" P.C.C. CURB & GUTTER PER DETAIL 4/C3.1
- 5 CONSTRUCT P.C.C. CURB EDGE SIDEWALK PER DETAIL 6/C3.1
- 6 CONSTRUCT P.C.C. SIDEWALK PER DETAIL 7/C3.1
- 7 DEPRESS CURBING AND RAMP SIDEWALK TO MATCH BACK OF CURB GRADE - MAX SLOPE 1:12. CONCRETE RAMPS AND LANDINGS SHALL BE SIX (6) INCHES THICK.
- 8 DETECTIBLE WARNING STRIPS PER ANSI A117.1/ADA GUIDELINES. WARNINGS SHALL EXTEND THE FULL WIDTH OF THE RAMP.
- 9 CONSTRUCT P.C.C. DEPRESSED CURB RAMP - MAX. SLOPE 1:12. REFER TO GRADING PLAN AND DETAIL 8/C3.1
- 10 INSTALL GUARD POST BOLLARD PER DETAIL 10/C3.1
- 11 INSTALL BOLLARD AT CURB PER DETAIL 11/C3.1
- 12 CONSTRUCT TRASH ENCLOSURE ON 8" PCC PAD PER SHEET C3.3.
- 13 PAINT TRAFFIC ARROWS - WHITE PER DETAIL 13/C3.1
- 14 PAINT 4" WIDE PARKING STRIPES PER DETAIL 13/C3.1. WHITE REFLECTIVE PAINT.
- 15 PAINT MARKED CROSSWALK, 5 FT. MIN. WIDTH AT PEDESTRIAN CROSSING. STRIPES SHALL BE 4" WIDE (MIN.) WITH DIAGONALS @ 4'-0" MAX.
- 16 STRIPE ADA PARKING SPACE PER DETAIL 13/C3.1
- 17 PAINT ADA SYMBOL - WHITE ON BLUE BACKGROUND (1-REG. SPACE, 1-VAN SPACE).
- 18 ACCESSIBLE PARKING SIGN, PER DETAIL 9/C3.1 (1-VAN SPACE). HEIGHT OF SIGN MIN. 5'-0" ABOVE PARKING SURFACE.
- 19 ACCESSIBLE "SWING-SIDE" MANEUVERING SPACE AT ALL EXTERIOR DOORS. 2% MAX. SIDEWALK SLOPE, 2' TO STRIKE SIDE OF DOOR, 5' OUT FROM DOOR.
- 20 40 S.F. DOUBLE FACED, ILLUMINATED, MONUMENT SIGN (6'-0" FT. OVERALL HEIGHT), BY SIGN SUPPLIER. FOUNDATION AND ROUGH ELECTRICAL BY G.C. UNDER SEPARATE PERMIT.
- 21 TACO BELL MENU BOARD, SENSOR LOOP & ORDER CONFIRMATION BOARD BY SIGN SUPPLIER. FOUNDATION AND ROUGH ELECTRICAL BY G.C. (4.0 AMPS). REFER TO DETAIL 14/C3.2 AND 16/E6.0.
- 22 INSTALL TIMER LOOP AT PICK-UP WINDOW PER DETAIL 16/E6.0.
- 23 TACO BELL SOFFIT CLEARANCE SIGN SUPPLIED BY OWNER, INSTALLED BY G.C. REFER TO DETAIL 1/C3.2.
- 24 INSTALL TIMER LOOP AT ORDER CONFIRMATION BOARD PER DETAIL 14/C3.2 AND 16/E6.0.
- 25 278 WATT (208) VOLT YARD LIGHT W/FULL CUT-OFF LENSES. LIGHT FIXTURES SUPPLIED BY OWNER, INSTALLED BY G.C. MAX. OVERALL STANDARD HEIGHT = 27'-6". SEE DETAIL 4/C3.2 AND 8/C3.2.
- 26 INSTALL 6" SDR 26 PVC SANITARY SEWER LEAD W/ CLEANOUTS @ CHANGE IN DIRECTION. SEE UTILITY PLAN FOR DETAILS.
- 27 INSTALL 1,000-GALLON GREASE INTERCEPTOR PER DETAIL 4/C5.2. SEE UTILITY PLAN FOR LOCATIONS OF SEWER LATERALS, AND CLEANOUTS.
- 28 CLEANOUT TO GRADE FOR BUILDING SEWERS. SEE PLUMBING PLANS AND DETAIL 1/C5.2.
- 29 CONNECT TO EXISTING SANITARY SEWER. SEE UTILITY PLAN.
- 30 INSTALL HDPE WATER SERVICE. CONNECT TO EXISTING WATER SERVICE PER OWNER TOWNSHIP DPW SPECIFICATIONS. SEE UTILITY PLAN.
- 31 PROPOSED 8" WATER MAIN. SEE UTILITY PLAN.
- 32 INSTALL WATER POINT OF ENTRY. SEE PLUMBING & CIVIL PLANS. (BRING UP IN BUILDING). PROVIDE SHUT OFF VALVE AT POINT OF ENTRY.
- 33 ELECTRICAL MAIN SWITCHBOARD. SEE ELECTRICAL DRAWINGS.
- 34 GAS METER
- 35 COORDINATE ALL UTILITY WORK WITH UTILITY COMPANIES.
- 36 CONSTRUCT STORM SEWER MANHOLE PER DETAIL 6/C5.2.
- 37 CONSTRUCT STANDARD CATCH BASIN PER DETAIL 5/C5.2.
- 38 CONSTRUCT STORM WATER DETENTION BASIN.
- 39 TRUCK/RV PARKING AND LOADING SPACES (10'x50'x14"). ONE(1) LOADING SPACE DESIGNATED FOR EACH BUILDING.
- 40 LANDSCAPE AREA. REFER TO LANDSCAPE DRAWINGS.
- 41 COLORED, STAMPED CONCRETE PATIO AREA. SEE DETAIL 7/C3.1. SUBMIT COLOR AND STAMP PATTERN SAMPLES FOR OWNER APPROVAL.

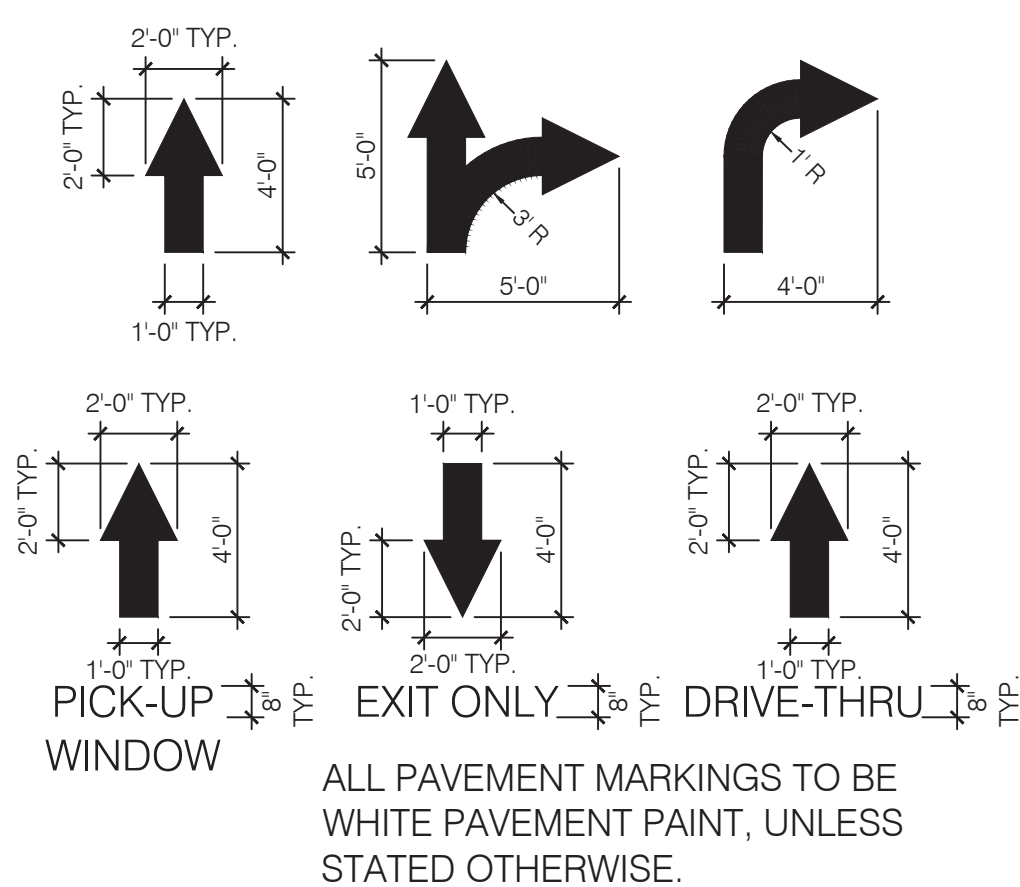
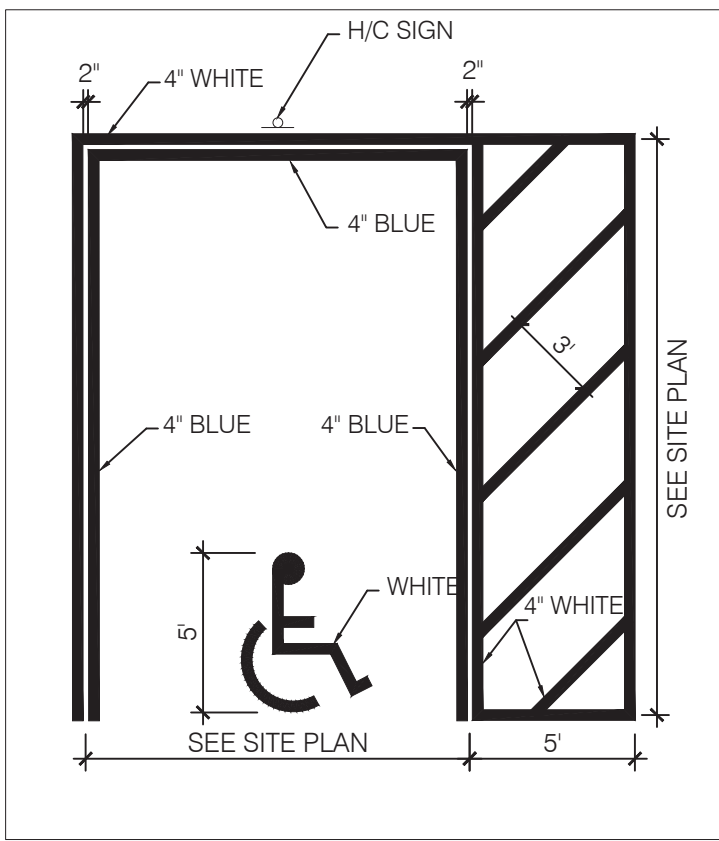
SIGNAGE NOTES:

1. ALL SIGNAGE SHALL BE PERMITTED UNDER SEPARATE SIGN PERMIT BY SIGN VENDOR.

3



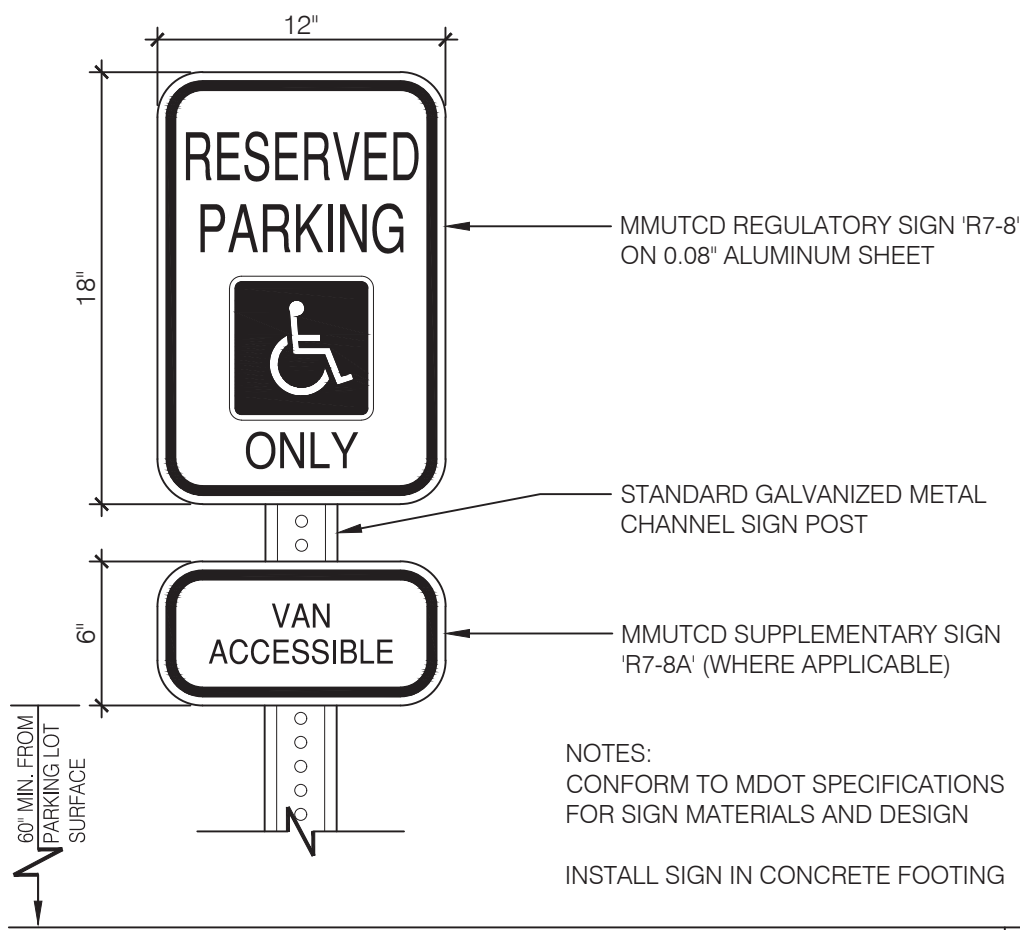
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PAVEMENT MARKINGS

N.T.S.

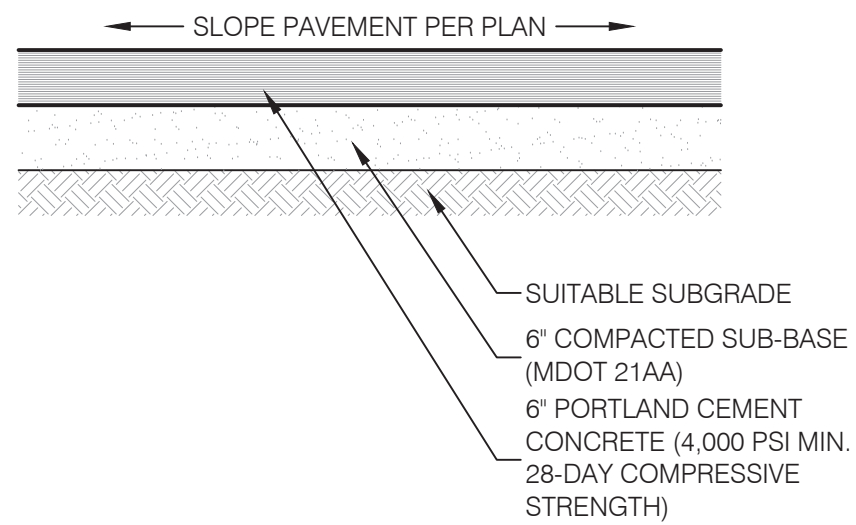
13



ADA PARKING SIGN

N.T.S.

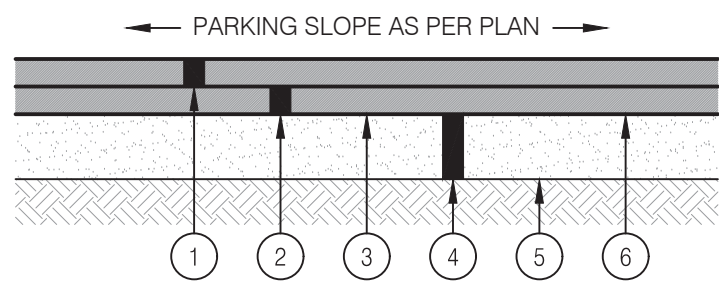
9



CONCRETE PAVEMENT

N.T.S.

5

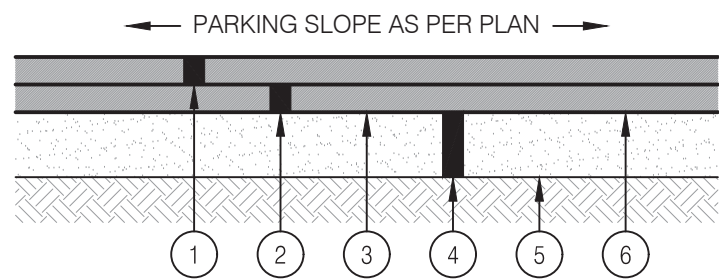


- 1-1/2" (165 LB/SYD.) ASPHALT SURFACE COURSE (MDOT 36A)
 - 2-1/2" (275 LB/SYD.) ASPHALT BINDER COURSE (MDOT 13A)
 - TACK COAT
 - 8" COMPACTED SUB-BASE (MDOT 21AA)
 - SUBGRADE SPECIFICATIONS AND COMPACTION TO BE COMPLETED IN ACCORDANCE WITH SOILS REPORT
 - PROOF ROLLING (PER SOILS REPORT/SITE ADAPT CONSULTANT)
- NOTE: PAVEMENT TYPE AND THICKNESS MUST CORRESPOND TO SITE-SPECIFIC SOILS REPORT.

HEAVY-DUTY ASPHALT PAVEMENT

N.T.S.

1

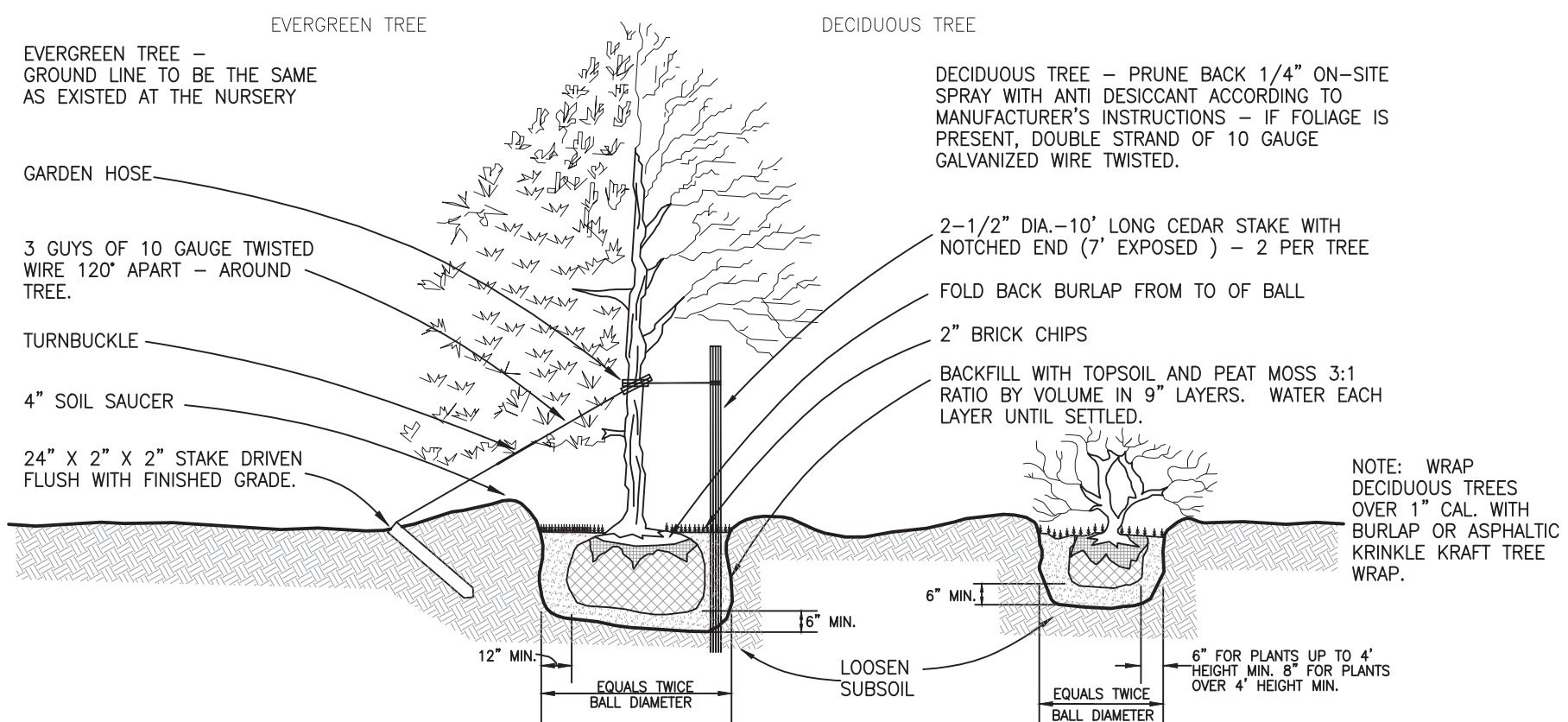


- 1-1/2" (165 LB/SYD.) ASPHALT SURFACE COURSE (MDOT 36A)
 - 1-1/2" (165 LB/SYD.) ASPHALT BINDER COURSE (MDOT 13A)
 - TACK COAT
 - 6" COMPACTED SUB-BASE (MDOT 21AA)
 - SUBGRADE SPECIFICATIONS AND COMPACTION TO BE COMPLETED IN ACCORDANCE WITH SOILS REPORT
 - PROOF ROLLING (PER SOILS REPORT/SITE ADAPT CONSULTANT)
- NOTE: PAVEMENT TYPE AND THICKNESS MUST CORRESPOND TO SITE-SPECIFIC SOILS REPORT.

LIGHT-DUTY ASPHALT PAVEMENT

N.T.S.

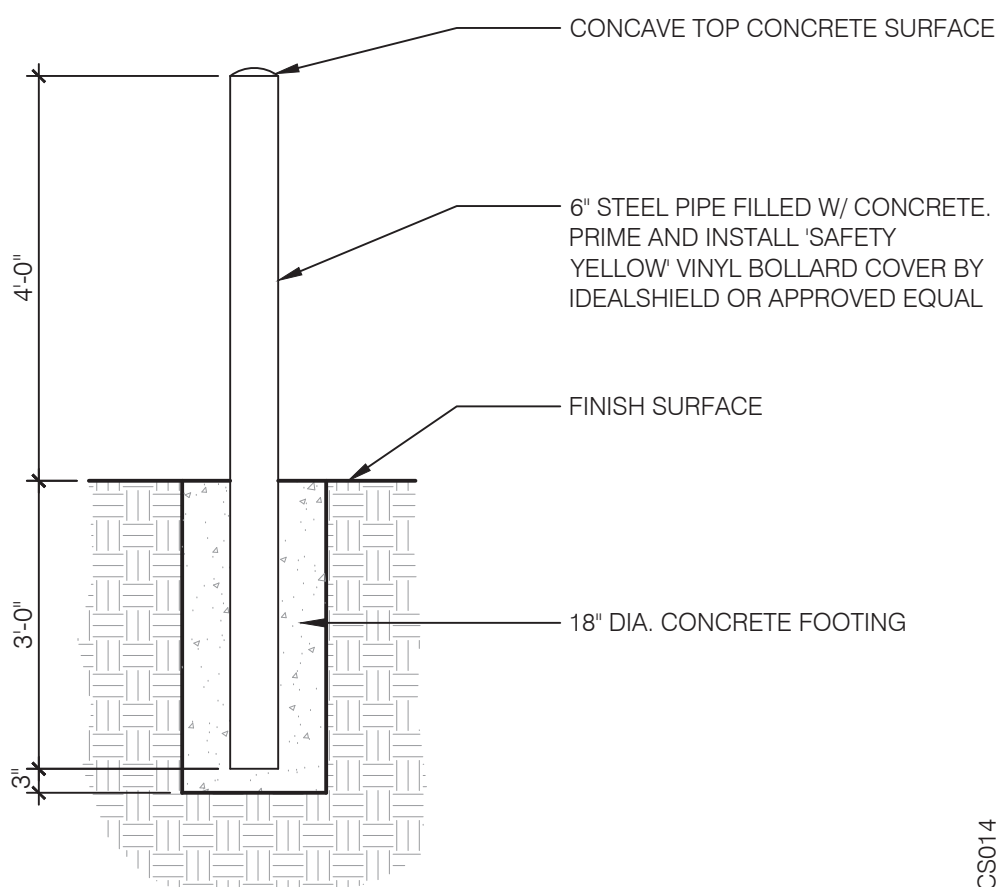
2



PLANTING DETAIL

N.T.S.

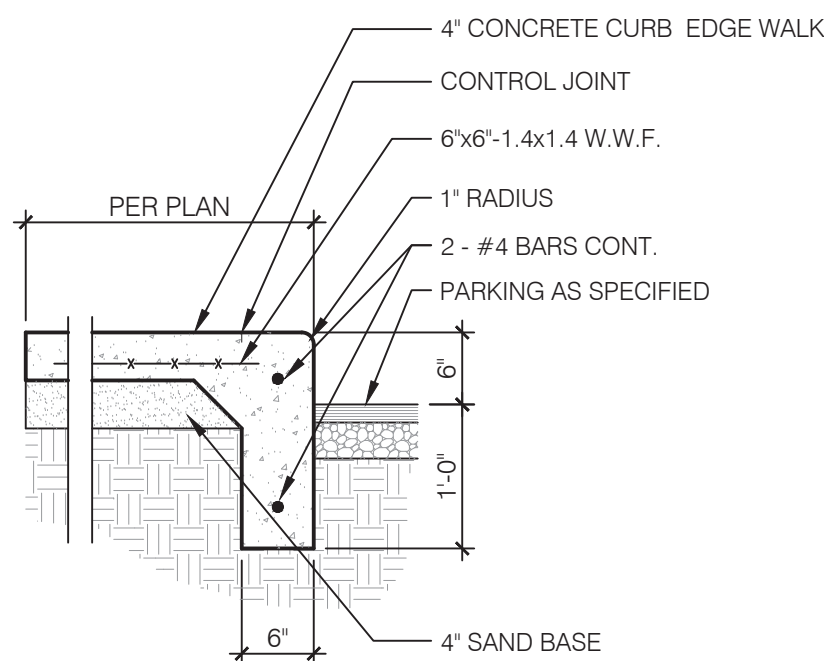
14



GUARD POST BOLLARD

N.T.S.

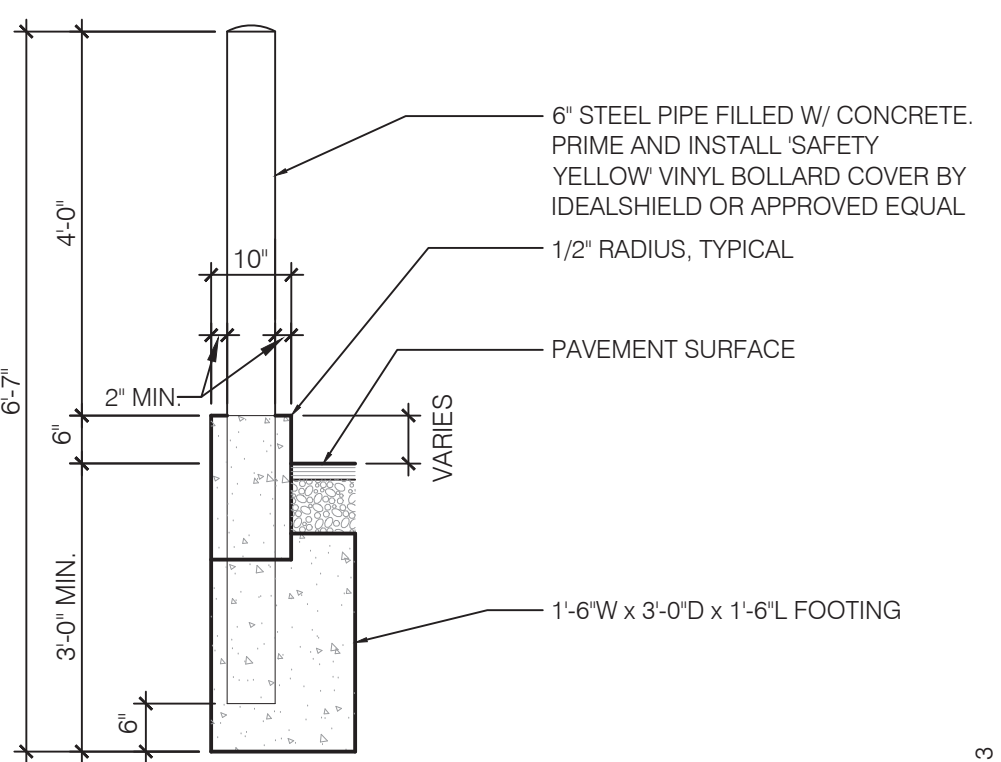
10



CURB EDGE SIDEWALK

N.T.S.

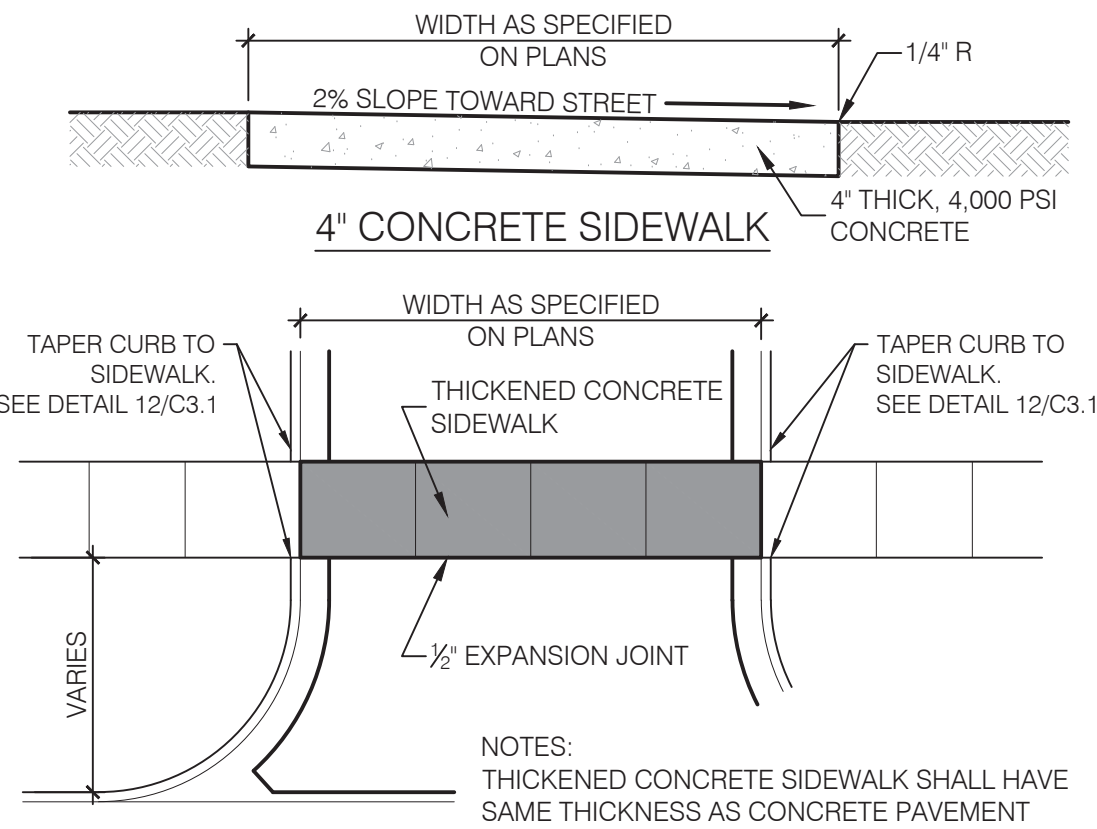
6



BOLLARD AT CURB

N.T.S.

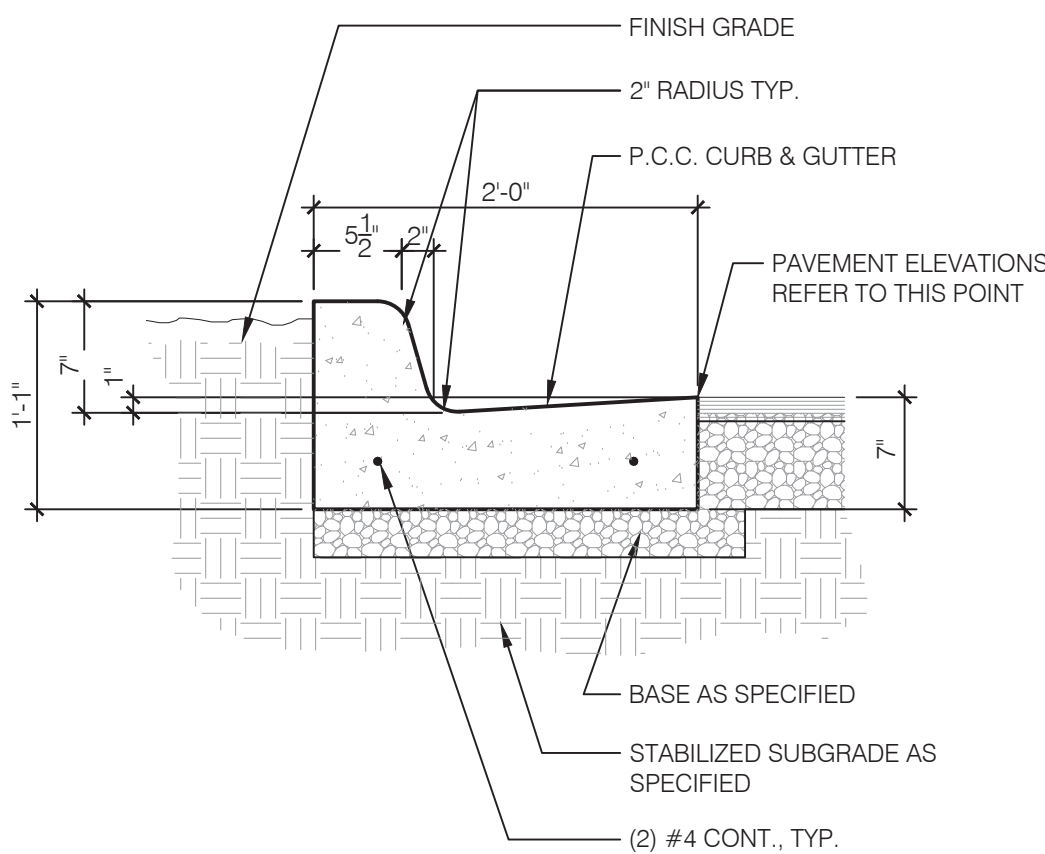
11



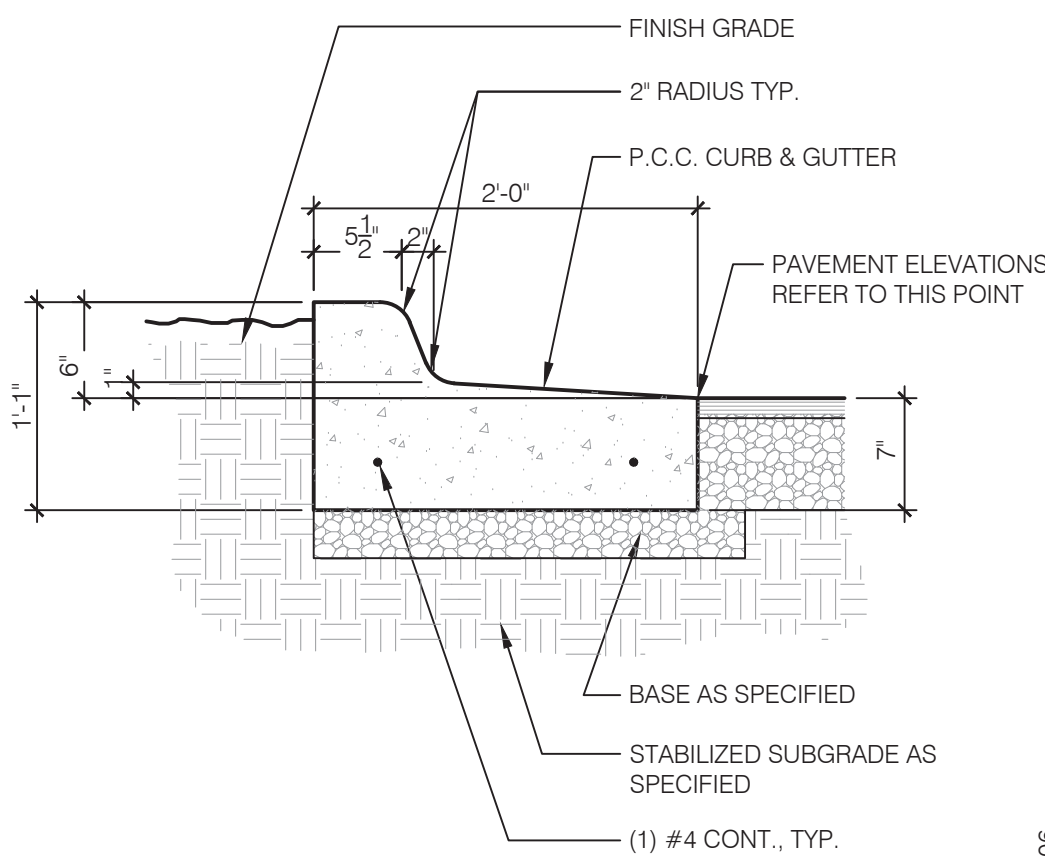
CONCRETE SIDEWALK

N.T.S.

7



NORMAL PAN CURB

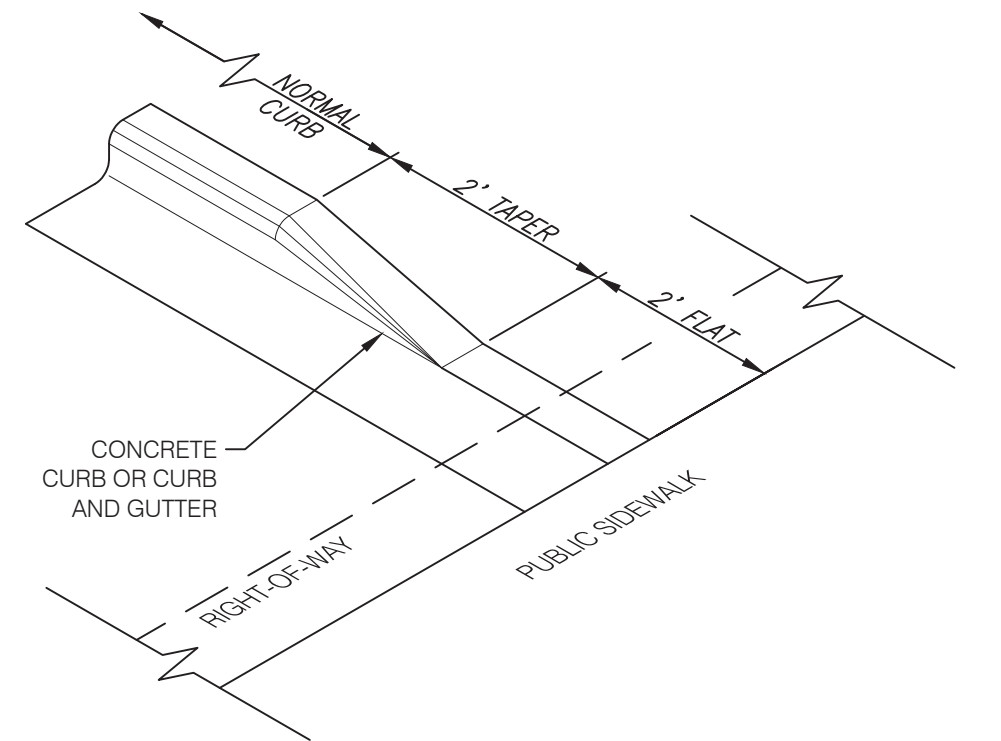


DROP PAN CURB

CONCRETE CURB

N.T.S.

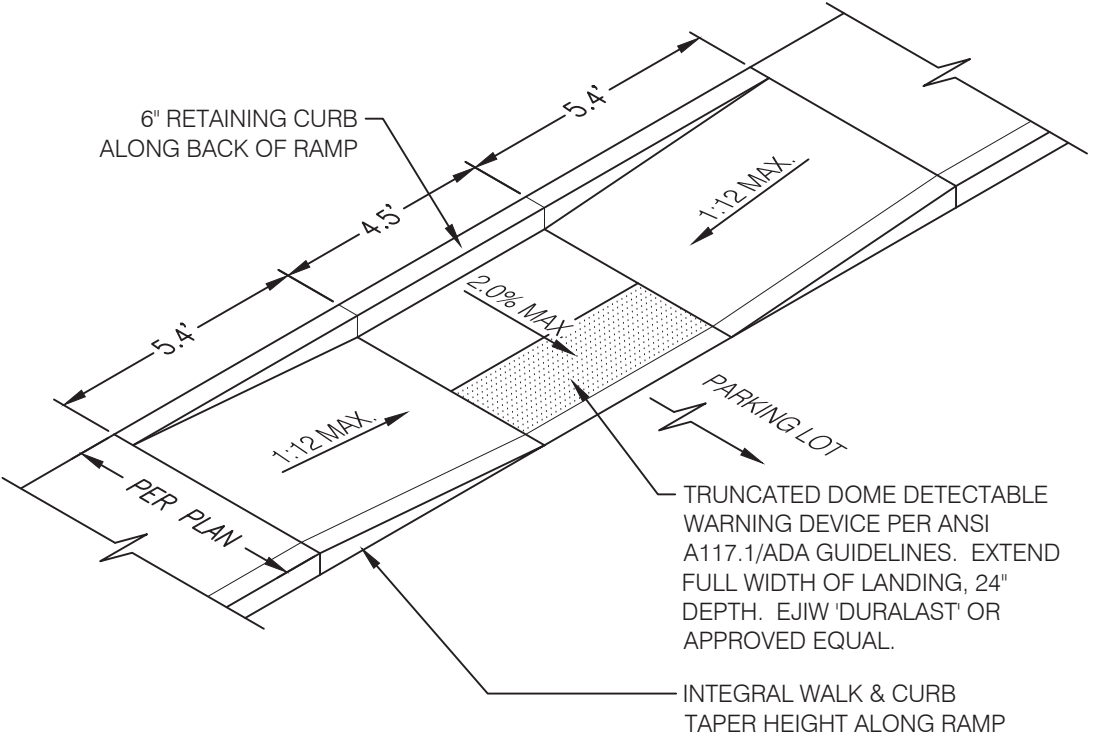
4



CURB NOSING

N.T.S.

12



SIDEWALK RAMP

N.T.S.

8

NOT USED

19

NOT USED

15

NOT USED

20

NOT USED

16



WT Development Corporation
10223 E. Cherry Bend Rd., Ste. A
Traverse City, Michigan, 49684
Contact: Bill Beckett, President
Phone: (231) 922-9250
Fax: (231) 922-9257

PROJECT CONSULTANT

△	PERMITS 12.02.2016
△	STORM WATER RW. 12.20.2016
△	BUILDING UPDATE 02.06.2017
△	
△	
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△	
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CONTRACT DATE:	XX.XX.XXXX
BUILDING TYPE:	LG66 Explorer Lite
PLAN VERSION:	2016
SITE NUMBER:	312234
ENTITY NUMBER:	442493

TACO BELL

5760 E. PICKARD RD.
MT. PLEASANT, MI

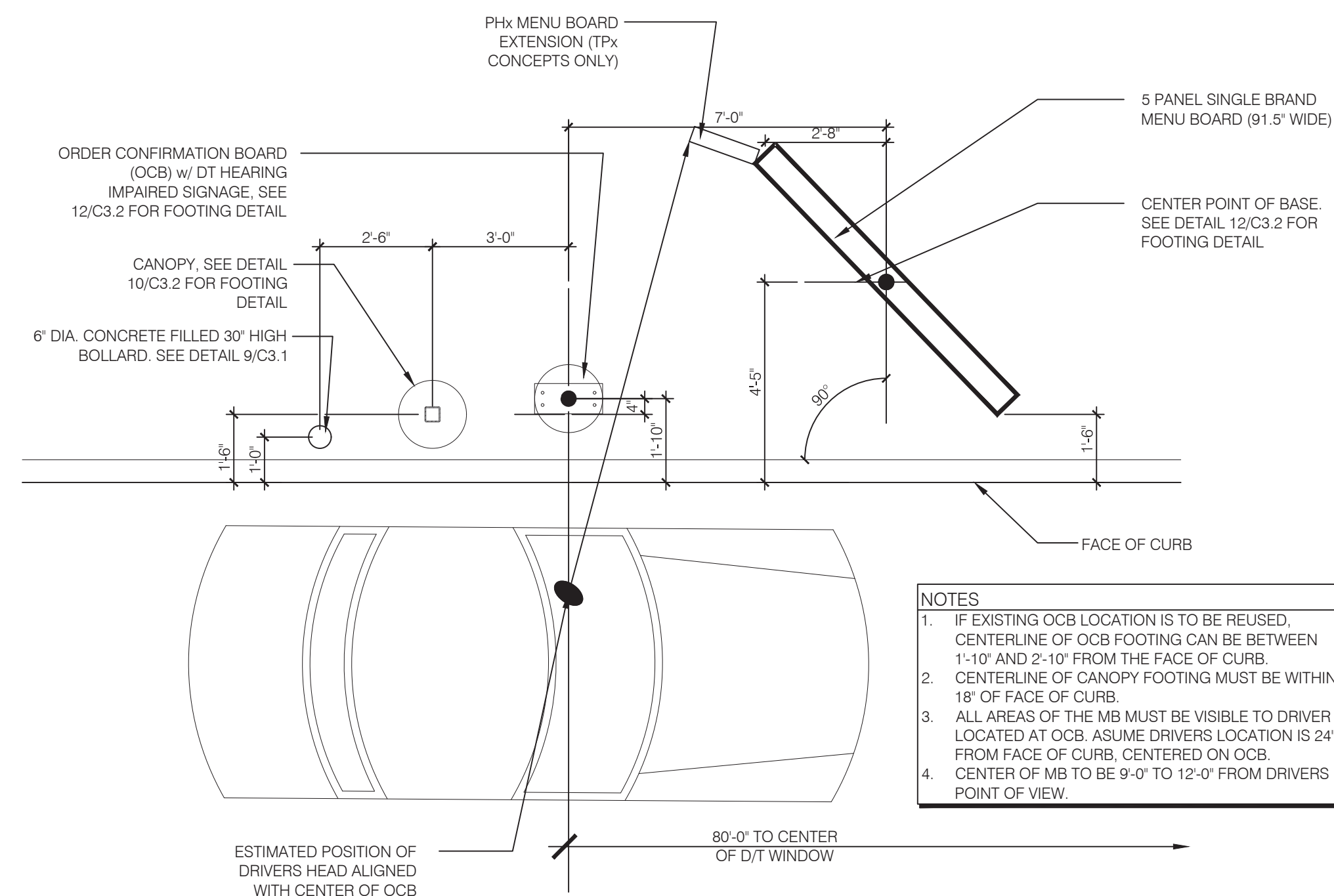
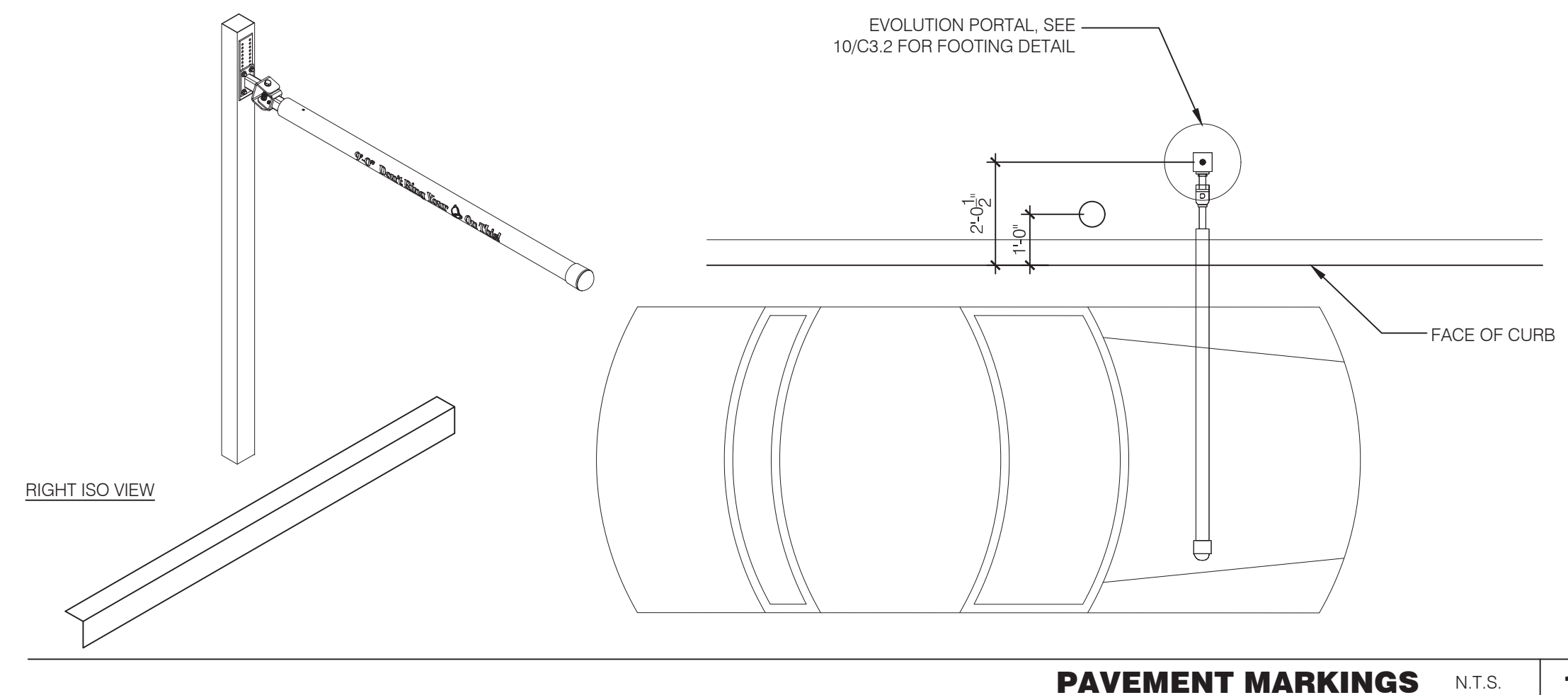
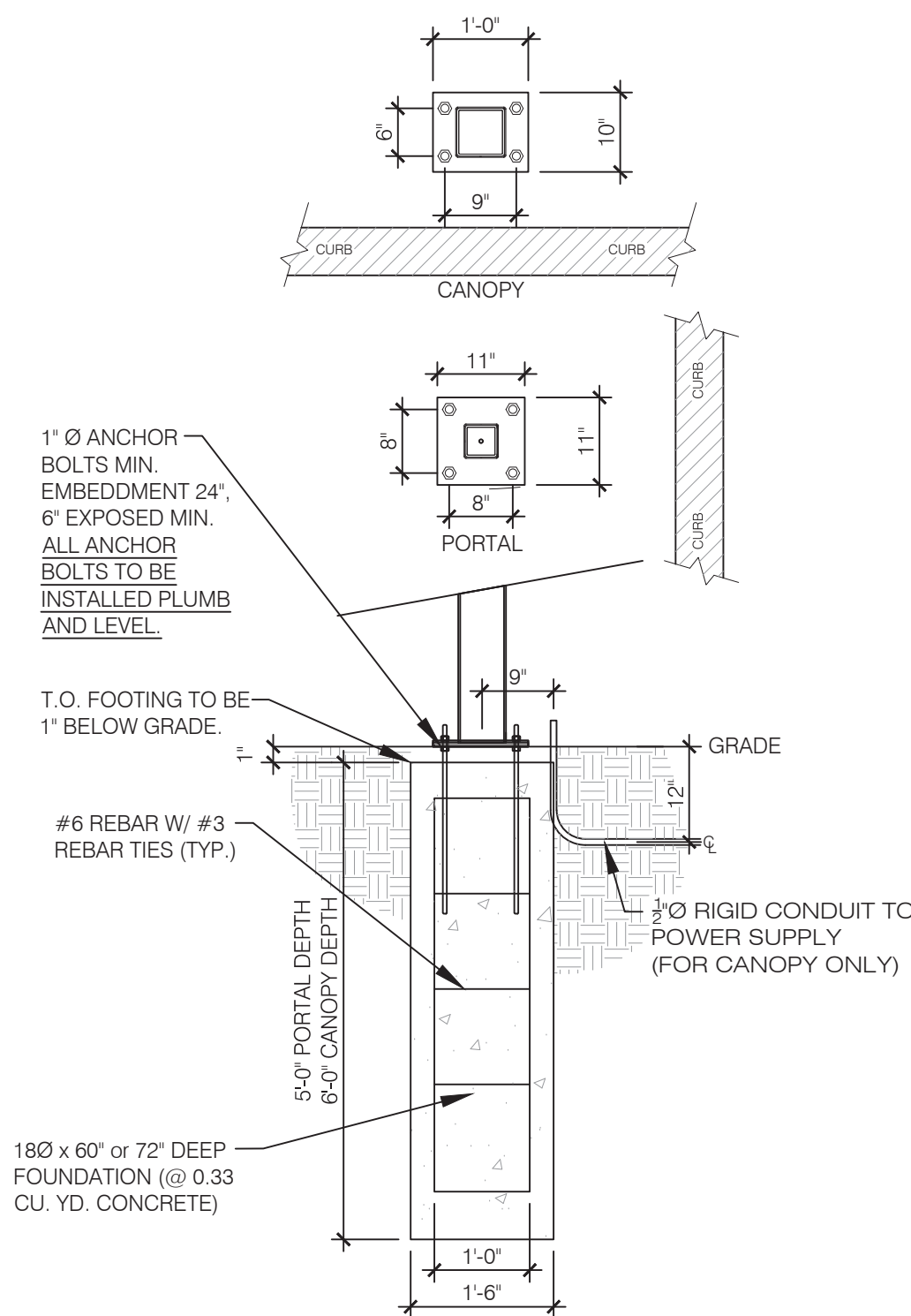
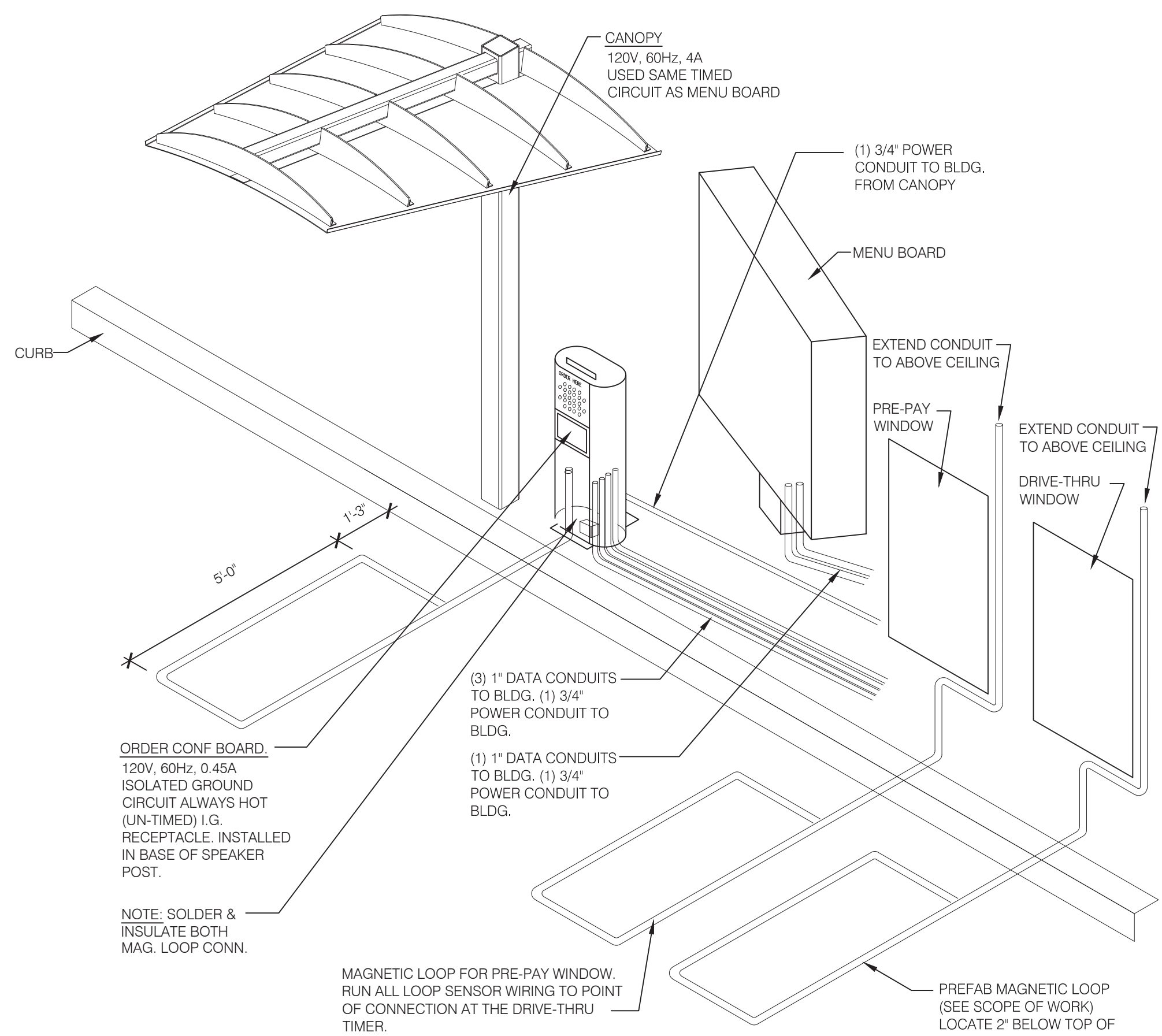


LG66 Exp. Lite

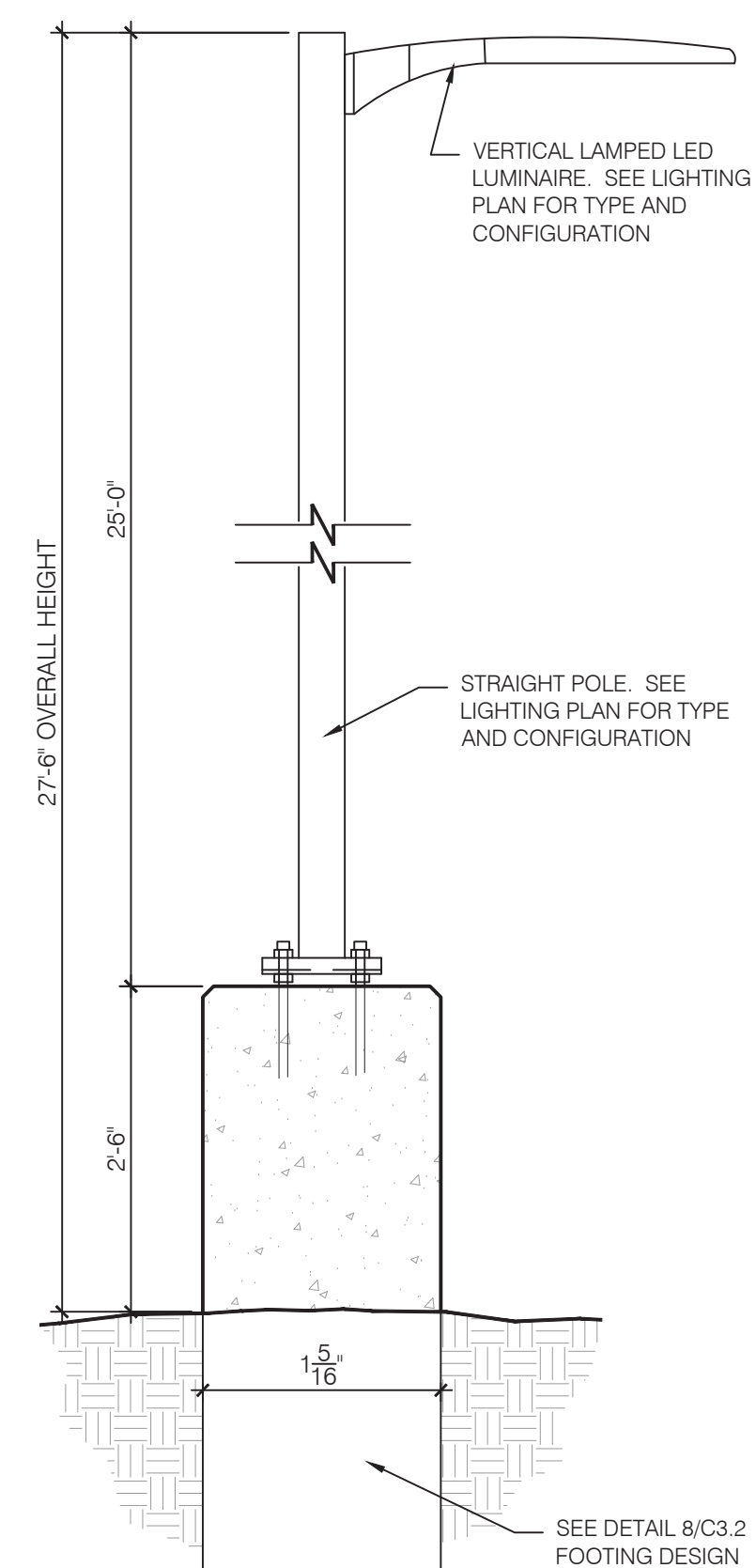
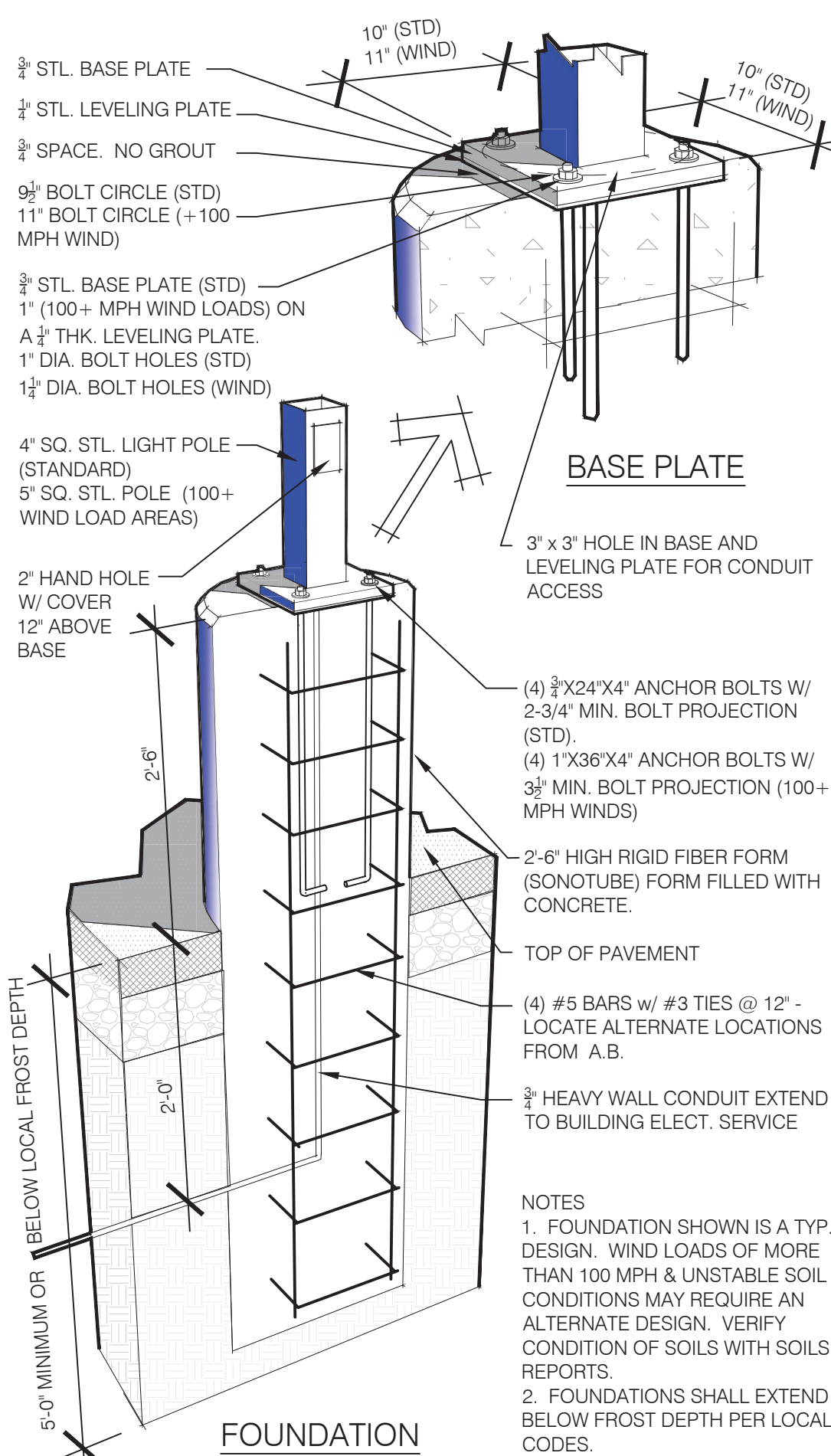
SITE
DETAILS

C3.1

PLOT DATE: 02.06.2017












CONDUIT SCHEDULE		
DEVICE	POWER	DATA
DIRECTIONAL	(1) 3'	-
OCB	(1) 3'	(3) 1'
MENU BOARD	(1) 3'	(1) 1'



WT Development Corporation
10223 E. Cherry Bend Rd., Ste. A
Traverse City, Michigan, 49684

Contact: Bill Beckett, President
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Fax: (231) 922-9257

PROJECT CONSULTANT

	PERMITS 12.02.2016
	STORM WATER RVW. 12.20.2016
	BUILDING UPDATE 02.06.2017
	
	
	
	
	
	

CONTRACT DATE: XX.XX.XXXX
BUILDING TYPE: LG66 Explorer Lite
PLAN VERSION: 2016
SITE NUMBER: 312234
ENTITY NUMBER: 442493

TACO BELL

5760 E. PICKARD RD
MT. PLEASANT, MI



LG66 Exp. Lite

SITE DETAILS

C3.2

PLOT DATE: 02.06.2017

NOT USED	17
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NOT USED	18
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NOT USED	19
-----------------	-----------

NOT USED	20
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CAST CONCRETE CAP

(2) #5 BARS

8' X 8' X 16' C.M.U. COLUMN

5' X 5' X 1/4" T.S. EMBEDDED INTO FOOTING 3'-0". ATTACH METAL GATES TO BOTH SIDES

8' THK. P.C.C. SLAB ON 6' 21AA COMPACTED LIMESTONE BASE W/ #4xCONT. E.W. @ 4'-0" O.C.

6"

42" MIN.

3'

1'-0"

4' 0"

SECTION - SIDE N.T.S. **13**

GALV. STEEL GATE HINGE
 1/2" DIA. x 24" CANE BOLT (ONE GATE)
 1-7/8" O.D. 20 GA. GALV. STEEL GATE FRAME
 9 GA. GALV. STEEL FENCE FABRIC W/ VINYL PRIVACY INSERTS
 4-1/2" INDUSTRIAL MALLEABLE HINGE
 4" SCH 80 STEEL PIPE
 CMU WALL
 WALL

JAMB DETAIL 1 1/2" = 1'-0"

14

NOT USED	15
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NOT USED	16
-----------------	-----------

CAST CONCRETE CAP

SOLID GROUT ALL CORES

#5 HORIZ. BAR @ TOP (TYP.) TIE TO #5 VERT. BARS

#5 BARS @ 48" O.C. CONT. THRU WALL & INTO FTG. W/ 3" HOOK.

8" X 8" X 16" SPLIT-FACE C.M.U. WALL W/ DUR-O-WALL EVERY SECOND COURSE. COLOR TO MATCH BUILDING.

#5 HORIZ. BAR @ MID. HGT. TIE TO #5 VERT. BAR (TYP.)

8" THK. P.C.C. SLAB ON 6" 21AA COMPACTED LIMESTONE BASE W/ #4XCONT. E.W. @ 4'-0" O.C.

SURFACE AS SPECIFIED

#5 BARS CONT. TOP & BOTTOM

GEN. NOTE: FOOTINGS SHALL EXTEND 42" MINIMUM BELOW ADJACENT FINISH GRADE/SURFACE TO FROST DEPTHS PER LOCAL CODES SEE SOLS REPORT FOR ANY ADDITIONAL DESIGN CRITERIA.

6"

42" MIN.

1'-4"

CLIP

SECTION 3/4" = 1'-0" **9**

<p><u>GATE NOTES:</u></p> <p>(2) EQUAL (±6" 0") WIDE x 6'-0" HIGH MTL. GATES. TYPE 'B' 1 1/2" DECKING, 22GA. W/T.S. 5 X 5 X .1875 BAR CROSS BRACING WELD AND GRIND SMOOTH ALL CONNECTIONS, TYP. PRIME AND PAINT COLOR TO MATCH BLOCK.</p> <p><u>GATE HARDWARE:</u></p> <p>1. ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.</p> <p>2. <u>GATE STOP</u> - MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.</p> <p><u>NOTES:</u></p> <p>1. LOCATION SHALL BE APPROVED BY THE PUBLIC WORKS DEPARTMENT.</p> <p>2. AREAS SHALL BE ACCESSIBLE FOR DELIVERY AND COLLECTION.</p> <p>3. GATES SHALL BE CHAIN LINK FENCE WITH VINYL PRIVACY INSERTS AND MUST BE APPROVED BY PUBLIC WORKS DEPARTMENT PRIOR TO INSTALLATION.</p> <p>4. GATE LATCHES SHALL BE OF THE PLUNGER BAR TYPE OR EQUIVALENT AS APPROVED BY THE PUBLIC WORKS DEPARTMENT.</p> <p>5. SEE ATTACHED SPECIFICATIONS, NOTES AND PROCEDURES</p> <p><u>TRASH ENCLOSURE DETAIL MATERIAL SPECIFICATIONS:</u></p> <p>1. CONCRETE BLOCK: 6" MINIMUM IN SIZE. ASTM C90.</p> <p>2. REINFORCING STEEL: ASTM 615, GRADE 40.</p> <p>3. ACCEPTABLE SOIL TYPES:</p> <p>A. MIN. ALLOWABLE BEARING: 1000 LBS/SQ. FT.</p> <p>B. MIN. LATERAL BEARING: 100 LBS/SQ. FT./FT.</p> <p>C. MAX EXPANSION INDEX: 20</p> <p>4. CONCRETE: 2000 LBS/SQ. IN. IN 28 DAYS.</p> <p>5. MORTAR: 1: 1/4:3 (PORTLAND CEMENT: HYDRATED LIME OR LIME PUTTY: SAND, BY VOLUME). MIXED TO PLASTIC CONSISTENCY. REFER TO UBC TABLE 24-A FOR OTHER TYPES OF CEMENT.</p> <p>6. GROUT: 1:1/10:3 (PORTLAND CEMENT: HYDRATED LIME OR LIME PUTTY: SAND BY VOLUME).MIX TO FLOW WITHOUT SEGREGATION. GROUT MAY CONTAIN 2 PARTS PEA GRAVEL (3/8" MAX. SIZE).</p> <p>MINIMUM COMPRESSIVE STRENGTH: 2000 LBS/SQ. IN. REFER TO UBC TABLE 24-B FOR OTHER TYPES OF CEMENT.</p> <p><u>GENERAL NOTES:</u></p> <p>1. THIS DESIGN IS FOR AVERAGE CONDITIONS AND MAY NOT BE SUITABLE FOR ALL CASES. IT IS RECOMMENDED THAT A LICENSED CIVIL OR STRUCTURAL ENGINEER BE CONSULTED.</p> <p>2. FOOTINGS SHALL BE IN NATURAL SOIL OR CERTIFIED FILL.</p> <p>3. BLOCKS TO BE STAGGERED (RUNNING BOND).</p> <p>4. ALL CELLS CONTAINING REINFORCING STEEL SHALL BE GROUTED.</p> <p>5. APPROVED GROUT STOPS ARE REQUIRED BELOW HORIZONTAL STEEL IN PARTIALLY GROUTED WALLS. BAGS, NEWSPAPERS, ETC. ARE NOT APPROVED GROUT STOPS.</p> <p>6. INITIAL BED JOINT SHALL BE 1/4"MIN. 1" MAX. SUBSEQUENT BED JOINTS SHALL BE 1/2"- MIN., 1/2" MAX.</p> <p>7. VERTICAL CONTINUITY OF CELLS SHALL BE UNOBSTRUCTED. MORTAR PROJECTIONS SHALL NOT EXCEED 1/2" FOR 6" AND LARGER BLOCK. MORTAR DROPPINGS OR OTHER FOREIGN MATTER ARE NOT PERMITTED IN CELLS AND MUST BE REMOVED.</p> <p>8. EXPANSION JOINTS REQUIRED AT 60'-0" MAX. INTERVALS.</p> <p>9. REQUIRED BAR LAPS:</p> <p>A. VERTICAL STEEL : 30 BAR DIAMETERS.</p> <p>B. HORIZONTAL STEEL: 40 BAR DIAMETERS.</p> <p>C. WIRE JOINT REINFORCEMENT IN THE MORTARED BED JOINT: 75 WIRE DIAMETERS OR IN ALTERNATE BED JOINTS OF RUNNING BOND. 54 DIAMETERS PLUS TWICE THE BED JOINT SPACING.</p> <p>10. WHERE HORIZONTAL WIRE JOINT REINFORCEMENT IS REQUIRED OR UTILIZED, IT SHALL BE EQUIVALENT TO TWO 3/16" DIAMETER BARS CONNECTED AT 16" INTERVALS BY NO. 9 GAUGE WELDED WIRE.</p> <p>11. FOR PIPES AND CONDUIT EMBEDDED IN MASONRY. REFER TO SEC. 24-07(g) UBC.</p> <p>12. 3" MIN. COVER REQUIRED FOR REINFORCEMENT IN CONCRETE WHICH IS CAST AGAINST EARTH.</p> <p><u>INSPECTION PROCEDURES:</u></p> <p>1. FOUNDATION: AFTER TRENCHES ARE DUG, STEEL IS TIED IN PLACE AND BEFORE ANY CONCRETE IS POURED.</p> <p>2. PREGROUT: AFTER ALL BLOCKS (EXCEPT CAP) ARE IN PLACE. VERTICAL AND HORIZONTAL STEEL IS IN PLACE. GROUT STOPS (FOR PARTIALLY GROUTED MASONRY) ARE IN PLACE. AND PRIOR TO GROUTING.</p> <p>3. FINAL: AFTER GROUT IS IN PLACE AND PRIOR TO PLACEMENT OF CAP.</p>		
<p align="center">GATE DETAILS</p>		

Architectural plan view of a window unit. The drawing shows a rectangular window frame with a grid of reinforcement bars. Key features and labels include:



















- Dimensions:** Overall width is 33'-4" and overall height is 33'-4". The window opening is 20'-0" wide and 12'-0" high.
- Structural Details:**
 - 8" THICK PCC SLAB W/ 6"X 6"-1.4X1.4 W.W.F. ON 6" 21AA COMPACTED LIMESTONE BASE.**
 - CONC. FOOTING CONST. JOINTS EQ-SPACED**
 - SLEEVE FOR CANE BOLT (TYP.)**
 - 6" PIPE, FILLED W/ CONCRETE. TOP OF PIPE: 4" ABOVE SLAB, SEE DETAIL 7**
 - GALV. STEEL GATE**
 - #4xCONT. E.W. @ 4'-0" O.C.**
 - 6" C.F.**
 - SEE JAMB DETAIL**
 - SPLIT-FACE CMU**
- Reinforcement and Hardware:**
 - Reinforcement bars are labeled with circled numbers: 3, 4, 5, 6, 8, 9.
 - Hardware includes a **6" CANE BOLT** and a **6" CANE BOLT** (labeled 8).
 - Other labels include **1'-4"**, **12'-0"**, and **20'-0"**.
- Orientation and Section Markers:**
 - Section markers A, B, C, and D are indicated with arrows.
 - Orientation is marked with **1/4" = 1'-0"** and a north arrow.

PLAN VIEW 1/4" = 1'-0" **2**

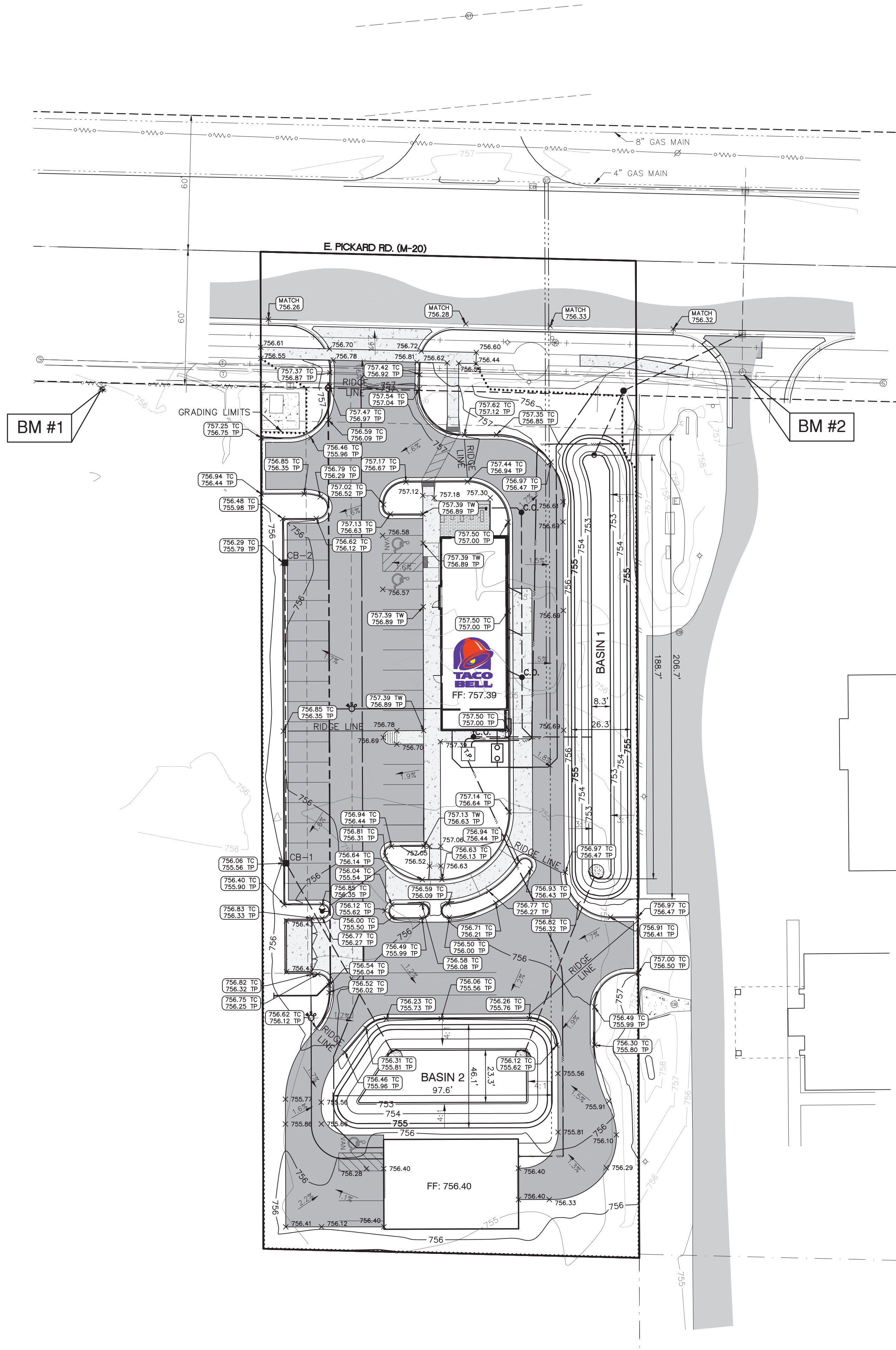
The image contains three architectural drawings of a gate structure:

- Top Drawing (Elevation View):** A side elevation of a gate with a height of 6'-0" and a width of 6'-9". It features a 20 GA. 1-7/8" O.D. GALV STEEL FENCE GATE FRAME (TYP.) with a 1" DROP ROD & FORK (TYP.) and GATE POST. The gate is made of 8" SPLIT-FACE CMU with a color to match the building. The frame is painted inside to match the building's epoxy paint. A 12" MIN. gap is shown at the base. A 1" THK. P.C.C. PAD W/ 6"x6"-1.4X1.4 W.W.F. ON 6" AGG. BASE & 12" WIDE FTG. AROUND PERIMETER OF SLAB is indicated. A 4" MIN. gap is shown at the top. A 12" MIN. gap is shown at the base. A 12" MIN. gap is shown at the base. A 12" MIN. gap is shown at the base.
- Bottom Left Drawing (Elevation View B):** A side elevation of the gate with a height of 6'-6" and a width of 6'-0". It features 8" SPLIT-FACE CMU with a color to match the building.
- Bottom Right Drawing (Elevation View D):** A side elevation of the gate with a height of 6'-6" and a width of 6'-0". It features 8" SPLIT-FACE CMU with a color to match the building. A 6" SCH 80 STEEL PIPE, EMBEDDED INTO FOOTING, is shown.

ELEVATION VIEWS 1/4" = 1'-0" **4**

	PERMITS 12.02.2016
	STORM WATER RW. 12.20.2016
	BUILDING UPDATE 02.06.2017
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	

CONTRACT DATE:	XX.XX.XXXX
BUILDING TYPE:	LG66 Explorer Lite
PLAN VERSION:	2016
SITE NUMBER:	312234
ENTITY NUMBER:	442493



STORM WATER DETENTION BASIN DESIGN:

REQUIREMENTS:

DESIGNED TO CONTAIN 25-YEAR STORM EVENT WITH MAX. ALLOWABLE DISCHARGE OF 0.1 CFS/ACRE, PER UNION TOWNSHIP DESIGN STANDARDS.

TOTAL SITE AREA: 64,287 SQ. FT. (1.4758 AC.) (EXCLUDES R/W)

ALLOWABLE DISCHARGE: 0.15 CFS
25-YEAR STORM VOLUME REQUIRED: 9,040 FT³

BASIN 1
BOTTOM OF BASIN: 752.50
TOP OF BASIN: 755.50

25-YEAR HIGH WATER LEVEL: 754.50
25-YEAR BASIN DEPTH: 2.00 FEET

25-YEAR DETENTION VOLUME PROVIDED: 5,458 FT³

BASIN 2
BOTTOM OF BASIN: 752.70
TOP OF BASIN: 755.50

HIGH WATER LEVEL: 754.50
BASIN DEPTH: 1.80 FEET

25-YEAR STORM DETENTION VOLUME PROVIDED: 4,144 FT³

TOTAL 25-YEAR STORM DETENTION VOLUME PROVIDED: 9,600 FT³

STORM WATER BASINS ARE DESIGNED TO DETAIN ADDITIONAL RUN-OFF IN ORDER TO SAFELY PASS A 100-YEAR STORM EVENT THROUGH THE 4-INCH PIPE CONNECTION ALLOWED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION. ABOVE STAGE STORAGE OF 754.50, DISCHARGE FROM THE SYSTEM IS GOVERNED BY FLOW IN THE 4-INCH PIPE.

Stage Elevation (feet)	Basin 1		Basin 2		Total Volume (cubic feet)	Outflow (cfs)
	Surface Area (square feet)	Stage Volume (cubic feet)	Surface Area (square feet)	Stage Volume (cubic feet)		
752.50	1,591.33	--	--	--	--	0.00
752.70	1,827.51	342	1,574.51	--	342	0.05
753.00	2,186.03	940	1,841.80	512	1,452	0.08
753.50	2,794.86	2,165	2,242.33	1,519	3,684	0.11
754.00	3,447.84	3,691	2,666.60	2,726	6,416	0.13
754.50	4,054.95	5,458	3,117.23	4,144	9,602	0.15
755.00	4,706.19	7,528	3,592.99	5,785	13,314	0.39

BENCHMARKS:

BM #1: ARROW ON HYDRANT
ELEV: 757.93 (NAVD 88)
BM #2: RIM OF STORM SEWER MANHOLE
ELEV: 756.34 (NAVD 88)

THE FORMS FOR CONCRETE SIDEWALKS, CURBS, GUTTERS, AND DRIVEWAYS THAT ARE TO BE CONSTRUCTED TO CONFORM TO EXISTING ROADS SHALL BE INSTALLED TO THE GRADES SHOWN ON THESE PLANS. PRIOR TO PLACING CONCRETE, THE FORMS SHALL BE INSPECTED AND APPROVED BY LOCAL JURISDICTION FOR CONFORMANCE TO EXISTING ROAD IMPROVEMENTS. GRADES OF NEW IMPROVEMENTS ARE SUBJECT TO FIELD ADJUSTMENT TO FIT CONDITIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MATCHING EXISTING FACILITIES TO AVOID ANY ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPES, LOW SPOTS, OR HAZARDOUS CONDITIONS.

ALL GRADING, BACK FILLING, EXCAVATION, ETC., SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORT. REFER TO THIS REPORTS FOR ADDITIONAL INFORMATION NOT TRANSFERRED TO THESE PLANS. SOIL BORING LOCATIONS AND LOGS ARE INCLUDED IN THE REPORT.

WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED WITH ENGINEERED BACKFILL MATERIAL.

A REPRESENTATIVE OF THE SOILS ENGINEER SHALL BE ON THE SITE DURING GRADING OPERATIONS AND SHALL OBSERVE THE CONSTRUCTION AND IDENTIFY ANY CONDITIONS THAT SHOULD BE CORRECTED AND RECOMMEND CORRECTIVE MEASURES TO THE CONTRACTOR.

ALL GRADING, EROSION, AND SEDIMENT CONTROL AND RELATED WORK UNDERTAKEN ON THIS SITE SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION.

THE CONTRACTOR SHALL NOT DISTURB ANY PERMANENT SURVEY POINTS WITHOUT THE CONSENT OF LOCAL JURISDICTION. ANY POINTS DESTROYED SHALL BE REPLACED BY A LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.

GRADING AT THE BOUNDARIES SHALL BE DONE SO AS NOT TO OBSTRUCT THE RUNOFF OF STORM WATERS FROM ADJACENT PROPERTIES.

ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, FERTILIZED AND MULCHED.

CONTRACTOR TO MAINTAIN ALL SOIL EROSION CONTROL MEASURES. SURROUNDING PAVED AREAS SHALL BE POWER BROOMED AS NECESSARY TO REMOVE MUD TRACKING FROM THE SITE.

CONTRACTOR SHALL OBTAIN SOIL EROSION PERMIT PRIOR TO ANY CONSTRUCTION.

ALL STRUCTURES, SIDEWALKS, CURBS AND ASPHALT SHALL HAVE A MINIMUM OF 12" OF CLEAN GRANULAR MATERIAL (M.D.O.T. CLASS II) AS A SUB-BASE AND COMPACTED TO 95% MAXIMUM UNIT DENSITY. IF PUMPING OR YIELDING IS CAUSED BY THE COMPACTIVE EFFORTS, THE SAND LAYER SHALL BE INCREASED UNTIL DENSITY CAN BE OBTAINED WITHOUT PUMPING WATER THROUGH THE SUBGRADE.

GRADING NOTES

3

- = GRADING LIMITS
- XX- = SILT FENCE
- 2.0% = DIRECTION OF RUNOFF
- = STORM SEWER
- = CATCH BASIN
- = STORM MANHOLE
- 582 = PROPOSED CONTOUR
- 581 = EXISTING CONTOUR
- 581.50 TC 581.00 TP = SPOT GRADE
- SPOT ELEVATIONS REPRESENT TOP OF PAVEMENT GRADE UNLESS ANNOTATED OTHERWISE
- TC = TOP OF CURB GRADE
- TW = TOP OF SIDEWALK
- TP = TOP OF PAVEMENT GRADE

4



△	PERMITS 12.02.2016
△	STORM WATER RW. 12.20.2016
△	BUILDING UPDATE 02.06.2017
△	
△	
△	
△	
△	
△	

CONTRACT DATE:	XX.XX.XXXX
BUILDING TYPE:	LG66 Explorer Lite
PLAN VERSION:	2016
SITE NUMBER:	312234
ENTITY NUMBER:	442493

TACO BELL

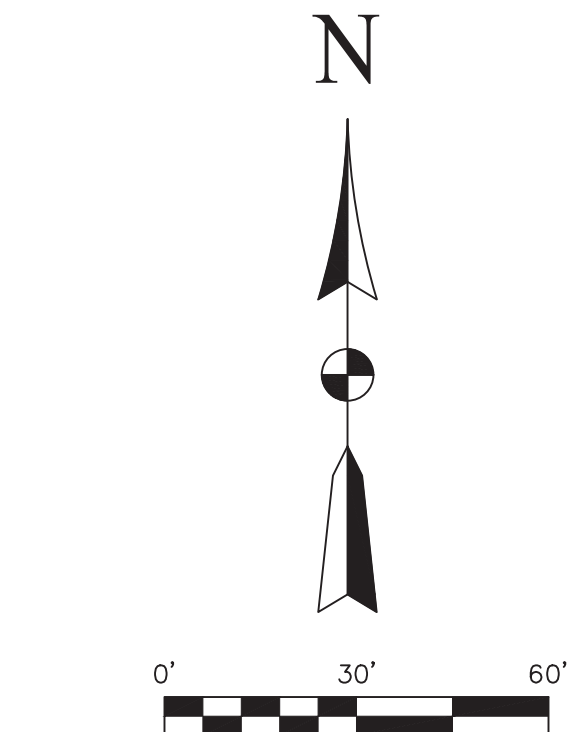
5760 E. PICKARD RD.
MT. PLEASANT, MI



LG66 Exp. Lite

GRADING
PLAN

C4.0



PLANS ARE SUBJECT TO REVIEW AND APPROVAL BY LOCAL PUBLIC WORKS DEPARTMENT. NO CONSTRUCTION SHALL BEGIN WITHOUT ENGINEERING APPROVAL.

ALL TRENCH EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION.

THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO ANY EXCAVATION SO THAT SERVICE LINES CAN BE MARKED.

THE CONTRACTOR SHALL COORDINATE THE WORK TO AVOID CONFLICTS BETWEEN SEWERS, STORM DRAINS, AND WATER MAINS. TEMPORARY REPAIRS TO ALL TRENCHES WITHIN THE TRAVELED WAY, ON EXISTING ROADS, SHALL BE MADE WITHIN TWENTY-FOUR (24) HOURS OF THE TRENCH OPENING. MINIMUM TEMPORARY REPAIRS SHALL CONSIST OF BACKFILLING AND COMPACTING 6" OF AGGREGATE BASE AND 1" OF TEMPORARY ASPHALTIC SURFACE.

EXISTING UNDERGROUND FACILITIES, AS SHOWN, ARE APPROXIMATE ONLY AND WERE OBTAINED FROM AVAILABLE UTILITY RECORDS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY OR COMPLETENESS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL LOCAL UTILITIES AND TO HAVE ALL FACILITIES LOCATED AND EXPOSED TO VERIFY THE CLEARANCE OF NEW PIPE LINE CROSSINGS BEFORE CONSTRUCTION OF NEW PIPE LINES COMMENCES.

ANY RELOCATION OF PUBLIC UTILITIES SHALL BE DONE IN ACCORDANCE WITH ANY AND ALL REQUIREMENTS OF THE UTILITY COMPANY AND WITH REGARD TO THE REQUIRED FEES, BONDS, PERMITS, WORKING CONDITIONS, ETC. OF SAID COMPANY.

ABANDONED UNDERGROUND STRUCTURES ENCOUNTERED SHALL BE REMOVED TO SUFFICIENT DEPTH TO ALLOW UNDERGROUND LINES TO CROSS.

PRIOR TO FINAL PREPARATION OF THE SUBGRADE AND PLACEMENT OF BASE MATERIAL, ALL UNDERGROUND UTILITY MAINS SHALL BE INSTALLED AND SERVICE CONNECTIONS STUBBED OUT BEYOND THE CURB LINE. SERVICES FROM PUBLIC UTILITIES AND SANITARY SEWERS SHALL BE MADE IN A MANNER THAT WILL MINIMIZE THE DISTURBANCE OF THE ADJACENT STREET. ALL CONDUITS SHALL BE SCHEDULE 40 AND BURIED AT A MINIMUM DEPTH OF 3 FEET.

SOIL EROSION CONTROL
A SOIL EROSION CONTROL PLAN IS SHOWN ON THE DRAINAGE PLAN SHEET
C3. THE CONTRACTOR SHALL OBTAIN A PART 91 ACT 451 SOIL EROSION
CONTROL PERMIT, INCLUDING THE PAYMENT OF FEES AND THE PROVIDING OF
NECESSARY BONDS. NO EARTH CHANGES OF EXCAVATION SHALL BE STARTED
PRIOR TO THE ISSUANCE OF THIS PERMIT.

THE CONTRACTOR SHALL PROTECT ALL EXISTING AND PROPOSED SEWER FACILITIES ON OR ADJACENT TO THE SITE DURING EXCAVATION AND CONSTRUCTION. ALL SEDIMENT SHALL BE CONTAINED ON SITE. ANY SILT IN COUNTY DRAINS, STORM SEWER, CULVERTS, ETC. AS A RESULT OF THIS PROJECT SHALL BE REMOVED BY THE CONTRACTOR.

FLOOD PLAIN OR WETLAND CONSTRUCTION
THE PROJECT SITE IS NOT LOCATED WITHIN ANY FLOOD PLAIN OR FLOODWAY.

NPDES STORM WATER DISCHARGE PERMIT IS NOT REQUIRED FOR THIS PROJECT.


















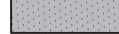
PERMIT TO CONSTRUCT PUBLIC UTILITY
NO PUBLIC UTILITIES ARE BEING CONSTRUCTED UNDER THIS PROJECT.

MUNICIPALITY SEWER & WATER PERMIT
PRIOR TO CONSTRUCTION CONTRACTOR SHALL VERIFY WITH THE OWNER THAT
SEWER AND WATER SERVICE PERMITS HAVE BEEN OBTAIN AND FEES PAID.

STATE CONSTRUCTION PERMITS
NO NEW SANITARY SEWER OR WATER MAINS ARE TO BE CONSTRUCTED UNDER
THIS PROJECT. NO MDEQ PERMITS ARE REQUIRED.

ALL STORM SEWER PIPE SHALL BE ADS N-12 HDPE ST PIPE, OR APPROVED
EQUAL.

UTILITY NOTES	3
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	PR. WATER MAIN
	PR. WATER VALVE
	PR. HYDRANT
	PR. WATER VALVE IN MANHOLE
	PR. STORM SEWER
	PR. STORM INLET/CATCH BASIN
	PR. STORM MANHOLE
	PR. STORM END SECTION
	PR. SANITARY SEWER
	PR. SANITARY MANHOLE
	PR. CLEANOUT
	PR. UTILITY CROSSING LOCATION
	PR. UNDERGROUND GAS
	PR. GAS VALVE
	PR. LIGHT POLE
	PR. ASPHALT PAVEMENT (HEAVY DUTY)
	PR. ASPHALT PAVEMENT (LIGHT DUTY)
	PR. CONCRETE PAVEMENT



WT
DEVELOPMENT
CORPORATION

WT Development Corporation
10223 E. Cherry Bend Rd., Ste. A
Traverse City, Michigan, 49684

Contact: Bill Beckett, President
Phone: (231) 922-9250
Fax: (231) 922-9257

PROJECT CONSULTANT

	PERMITS 12.02.2011
Δ	STORM WATER RW. 12.20.2011
Δ	BUILDING UPDATE 02.06.2011
Δ	
Δ	
Δ	
Δ	
Δ	

CONTRACT DATE: XX.XX.XXXX

BUILDING TYPE: LG66 Explorer Lite

AN VERSION: 2016

TE NUMBER: 312234

ITEM NUMBER: 442493

TACO BELL

5760 E. PICKARD RD
MT. PLEASANT, MI

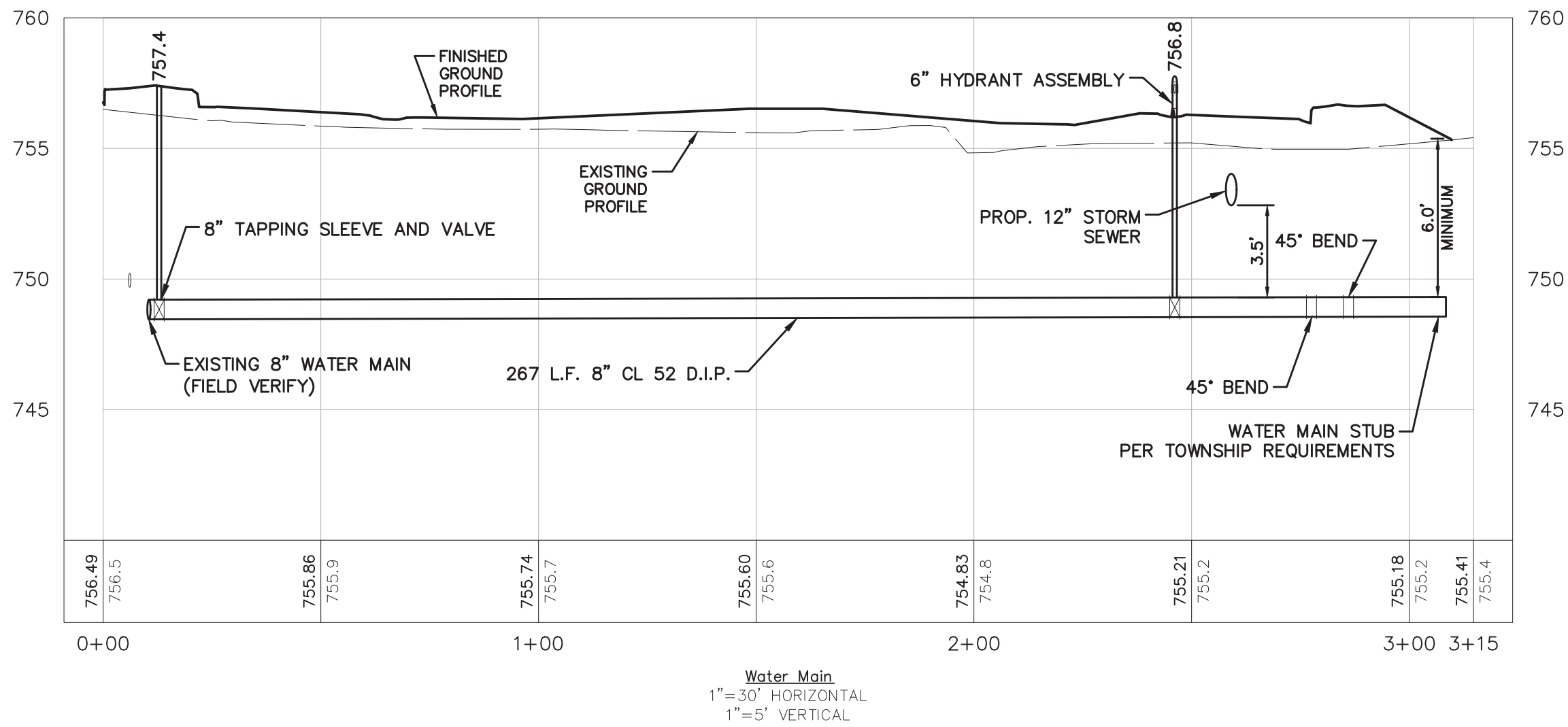
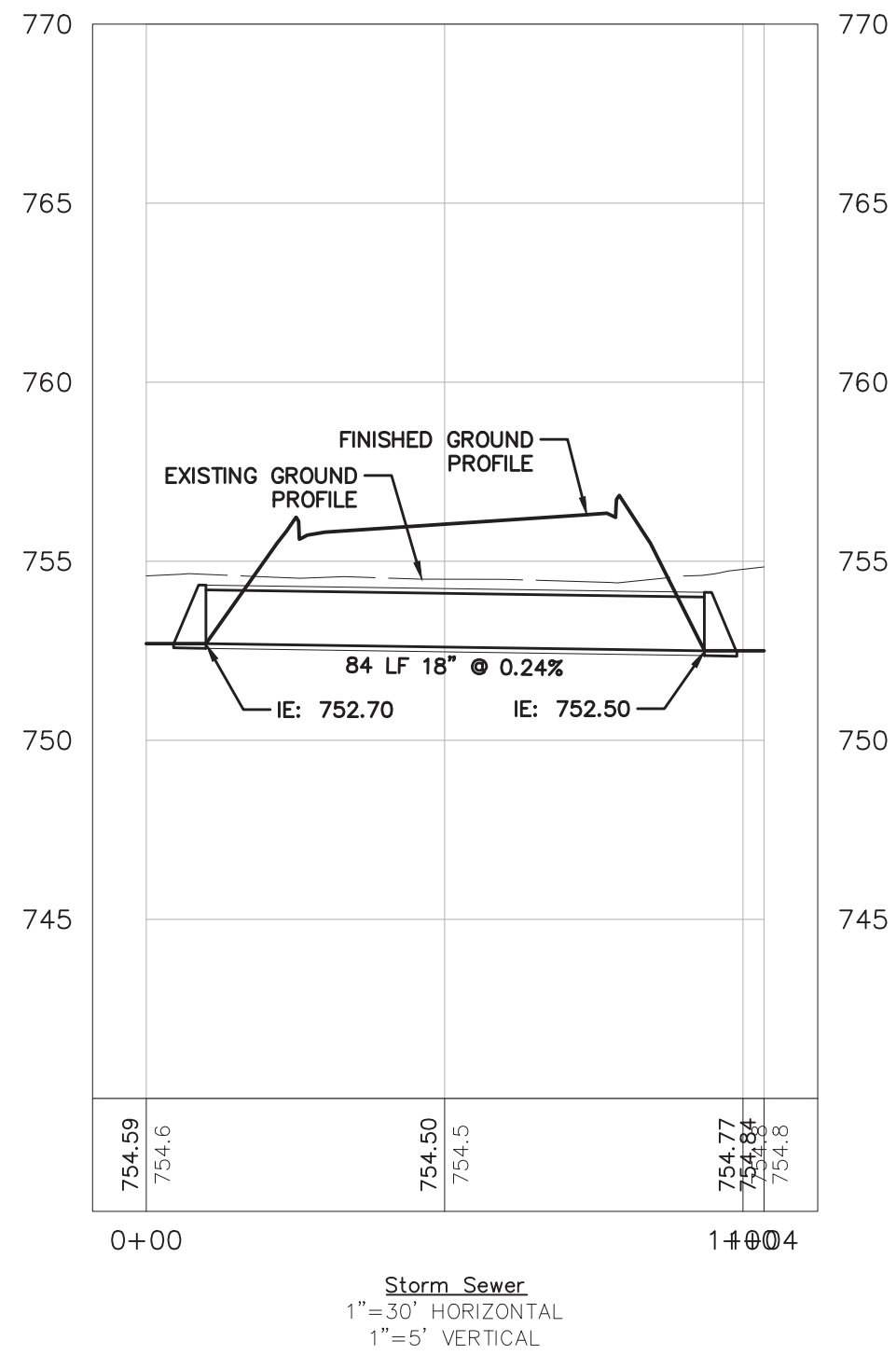
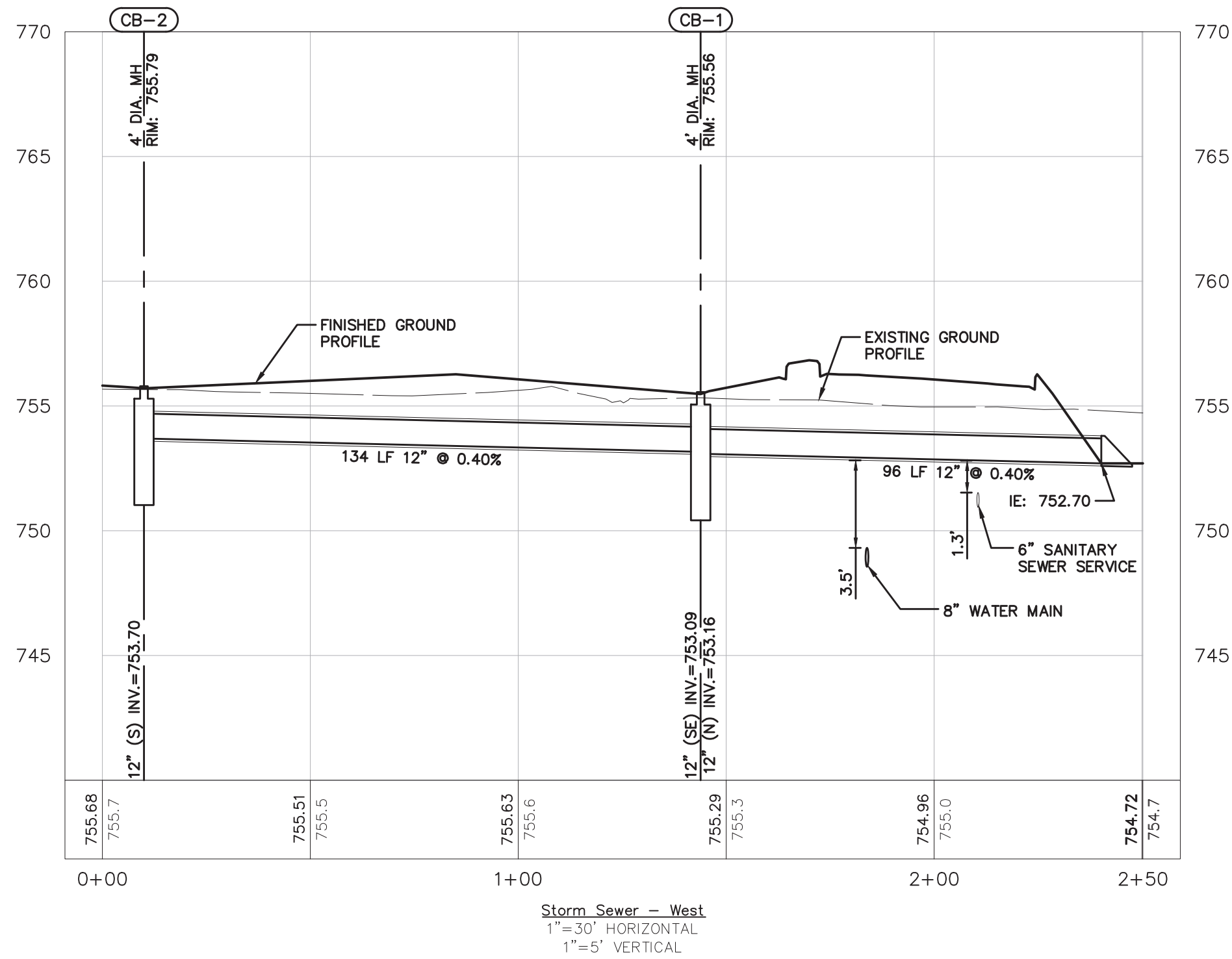
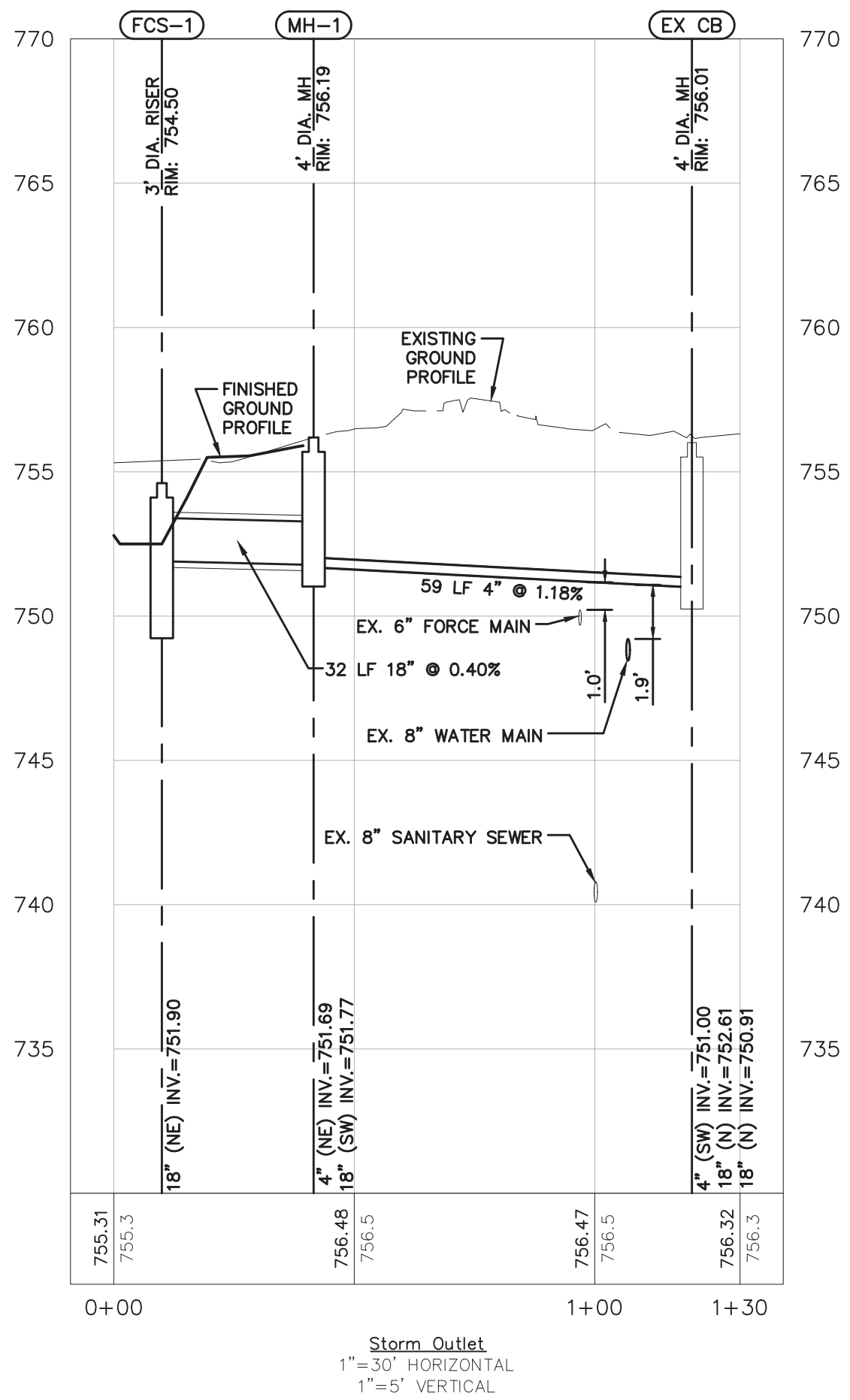


G66 Exp. Lite

UTILITY PLAN

C5.0

OT DATE: 02.06.201



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PROJECT CONSULTANT

△	PERMITS 12.02.2016
△	STORM WATER RW. 12.20.2016
△	BUILDING UPDATE 02.06.2017
△	
△	
△	
△	
△	
△	

CONTRACT DATE:	XX.XX.XXXX
BUILDING TYPE:	LG66 Explorer Lite
PLAN VERSION:	2016
SITE NUMBER:	312234
ENTITY NUMBER:	442493

TACO BELL

5760 E. PICKARD RD.
MT. PLEASANT, MI



LG66 Exp. Lite

UTILITY
PROFILES

C5.1

NOT USED

17

NOT USED

13

NOT USED

9

EJIW 1040 FRAME W/
TYPE M1 GRATE. SET IN
MORTAR BED

BRICK ADJUSTMENT AS
REQUIRED (12" MAX.)

PRECAST CONCRETE
TOP SLAB WITH 26"
DIA. OPENING

PLASTER CEMENT
ON OUTSIDE OF
STRUCTURE

MANHOLE STEPS AT
16" O.C. (TYP.)

24" MAX.

24" SUMP

8" MANHOLE BLOCK

PRECAST CONCRETE
BOTTOM SLAB

6'-0"

CATCH BASIN

N.T.S.

5

THREADED CAP

E.J.I.W. #1578
WATERTIGHT ASSEMBLY
IN ASPHALT PARKING AREA

CONCRETE*

GRAVEL

NOTE: CONTRACTOR TO BURY
AN 18"-#3 REBAR NEXT TO
CLEANOUT TO FACILITATE
LOCATING CLEANOUT IN THE
FUTURE.

RISER TO BE SAME
DIA. AS MAIN

45° BEND

45° BEND OR WYE

FLOW

CLEAN-OUT TO GRADE

N.T.S.

1

NOT USED

18

NOT USED

14

EJIW 1040 FRAME W/
SOLID COVER. SET IN
MORTAR BED

CONCRETE ADJUSTMENT
RINGS AS REQUIRED (12"
MAX. WITH COMBINATION
OF 2", 4", & 6" NO DOUBLES)

PRECAST CONCRETE
TOP SLAB WITH 26" DIA.
OPENING

PLASTER CEMENT ON
OUTSIDE OF STRUCTURE
TO RECEIVE
TWO (2) COATS
BITUMINOUS PAINT

MANHOLE STEPS AT
16" O.C. (TYP.)

4'-0"

8" MANHOLE BLOCK

PRECAST CONCRETE
BOTTOM SLAB

6'-0"

STORM SEWER MANHOLE

N.T.S.

6

PAVED AREAS

UNPAVED AREAS

SEE PAVEMENT SPECIFICATION

D+24" MAXIMUM

2"

2" RIGID FOAM
INSULATION (PAVED
AREAS ONLY WHERE
DEPTH OF COVER < 36")

4" MIN., 6" MAX. (IN MUCK-
EXCAVATE TO FIRM SOIL)

SHAPE TO FIT PIPE
BARREL & BELL

COMPACTED MDOT
2NS SAND FILL
(UNDER PAVED
AREAS, SIDEWALKS,
AND CURB

NATIVE EARTH
WHERE PERMITTED

HAND PLACED
SAND, COMPACTED

HAND COMPACTED
SAND AND/OR GRAVEL

SANITARY SEWER PIPE BEDDING

N.T.S.

2

NOT USED

19

NOTE: STORM WATER DETENTION BASIN SHALL BE
CONSTRUCTED, TOPSOILED, SEEDED, MULCHED, AND
TACKED PRIOR TO MAJOR SITE EARTHWORK. REMOVE
ACCUMULATED SEDIMENT AND REPLACE STONE
SURROUNDING RISERS AFTER CONSTRUCTION HAS
BEEN COMPLETED AND PRIOR TO REMOVING
TEMPORARY EROSIONS CONTROL MEASURES.

FCS-1
SLOW RELEASE/OVERFLOW STRUCTURE
SEE DETAIL 12/C5.2
RIM: 754.50
NE IE: 751.90 18" HDPE

TOP OF BASIN: 756.00
RIM: 756.19
SEE DETAIL
6/C5.2

0.5' FREEBOARD

32 L.F. 18" HDPE @ 0.40%

MDOT 6A STONE

3' WASHED STONE

18" IE: 751.77
4" IE: 751.69
59 L.F. 4" PVC @ 1.18%
(TO EX. CATCH BASIN)

84 L.F. 18" HDPE @ 0.24%

IE: 752.50

PIPE OUTLET:
SEE DETAIL 8/C5.2

(1) 2.0" HOLE
IE: 752.50

BASIN HIGH WATER LEVEL: 755.50
25-YEAR STORM WATER LEVEL: 754.50

DETENTION BASIN SECTION

N.T.S.

11

BUILDING
FACE

METAL DOWNSPOUT

NYLOPLAST CLEAN
OUT END CAP ADJUST
GRADE PER PLAN

FINISHED GRADE

45° WYE

INJECTION MOLDED WT
TEE FITTING

INSERT INJECTION MOLDED,
GASKETED SPIGOT BY BELL
REDUCER

DOWNSPOUT ADAPTER

45° BEND

90° BEND

SNAP CONNECTION
(TYP.)

6" ADS N-12 ST PIPE (TYP.)

ROOF LEAD CONNECTION

N.T.S.

7

"A"

16"

TOP VIEW

24" HEAVY DUTY CAST
IRON FRAME & COVER
WITH GASKET.

WHERE LOCATED IN
PAVEMENT AREAS PROVIDE 8"
CONC. SLAB OVER WITH #5
@12" OC E.W.

4" INLET & OUTLET PIPE
AND FITTINGS STANDARD

RISERS AS REQD.

3'-0" MIN.

INVERT
INLET

17" MIN.

5'-0" OR BELOW
LOCAL FROST DEPTH

6'-0"

4'-9"

SECTION

G.T. SIZE	DIM. "A"	DIM. "B"
500 GALLON	6'-2"	4'-2"
750 GALLON	8'-1"	4'-0"
1000 GALLON	8'-2"	5'-1"
1200 GALLON	8'-6"	5'-9"

NOTE:
UTILIZE 1,000 GALLON INTERCEPTOR UNLESS LOCAL
CODES SPECIFY ALTERNATIVE CAPACITY.

GREASE TRAP

N.T.S.

4

NOT USED

20

NOTE: STORM WATER DETENTION BASIN SHALL BE
CONSTRUCTED, TOPSOILED, SEEDED, MULCHED, AND
TACKED PRIOR TO MAJOR SITE EARTHWORK. REMOVE
ACCUMULATED SEDIMENT AND REPLACE STONE
SURROUNDING RISERS AFTER CONSTRUCTION HAS
BEEN COMPLETED AND PRIOR TO REMOVING
TEMPORARY EROSIONS CONTROL MEASURES.

FCS-1
SLOW RELEASE/OVERFLOW STRUCTURE
SEE DETAIL 12/C5.2
RIM: 754.50
NE IE: 751.90 18" HDPE

TOP OF BASIN: 756.00
RIM: 756.19
SEE DETAIL
6/C5.2

0.5' FREEBOARD

32 L.F. 18" HDPE @ 0.40%

MDOT 6A STONE

3' WASHED STONE

18" IE: 751.77
4" IE: 751.69
59 L.F. 4" PVC @ 1.18%
(TO EX. CATCH BASIN)

84 L.F. 18" HDPE @ 0.24%

IE: 752.50

PIPE OUTLET:
SEE DETAIL 8/C5.2

(1) 2.0" HOLE
IE: 752.50

BASIN HIGH WATER LEVEL: 755.50
25-YEAR STORM WATER LEVEL: 754.50

DETENTION BASIN SECTION

N.T.S.

11

KENNEDY SYSTEMS, INC.
CONTACT: RAY KENNEDY
PHONE: (800) 699-4046

DETENTION BASIN
SEE DETAIL 11/C5.2

3 (TYP.)

1

36" POLY-COATED
BEEHIVE
GRATE (KSI OR
APPROVED EQUAL)

RIM: 754.50

MDOT 6A STONE

1/4"

3' WASHED
STONE

DRILL (1) 2" HOLE
IE: 752.50

36" DIA. HDPE RISER

2' SUMP

8" CONCRETE

FLOW CONTROL STRUCTURE

N.T.S.

12

NOTE: ALL INLETS TO DETENTION BASIN SHALL BE IN ACCORDANCE WITH THIS DETAIL

REFER TO PLAN FOR
PIPE SPECIFICATION

FLARED END
SECTION

1/2 CUBIC YARD 8" - 12"
QUARRY STONE RIP RAP.
WIDTH SHALL BE 12"
BEYOND END SECTION.

4 OZ. NON-WOVEN
GEOTEXTILE FABRIC
(EVERGREEN 550 OR
APPROVED EQUAL),
KEYED-INTO SOIL AT
EDGES

6" OR PER PLAN

8" BELOW
GRADE

NOTE: INSTALL ANIMAL GRATES ON ALL PIPE OUTLETS 15"Ø AND LARGER

PIPE OUTLET

N.T.S.

8

METRO CONSULTING ASSOCIATES

Relationships | Reputation | Results

800.525.6016 www.metroca.net

WT
DEVELOPMENT
CORPORATION

WT Development Corporation
10223 E. Cherry Bend Rd., Ste. A
Traverse City, Michigan, 49684
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Fax: (231) 922-9257
PROJECT CONSULTANT

PERMITS 12.02.2016

STORM WATER RWV. 12.20.2016

BUILDING UPDATE 02.06.2017

CONTRACT DATE: XX.XX.XXXX

BUILDING TYPE: LG66 Explorer Lite

PLAN VERSION: 2016

SITE NUMBER: 312234

ENTITY NUMBER: 442493

TACO BELL

5760 E. PICKARD RD.
MT. PLEASANT, MI

TACO
BELL

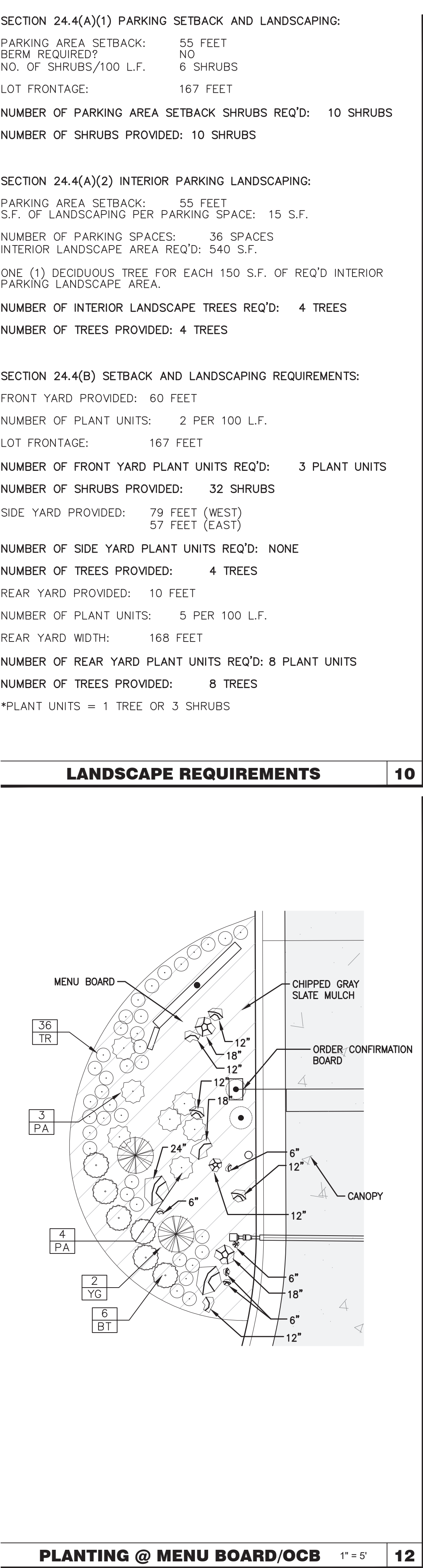
LG66 Exp. Lite

UTILITY
DETAILS

C5.2

PLOT DATE: 02.06.2017

42



METRO CONSULTING ASSOCIATES
Relationships | Reputation | Results
800.525.6016 www.metroca.net



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PROJECT CONSULTANT

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CONTRACT DATE:	XX.XX.XXXX
BUILDING TYPE:	LG66 Explorer Lite
PLAN VERSION:	2016
SITE NUMBER:	312234
ENTITY NUMBER:	442493

TACO BELL

5760 E. PICKARD RD.
MT. PLEASANT, MI



LG66 Exp. Lite

LANDSCAPE PLAN

L1.0

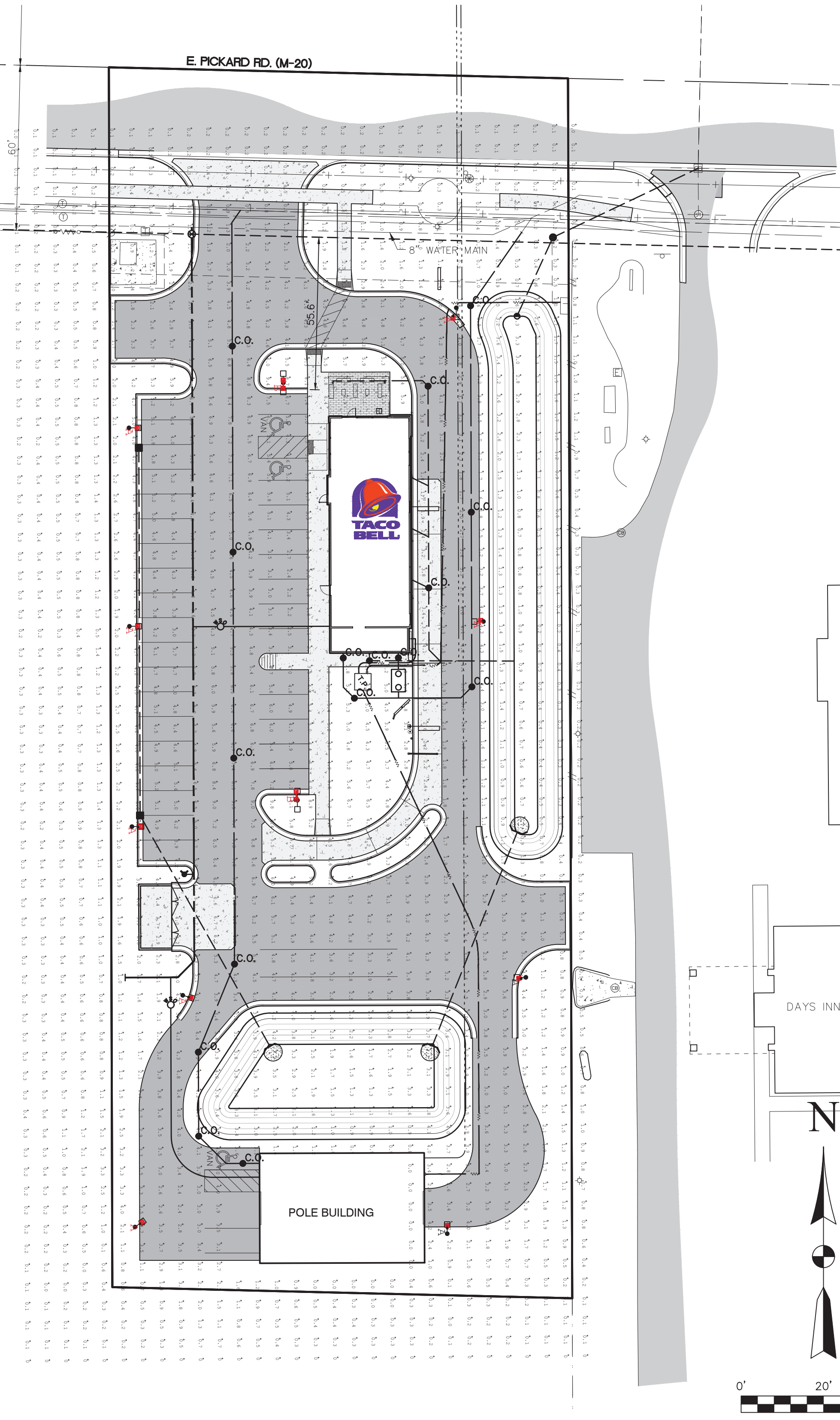
PLOT DATE: 01.13.2017

Luminaire Schedule			
Symbol	Qty	Label	Description
	9	A	XLCM-FTE-LED-HO-CW
	2	B	XLCM-FTE-LED-HO-CW

PHOTOMETRICS COMPLETED BY
CAPITOL LIGHT
270 LOCUST STREET
HARTFORD, CT 06141-0179
CONTACT: DAN CLANCY
PHONE: (860) 520-2395
E-MAIL:
DANIEL.CLANCY@CAPITOLLIGHT.COM
JANUARY 27, 2017

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
DRIVE THRU SURFACE	3.84	5.5	1.7	2.26	3.24
LANDSCAPE AREA	1.87	4.6	0.2	8.35	23.00
PARKING LOT SURFACE	5.15	9.5	1.8	2.86	5.28

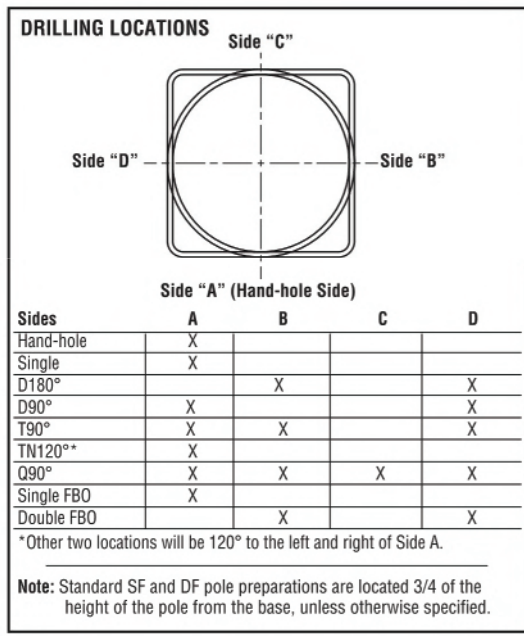
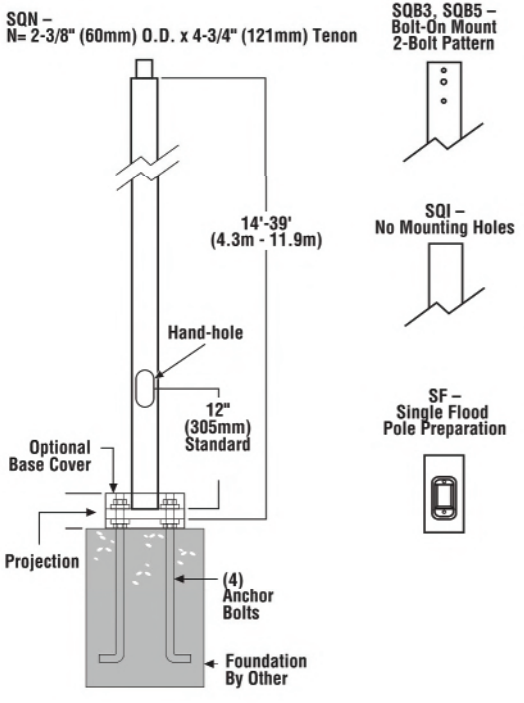
MOUNTING HEIGHT 25'



STEEL SQUARE POLES

DIMENSIONS

SOB - N= 2-3/8" (60mm) O.D. x 4-3/4" (121mm) Tenon



SHIPPING WEIGHTS - Steel Square Poles				
Label	Avg	Max	Min	Avg/Min
DRIVE THRU SURFACE	3.84	5.5	1.7	2.26
LANDSCAPE AREA	1.87	4.6	0.2	8.35
PARKING LOT SURFACE	5.15	9.5	1.8	2.86

SHIPPING WEIGHTS - Steel Square Poles				
Label	Avg	Max	Min	Avg/Min
DRIVE THRU SURFACE	3.84	5.5	1.7	2.26
LANDSCAPE AREA	1.87	4.6	0.2	8.35
PARKING LOT SURFACE	5.15	9.5	1.8	2.86

SHIPPING WEIGHTS - Steel Square Poles				
Label	Avg	Max	Min	Avg/Min
DRIVE THRU SURFACE	3.84	5.5	1.7	2.26
LANDSCAPE AREA	1.87	4.6	0.2	8.35
PARKING LOT SURFACE	5.15	9.5	1.8	2.86

SHIPPING WEIGHTS - Steel Square Poles				
Label	Avg	Max	Min	Avg/Min
DRIVE THRU SURFACE	3.84	5.5	1.7	2.26
LANDSCAPE AREA	1.87	4.6	0.2	8.35
PARKING LOT SURFACE	5.15	9.5	1.8	2.86

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LANDSCAPE AREA	1.87	4.6	0.2	8.35
PARKING LOT SURFACE	5.15	9.5	1.8	2.86

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PARKING LOT SURFACE	5.15	9.5	1.8	2.86

POLE SHAFT - Pole shaft is electro-welded ASTM-A500 Grade C steel tubing with a minimum yield strength of 50,000 psi. On Tenon Mount steel poles, tenon is 2-3/8" O.D. high-strength pipe. Tenon is 4-3/4" in length. Straight poles are 4", 5", and 6" square.

HAND-HOLE - Standard hand-hole location is 12" above pole base. Poles 22' and above have a 3" x 6" reinforced hand-hole. Shorter poles have a 2" x 4" non-reinforced hand-hole.

BASE - Pole base is ASTM-A36 hot-rolled steel plate with a minimum yield strength of 36,000 psi. Two-piece square base cover is optional.

ANCHOR BOLTS - Poles are furnished with anchor bolts featuring zinc-plated double nuts and washers. Galvanized anchor bolts are optional. Anchor bolts conform to ASTM F 1554-07a Grade 55 with a minimum yield strength of 55,000 psi.

GROUND LUG - Ground lug is standard.

DUPLEX RECEPTACLE - Weatherproof duplex receptacle is optional.

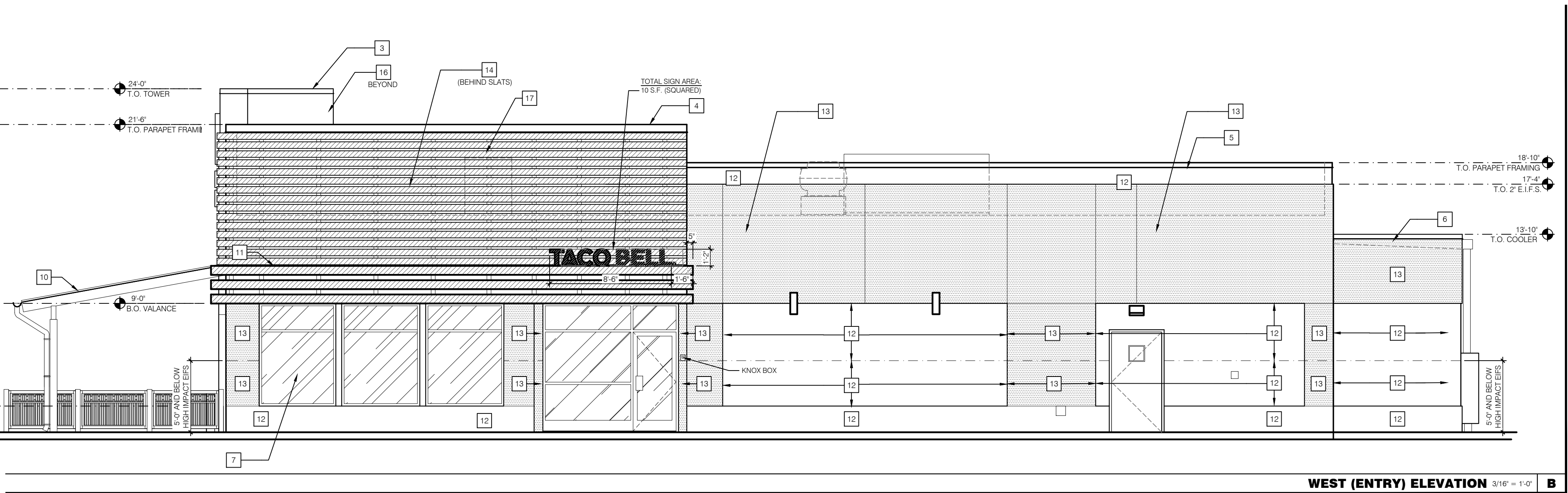
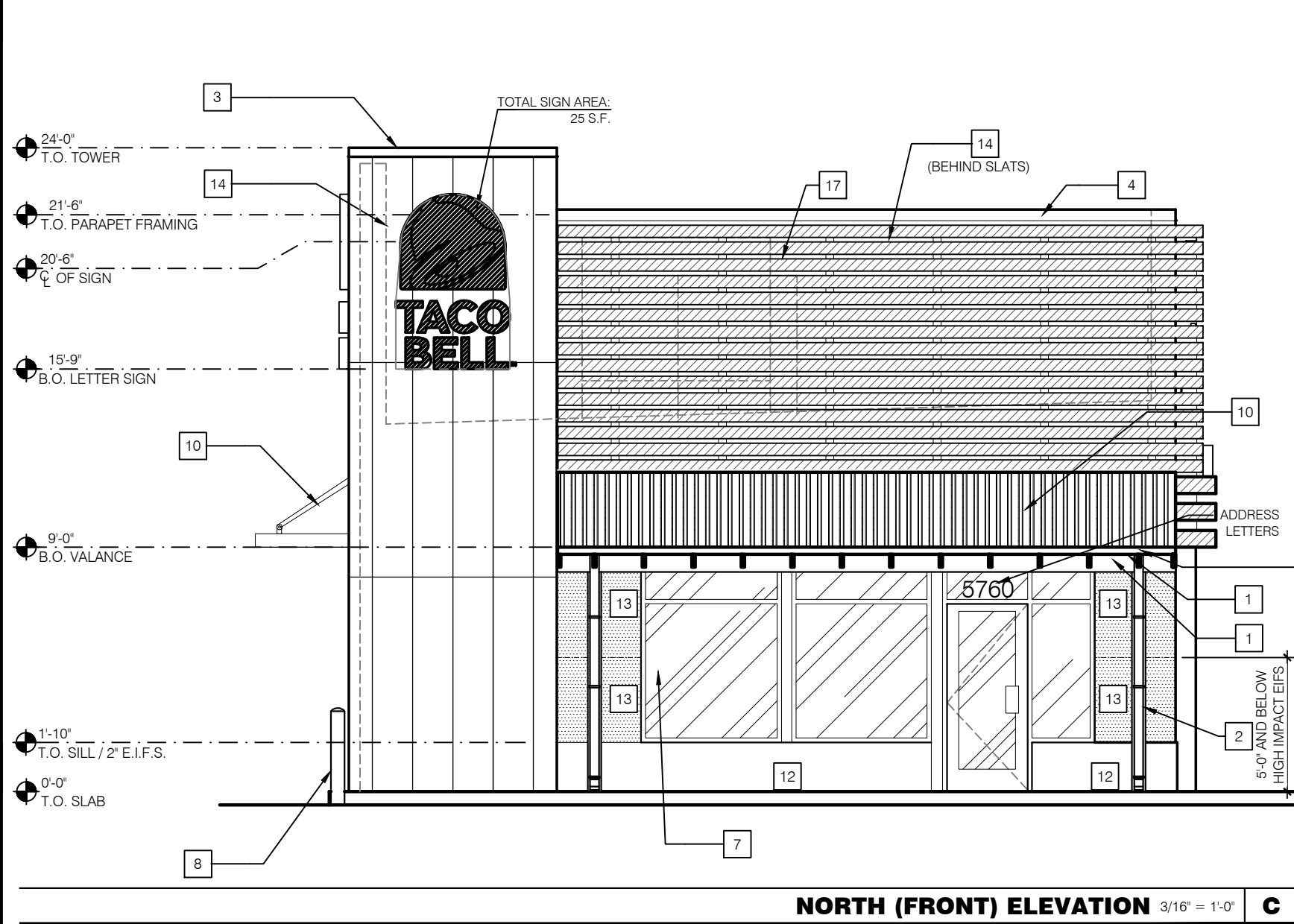
GROUND FAULT CIRCUIT INTERRUPTER - Self-testing ground fault circuit interrupter is optional.

FINISHES - Each pole is finished with DuraGrip®. LSI's baked-on polyester-powder finishing process which electrostatically applies and fuses a polyester powder to the pole. Provides an extremely smooth and uniform finish to withstand extreme weather changes without cracking or peeling, and features a five-year limited warranty. Optional DuraGrip® Plus features the added protection of a 3.0 to 5.0 mil thickness of polyester-powder finish plus an inner coating, as well as a seven-year limited warranty.

DETERMINING THE LUMINAIRE/POLE COMBINATION FOR YOUR APPLICATION:

- Select luminaire from luminaire ordering information
- Select bracket configuration if required
- Determine EPA value from luminaire/bracket EPA chart
- Select pole height
- Select MPH to match wind speed in the application area (See windspeed map).
- Confirm pole EPA equal to or exceeding value from note above
- Consult factory for special wind load requirements and banner brackets

POLE SELECTION CHART: 4" (102mm), 5" (127mm) and 6" (152mm) steel square poles							
Height	EPA*				Outside Dimensions	Material	Bolt Circle
	70 MPH	80 MPH	90 MPH	100 MPH	4" (102mm)	5" (127mm)	6" (152mm)
14 (4.3m)	23.3	16.7	12.2	9.0	4" (102mm)	S116	B
16 (4.9m)	18.6	13.1	9.3	6.5	4" (102mm)	S116	B
18 (5.2m)	14.4	9.7	6.5	4.2	4" (102mm)	S116	B
18 (5.5m)	14.4	9.7	6.5	4.2	4" (102mm)	S116	B
20 (6.1m)	11.0	7.0	4.2	2.2	4" (102mm)	S116	B
20 (6.1m)	11.0	7.0	4.2	2.2	4" (102mm)	S116	B
22 (6.7m)	8.8	5.5	3.3	1.1	4" (102mm)	S116	C
22 (6.7m)	8.8	5.5	3.3	1.1	5" (127mm)	S116	C
22 (6.7m)	8.8	5.5	3.3	1.1	6" (152mm)	S070	D
22 (6.7m)	8.8	5.5	3.3	1.1	6" (152mm)	S116	D
22 (6.7m)	8.8	5.5	3.3	1.1	6" (152mm)	S116	D
24 (7.3m)	7.0	4.0	1.5	—	4" (102mm)	S116	B
24 (7.3m)	7.0	4.0	1.5	—	5" (127mm)	S116	B
24 (7.3m)	7.0	4.0	1.5	—	6" (152mm)	S070	D
24 (7.3m)	7.0	4.0	1.5	—	6" (152mm)	S116	D
24 (7.3m)	7.0	4.0	1.5	—	6" (152mm)	S116	D
26 (7.9m)	5.5	3.3	1.1	—	4" (102mm)	S116	B
26 (7.9m)	5.5	3.3	1.1	—	5" (127mm)	S116	B
26 (7.9m)	5.5	3.3	1.1	—	6" (152mm)	S070	D
26 (7.9m)	5.5	3.3	1.1	—	6" (152mm)	S116	D
26 (7.9m)	5.5	3.3	1.1	—	6" (152mm)	S116	D
28 (8.5m)	4.0	1.5	—	—	4" (102mm)	S116	B
28 (8.5m)	4.0	1.5	—	—	5" (127mm)	S116	B
28 (8.5m)	4.0	1.5	—	—	6" (152mm)	S070	D
28 (8.5m)	4.0	1.5	—	—	6" (152mm)	S116	D
28 (8.5m)	4.0	1.5	—	—	6" (152mm)	S116	D
30 (9.1m)	3.3	1.1	—	—	4" (102mm)	S116	B
30 (9.1m)	3.3	1.1	—	—	5" (127mm)	S116	B
30 (9.1m)	3.3	1.1	—	—	6" (152mm)	S070	D
30 (9.1m)	3.3	1.1	—	—	6" (152mm)	S116	D
30 (9.1m)	3.3	1.1	—	—	6" (152mm)	S116	D
32 (9.7m)	2.2	—	—	—	4" (102mm)	S116	B
32 (9.7m)	2.2	—	—	—	5" (127mm)	S116	B
32 (9.7m)	2.2	—	—	—	6" (152mm)	S070	D
32 (9.7m)	2.2	—	—	—	6" (152mm)	S116	D
32 (9.7m)	2.2	—	—	—	6" (152mm)	S116	D
34 (10.3m)	1.1	—	—	—	4" (102mm)	S116	B
34 (10.3m)	1.1	—	—	—	5" (127mm)	S116	B
34 (10.3m)	1.1	—	—	—	6" (152mm)	S070	D
34 (10.3m)	1.1	—	—	—	6" (152mm)	S116	D
34 (10.3m)	1.1	—	—	—	6" (152mm)	S116	D
36 (10.9m)	—	—	—	—	4" (102mm)	S116	B
36 (10.9m)	—	—	—	—	5" (127mm)	S116	B
36 (10.9m)	—	—	—	—	6" (152mm)	S070	D
36 (10.9m)	—	—	—	—	6" (152mm)	S116	D
36 (10.9m)	—	—	—	—	6" (152mm)	S116	D
38 (11.5m)	—	—	—	—	4" (102mm)	S116	B
38 (11.5m)	—	—	—	—	5" (127mm)	S116	B
38 (11.5m)	—	—	—	—	6" (152mm)	S070	D
38 (11.5m)	—	—	—	—	6" (152mm)	S116	D
38 (11.5m)	—	—	—	—	6" (152mm)	S116	D
40 (12.1m)	—	—	—	—	4" (102mm)	S116	B
40 (12.1m)	—	—	—	—	5" (127mm)	S116	B
40 (12.1m)	—	—	—	—	6" (152mm)	S070	D
40 (12.1m)	—	—	—	—	6" (152mm)	S116	D
40 (12.1m)	—	—	—	—	6" (152mm)	S116	D
42 (12.7m)	—	—	—	—	4" (102mm)	S116	B
42 (12.7m)	—	—	—	—	5" (127mm)	S116	B
42 (12.7m)	—	—	—	—	6" (152mm)	S070	D
42 (12.7m)	—	—	—	—	6" (152mm)	S116	D
42 (12.7m)	—	—	—	—	6" (152mm)	S116	D
44 (13.3m)	—	—	—	—	4" (102mm)	S116	B
44 (13.3m)	—	—	—	—	5" (127mm)	S116	B
44 (13.3m)	—	—	—	—	6" (152mm)	S070	D
44 (13.3m)	—	—	—	—	6" (152mm)	S116	D
44 (13.3m)	—	—	—	—	6" (152mm)	S116	D
46 (13.9m)	—	—	—	—	4" (102mm)	S116	B
46 (13.9m)	—	—	—	—	5" (127mm)	S116	B
46 (13.9m)	—	—	—	—	6" (152mm)	S070	D
46 (13.9m)	—	—	—	—	6" (152mm)	S116	D
46 (13.9m)	—	—	—	—	6" (152mm)	S116	D
48 (14.5m)	—	—	—	—	4" (102mm)	S116	B
48 (14.5m)	—	—	—	—	5" (127mm)	S116	B
48 (14.5m)	—	—	—	—	6" (152mm)	S070	D
48 (14.5m)	—	—	—	—	6" (152mm)	S116	D
48 (14.5m)	—	—	—	—	6" (152mm)	S116	D
50 (15.1m)	—	—	—	—	4" (102mm)	S116	B
50 (15.1m)	—	—	—	—	5" (127mm)	S116	B
50 (15.1m)	—	—	—	—	6" (152mm)	S070	D
50 (15.1m)	—	—	—	—	6" (152mm)	S116	D
50 (15.1m)	—	—	—	—	6" (152mm)	S116	D
52 (15.7m)	—	—	—	—	4" (102mm)	S116	B
52 (15.7m)	—	—	—	—	5" (127mm)	S116	B
52 (15.7m)	—	—	—	—	6" (152mm)	S070	D
52 (15.7m)	—	—	—	—	6" (152mm)	S116	D
52 (15.7m)	—	—	—	—	6" (152mm)	S116	D
54 (16.3m)	—	—	—	—	4" (102mm)	S116	B
54 (16.3m)	—	—	—	—	5" (127mm)	S116	B
54 (16.3m)	—	—	—	—	6" (152mm)	S070	D
54 (16.3m)	—	—	—	—	6" (152mm)	S116	D
54 (16.3m)	—	—	—	—	6" (152mm)	S116	D
56 (16.9m)	—	—	—	—	4" (102mm)	S116	B
56 (16.9m)	—	—	—	—	5" (127mm)	S116	B
56 (16.9m)	—	—	—	—	6" (152mm)	S070	D
56 (16.9m)	—	—	—	—	6" (152mm)	S116	D
56 (16.9m)	—	—	—	—	6" (152mm)	S116	D
58 (17.5m)	—	—	—	—	4" (102mm)	S116	B
58 (17.5m)	—	—	—	—	5" (127mm)	S116	B
58 (17.5m)	—	—	—	—	6" (152mm)	S070	D
58 (17.5m)	—	—	—	—	6" (152mm)	S116	D
58 (17.5m)	—	—	—	—	6" (152mm)	S116	D
60 (18.1m)	—	—	—	—	4" (102mm)	S116	B
60 (18.1m)	—	—	—	—	5" (127mm)	S116	B
60 (18.1m)	—	—	—	—	6" (152mm)	S070	D
60 (18.1m)	—	—	—	—	6" (152mm)	S116	D
60 (18.1m)	—	—	—	—	6" (152mm)	S116	D
62 (18.7m)	—	—	—	—	4" (102mm)	S116	B
62 (18.7m)	—	—	—	—	5" (127mm)	S116	B
62 (18.7m)	—	—	—	—	6" (152mm)	S070	D
62 (18.7m)	—	—	—	—	6" (152mm)	S116	D
62 (18.7m)	—	—	—	—	6" (152mm)	S116	D
64 (19.3m)	—	—	—	—	4" (102mm)	S116	B
64 (19.3m)	—	—	—	—	5" (127mm)	S116	B
64 (19.3m)	—	—	—	—	6" (152mm)	S070	D
64 (19.3m)	—	—	—	—	6" (152mm)	S116	D
64 (19.3m)	—	—	—	—	6" (152mm)	S116	D
66 (19.9m)	—	—	—	—	4" (102mm)	S116	B
66 (19.9m)	—	—	—	—	5" (127mm)	S116	B
66 (19.9m)	—	—	—	—	6" (152mm)	S070	D
66 (19.9m)	—	—	—	—	6" (152mm)	S116	D
66 (19.9m)	—	—	—	—	6" (152mm)	S116	D
68 (20.5m)	—	—	—	—	4" (102mm)	S116	B
68 (20.5m)	—	—	—	—	5" (127mm)	S116	B
68 (20.5m)	—	—	—	—	6" (152mm)	S070	D
68 (20.5m)	—	—	—	—	6" (152mm)	S116	D
68 (20.5m)	—	—	—	—	6" (152mm)	S116	D
70 (21.1m)	—	—	—	—	4" (102mm)	S116	B
70 (21.1m)	—	—	—	—	5" (127mm)	S116	B
70 (21.1m)	—	—	—	—	6" (152mm)	S070	D
70 (21.1m)	—	—	—	—	6" (152mm)	S116	D
70 (21.1m)	—	—	—	—	6" (152mm)	S116	D
72 (21.7m)	—	—	—	—	4" (102mm)	S116	B
72 (21.7m)	—	—	—	—	5" (127mm)	S116	B
72 (21.7m)	—	—	—	—	6" (152mm)	S070	D
72 (21.7m)	—	—	—	—	6" (152mm)	S116	D
72 (21.7m)	—	—	—	—	6" (152mm)	S116	D
74 (22.3m)	—	—	—	—	4" (102mm)	S116	B
74 (22.3m)	—	—	—	—	5" (127mm)	S116	B
74 (22.3m)	—	—	—	—	6" (152mm)	S070	D
74 (22.3m)	—	—	—	—	6" (152mm)	S116	D
74 (22.3m)	—	—	—	—	6" (152mm)	S116	D
76 (22.9m)	—	—	—	—	4" (102mm)	S116	B
76 (22.9m)	—	—	—	—	5" (127mm)	S116	B
76 (22.9m)	—	—	—	—	6" (152mm)	S070	D
76 (22.9m)	—	—	—	—	6" (152mm)	S116	D
76 (22.9m)	—	—	—	—	6" (152mm)	S116	D
78 (23.5m)	—	—	—	—	4" (102mm)	S116	B
78 (23.5m)	—	—	—	—	5" (127mm)	S116	B
78 (23.5m)	—	—	—	—	6" (152mm)	S070	D
78 (23.5m)	—	—	—	—	6" (152mm)	S116	D
78 (23.5m)	—	—	—	—	6" (152mm)	S116	D
80 (24.1m)	—	—	—	—	4" (102mm)	S116	B
80 (24.1m)	—	—	—	—	5" (127mm)	S116	B
80 (24.1m)	—	—	—	—	6" (152mm)	S070	D
80 (24.1m)	—	—	—	—	6" (152mm)	S116	D
80 (24.1m)	—	—	—	—	6" (152mm)	S116	D
82 (24.7m)	—	—	—	—	4" (102mm)	S116	B
82 (24.7m)	—	—	—	—	5" (127mm)	S116	B
82 (24.7m)	—	—	—	—	6" (152mm)	S070	D
82 (24.7m)	—	—	—	—	6" (152mm)	S116	D
82 (24.7m)	—	—	—	—	6" (152mm)	S116	D
84 (25.3m)	—	—	—	—	4" (102mm)	S116	B
84 (25.3m)	—	—	—	—	5" (127mm)	S116	B
84 (25.3m)	—	—	—	—	6" (152mm)	S070	D
84 (25.3m)	—	—	—	—	6" (152mm)	S116	D
84 (25.3m)	—	—	—	—	6" (152mm)	S116	D
86 (25.9m)	—	—	—	—	4" (102mm)	S116	B
86 (25.9m)	—	—	—	—	5" (127mm)	S116	B
86 (25.9m)	—	—	—	—	6" (152mm)	S070	D
86 (25.9m)	—	—	—	—	6" (152mm)	S116	D
86 (25.9m)	—	—	—	—	6" (152mm)	S116	D
88 (26.5m)	—	—	—	—	4" (102mm)	S116	B
88 (26.5m)	—	—	—	—	5" (127mm)	S116	B
88 (26.5m)	—	—	—	—	6" (152mm)	S070	D
88 (26.5m)	—	—	—	—	6" (152mm)	S116	D
88 (26.5m)	—	—	—	—	6" (152mm)	S116	D
90 (27.1m)	—	—	—	—	4" (102mm)	S116	B
90 (27.1m)	—	—	—	—	5" (127mm)	S116	B
90 (27.1m)	—	—	—	—	6" (152mm)	S070	D
90 (27.1m)	—	—	—	—	6" (152mm)	S116	D
90 (27.1m)	—	—	—	—	6" (152mm)	S116	D
92 (27.7m)	—	—	—	—	4" (102mm)	S116	B
92 (27.7m)	—						



SIGNAGE CALCULATIONS:

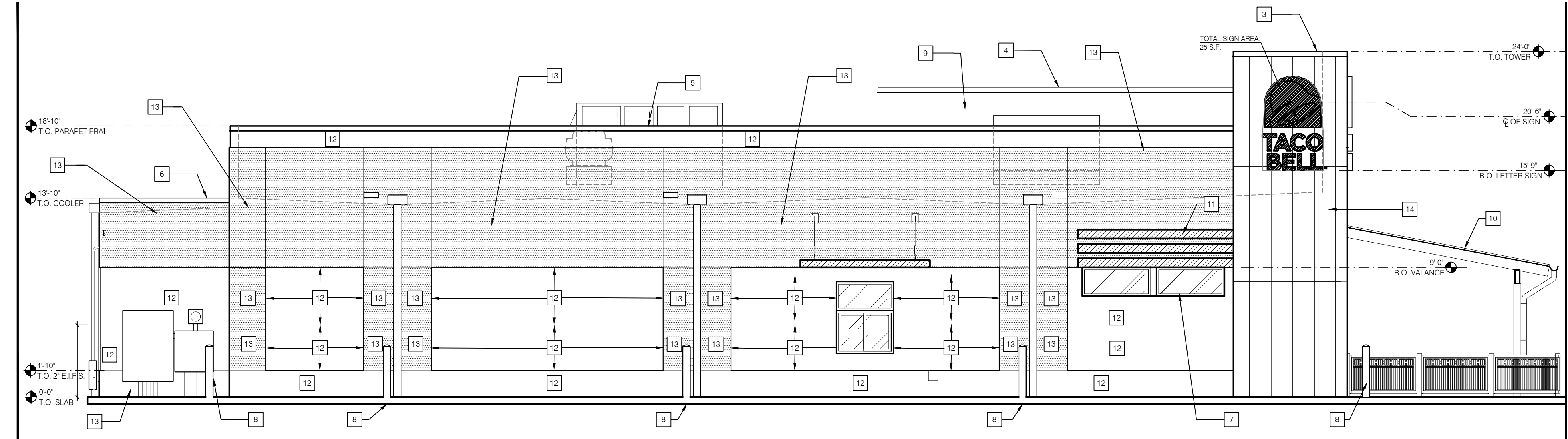
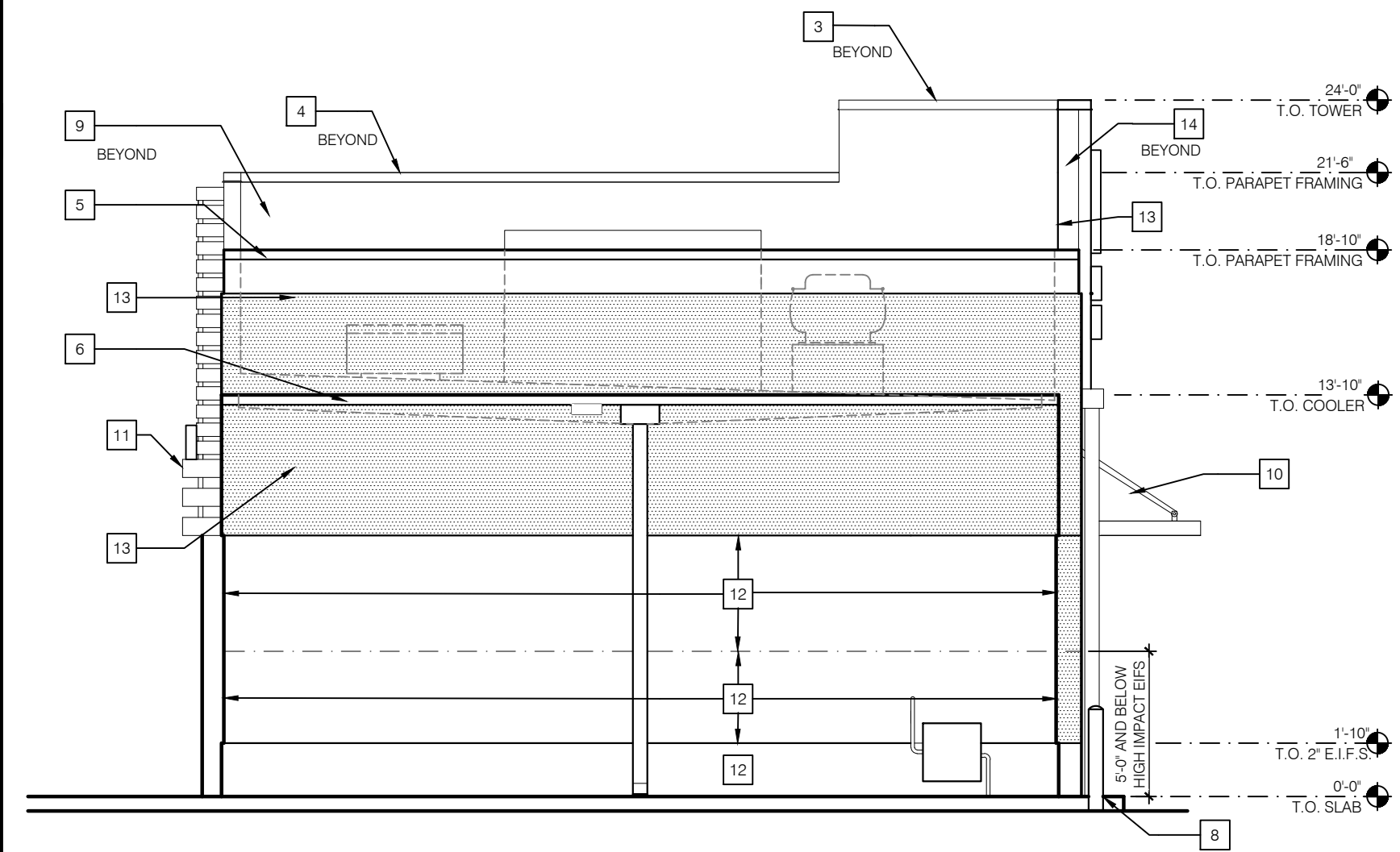
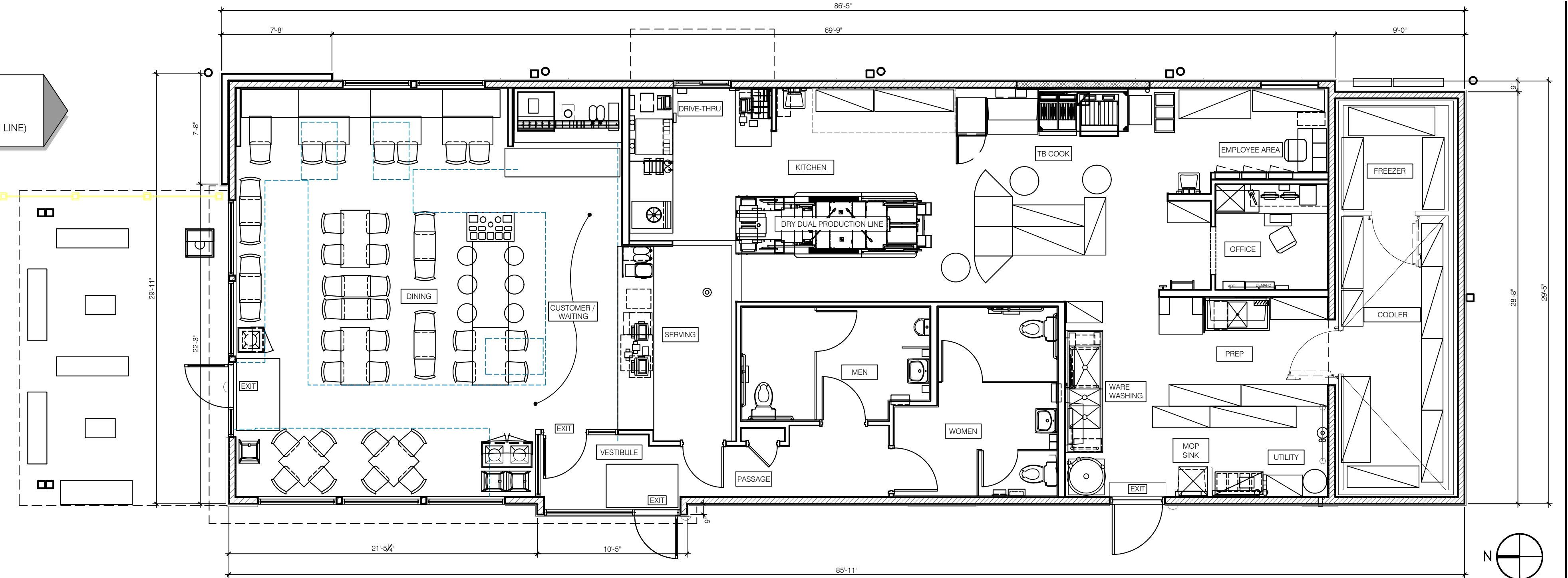
Allowable wall sign area (1 s.f./1 l.f. of address side) = 30 SF
 Bonus for use of 6' monument sign = 32 SF
 Total wall sign area allowed = 62 SF
TOTAL WALL SIGN AREA PROVIDED: 60 SF

Number of wall signs allowed = 2
 Bonus for monument sign = 1
 Total wall signs allowed = 3

- TACO BELL 'EXPLORER LITE' EXTERIOR
- E.I.F.S. EXTERIOR WITH METAL SLAT WALL ACCENTS.
- 52 SEAT DINING ROOM
- GROSS FLOOR AREA = 2,565s.f. (TO OUTSIDE MAIN FINISH LINE)

1	CANOPY RAFTER/ BEAM PAINT	SHERWIN WILLIAMS	SW3022 'WOODSCAPES BLACK ALDER'		
2	CANOPY COLUMN PAINT	SHERWIN WILLIAMS	SW 7062 ROCK BOTTOM		
3	PARAPET CAP (TOWER)	DUROLAST	MEDIUM BRONZE (FACTORY FINISH)	SHERWIN WILLIAMS	SW 7069 'IRON ORE'
4	PARAPET CAP (FRONT)	DURALAST	SHERWIN WILLIAMS SW6832 'IMPULSE PURPLE' EGGSHELL (P-4)		
5	PARAPET CAP COLOR	DUROLAST	GALVALUME PLUS (FACTORY FINISH)		
6	PARAPET CAP (COOLER)	DUROLAST	GALVALUME PLUS (FACTORY FINISH)		
7	STOREFRONT WINDOWS	TBD	CLEAR ANODIZED		
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (US POSTMAN.COM) OR EQUAL		
9	PARAPET BACK ROOFING	DUROLAST	THE COLOR SHALL BE FACTORY COLORED 'TAN' - EQUAL ALTERNATE ALLOWED.		
10	AWNING, PATIO ROOF, COOLER WALL	BERRIDGE	S-DECK PREWEATHERED GALVALUME		
11	VALANCE COLOR	SIGN VENDOR	SW 7034 'STATUS BRONZE' (EQUAL)		
12	MAIN BUILDING COLOR	SHERWIN WILLIAMS	SW 7067 'CITYSCAPE'		NA08-0011
13	ACCENT COLOR	SHERWIN WILLIAMS	SW 6098 'PACER WHITE'		NA08-0010
14	WALL COLOR BEHIND SCREEN WALL	SHERWIN WILLIAMS	SW 6831 'CLEMATIS'		
15	NOT USED				
16	METAL PANELS		18" A606-4 RUSTWALL PANELS		
17	SLAT WALL	SIGN VENDOR	WOOD LIKE FINISH TBD BY VENDOR		

EXTERIOR FINISH SCHEDULE



10223 E. Cherry Bend Rd., Ste. A
 Traverse City, Michigan, 49684

Contact: Bill Becker, President
 Phone: (231) 922-9250
 Fax: (231) 922-9257

PROJECT CONSULTANT

PRELIM/SITE PLAN REV. 02.06.17

- △
- △
- △
- △
- △
- △
- △
- △

CONTRACT DATE: N/A

BUILDING TYPE: EXPLORER LITE LG

PLAN VERSION: JAN. 2017 UPDATES

SITE NUMBER: TBD

STORE NUMBER: TBD

TACO BELL

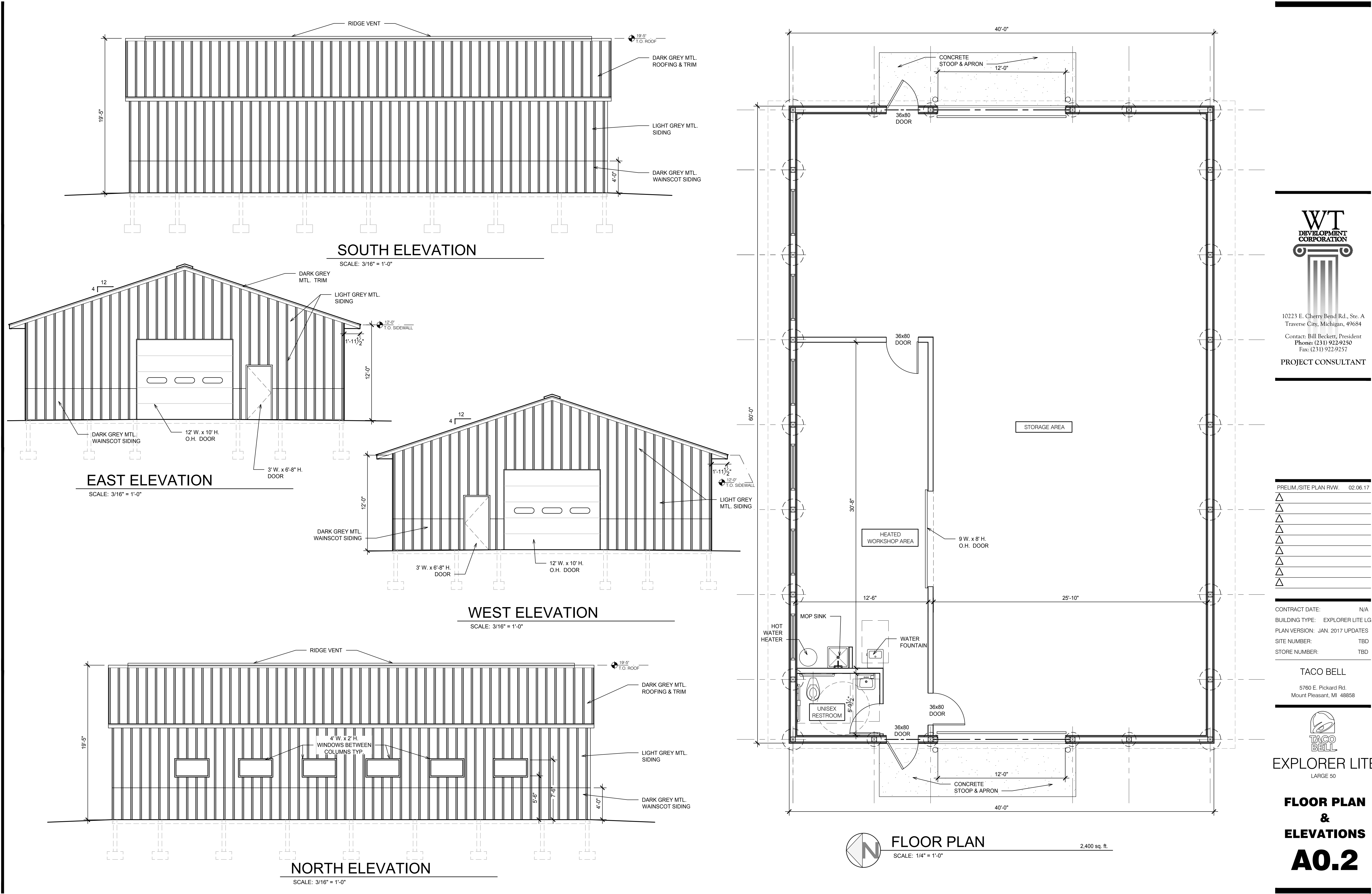
5760 E. Pickard Rd.
 Mount Pleasant, MI 48858



EXPLORER LITE
 LARGE 50

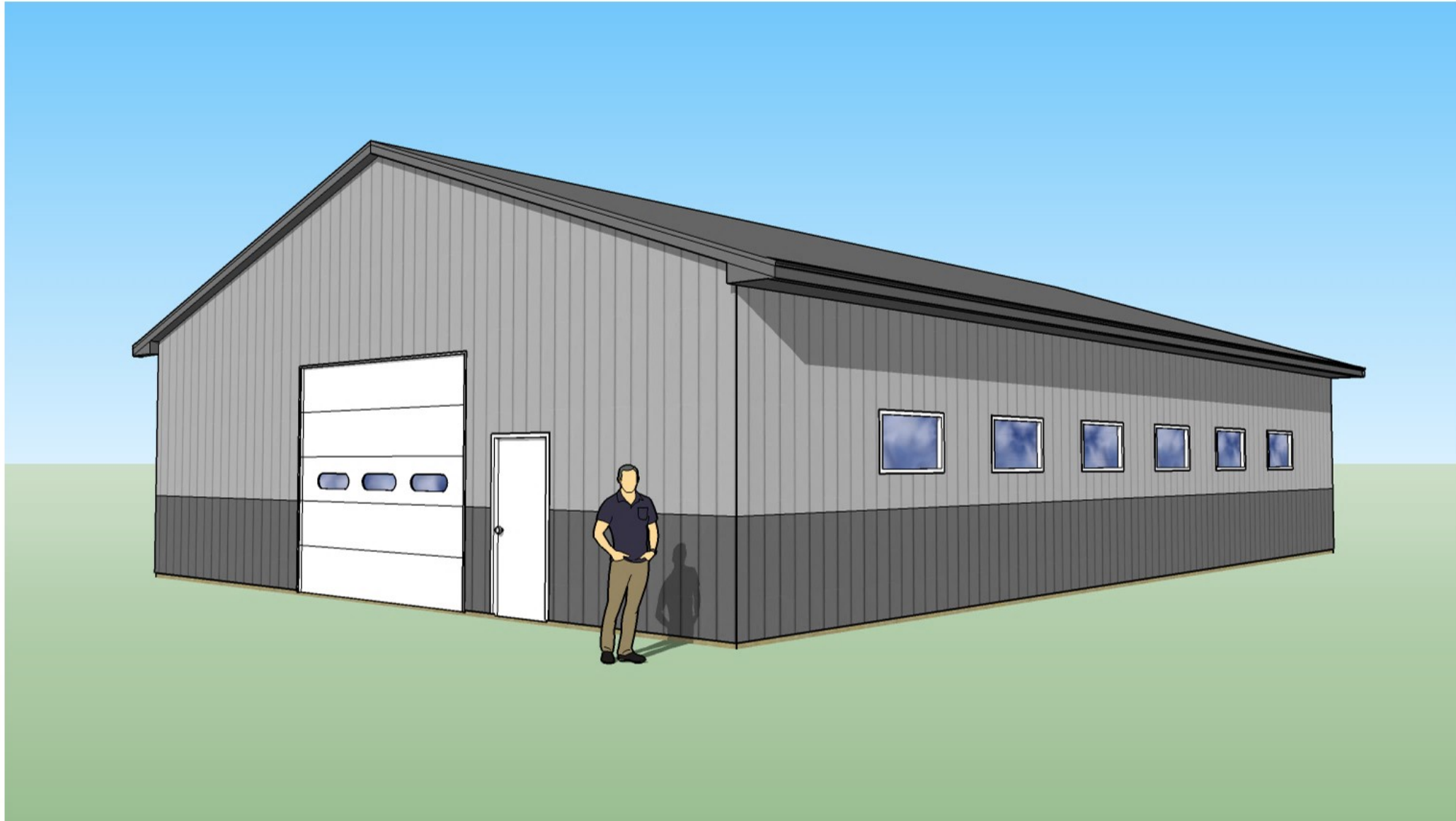
**FLOOR PLAN
 &
 ELEVATIONS**

A0.1





Proposed Taco Bell
Restaurant
5760 E. Pickard Road
Mount Pleasant, MI



Proposed Storage/
Workshop Building
5760 E. Pickard Road
Mount Pleasant, MI

APPLICATION FOR A SPECIAL USE PERMIT

I (we) McGURK Mini Storage, INC OWNERS OF PROPERTY AT
2420 E. Broomfield Rd. LEGAL DESCRIPTION AS FOLLOWS:

THE WEST 1/2 OF THE EAST 1/2 OF THE Northeast 1/4 OF THE Northwest 1/4
OF SECTION 2B, T14N-R4W, UNION TOWNSHIP, ISABELLA County, Michigan

Respectfully request that a determination be made by the Township Board on the following request:

- ☒ I. Special Use For SELF-STORAGE BUILDINGS WITHIN A B-4 ZONE
- ☐ II. Junk Yard Permit

.....

Note: Use one of the sections below as appropriate. If space provided is inadequate, use a separate sheet.

I. Special Use Permit is requested for PLEASE SEE ATTACHED

Give reason why you feel permit should be granted: PLEASE SEE ATTACHED

II. Junk Yard Permit requirements are:

Location of property to be used _____

Zoning of the area involved is B-4 General BUSINESS District

Zoning of the abutting areas B-4 to NE, NE NW & R-1 to SE, SE SW
SEE ATTACHED MAP.

.....

Fees _____ Signature of Applicant 

Date _____



CMS & D

SURVEYING/ENGINEERING

510 West Pickard, Mt. Pleasant, MI 48858

Phone: 989-775-0756, Fax: 989-775-5012 Email:info@cms-d.com

January 26, 2017

Union Charter Township
Planning Commission Members
Township Board Members
2010 South Lincoln Road
Mt. Pleasant, Michigan 48858

Re: Special Use Application, 2420 East Broomfield Road,
Self-Storage Buildings within a B-4 Zoning District.

Dear Members:

Please find attached to this letter the completed Application for a Special Use Permit for 2420 East Broomfield Road in Section 28 of Union Township, Isabella County, Michigan. The specific request is for the installation of self-storage buildings within a B-4 General Business District. The owner/applicant has an approved site plan for the installation of approximately 60,000 sq.ft. of commercial buildings. To date, approximately 18,000 sq.ft. has been constructed and occupied.

The owner wishes to explore the possibility of installing self-storage building on the site in lieu of all or part of the approved commercial buildings. A conceptual plan has been developed to show the maximum build out of the site if storage buildings were to be installed. At this time, the owner/applicant is not turning in for a "Site Plan Approval", but only the "Special Use Determination". If the Special Use Application were to be approved, a revised site plan and application would then be made to the Planning Commission.

This site has been an item of controversy in the past at the Township and with the neighbors. One of the neighbor's items of concern was the installation of a 30 foot tall structure. Although the height restriction for the B-4 Zone is 35 feet, the 30 foot tall structure was a concern for the neighbor. Self Storage Structures are typically shorter. We have attached photo examples of the 30 foot and 40 foot wide structures. The typical traffic seen in a self storage facility is less than that of most commercial businesses. This should be a benefit to the neighbors.


Union Charter Township
January 26, 2017
Page 2 of 2

A 10,000 sq.ft. building was installed in the later part of 2016. Its address is 2422 East Broomfield Road. A staggered row of evergreens is to be installed in the Spring of 2017, in compliance with the conditions of the site plan approval. We would expect that this would remain a condition of approval if a revised site plan were submitted. The screening provided by a staggered row of 6 foot tall evergreens would be greater for a typical self-storage building than the existing commercial building. This should be a benefit to the neighbors.

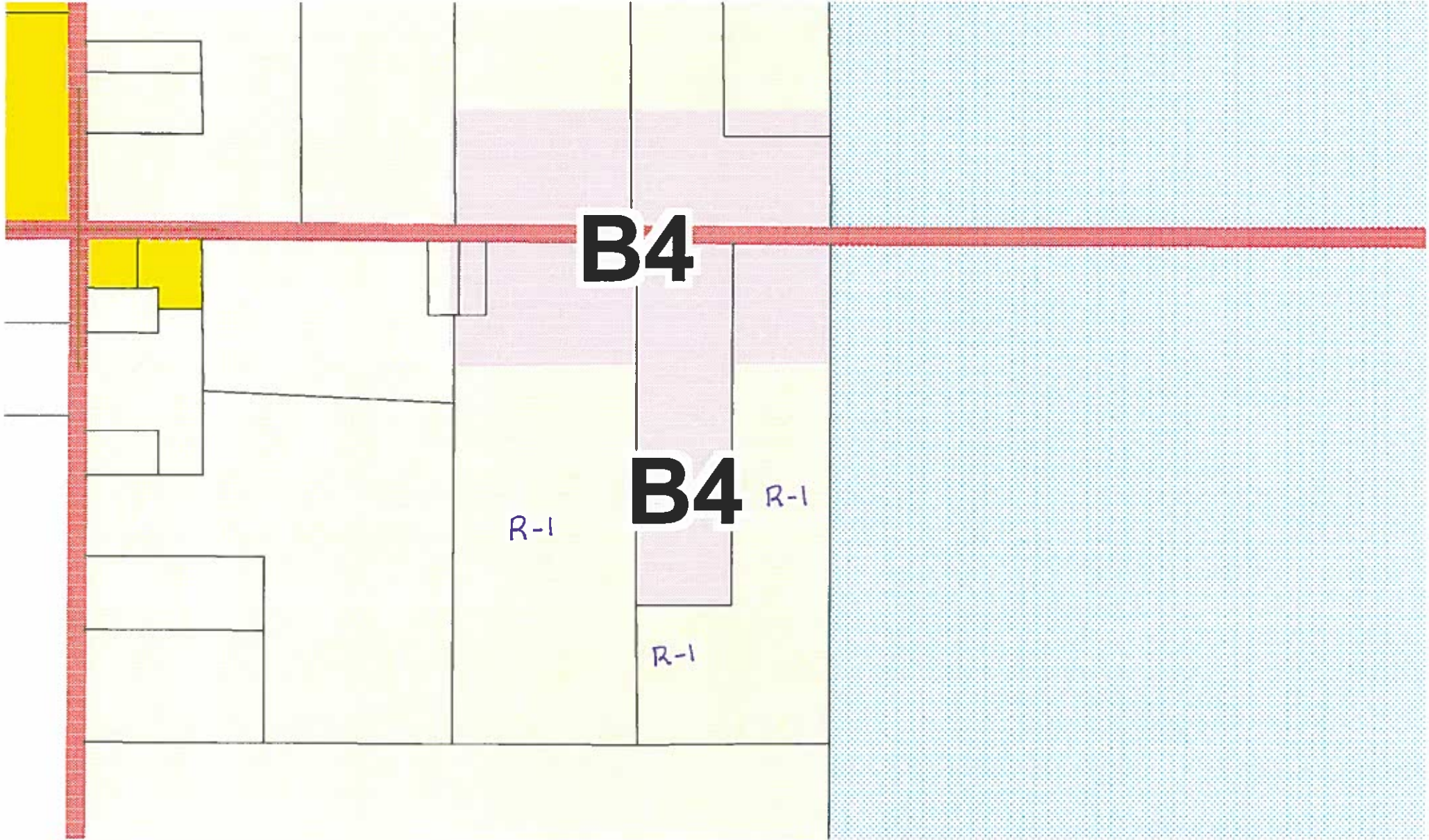
In closing, we believe that the installation of self-storage buildings would be of lesser impact than that of the approved commercial buildings, that there would be less day to day traffic and that the size (height) of the structures would be more palatable to the neighbors. Should you have any questions regarding the information provided we would be happy to discuss them with you.

Respectfully Submitted,

Central Michigan Surveying & Development Company, Inc.



Timothy Bebee
President



UNION TOWNSHIP PUBLIC HEARING NOTICE -SPECIAL USE PERMIT

NOTICE is hereby given that a Public Hearing will be held on Tuesday, February 21, 2017, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following request for a Special Use Permit, as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by **McGuirk Mini Storage, INC**, a Special Use Permit in a B-4 (General Business District) zone for Self-storage buildings

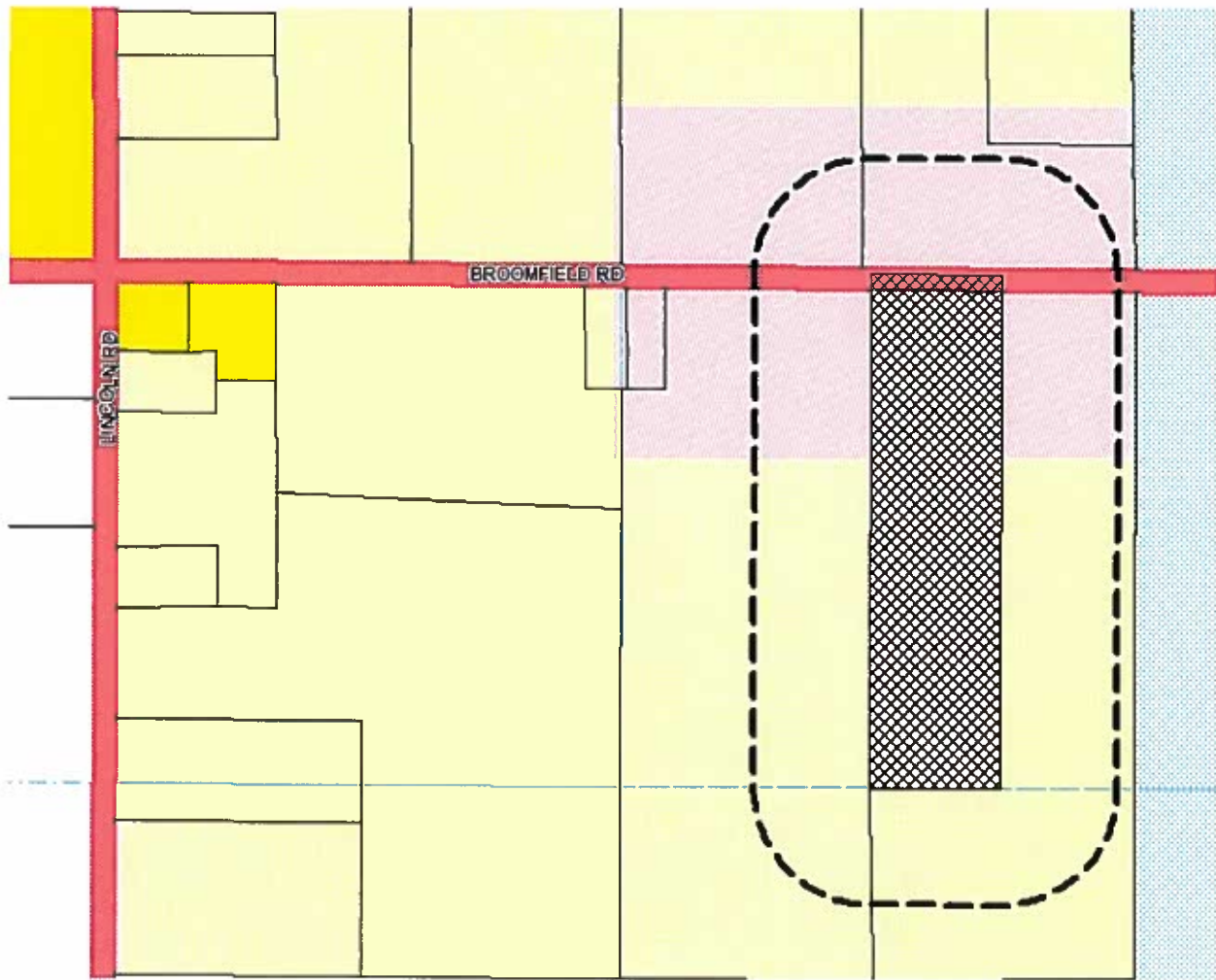
Legal Description of property: T14N R4W, SEC 28, W 1/2 OF E 1/2 OF NE 1/4 OF NW 1/4

This property is located at: 2420 E BROOMFIELD RD MT PLEASANT, MI 48858

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,
Township Planner



The crosshatched highlighted parcel represents 2420 E. Broomfield Rd. The parcel is zoned B-4 (General Business District) The dashed line represents a 300ft radius around the property. The applicant has requested a special use permit to use the highlighted property for Self-storage buildings. This use is allowed as a special use. It requires a public hearing at the Planning Commission and approval by the Township Board of Trustees.

MCGUIRK MINI STORAGE INC
PO BOX 530
MT PLEASANT, MI 48858

B NELSON ENTERPRISES INC
2280 E BROOMFIELD RD
MOUNT PLEASANT, MI 48858

PETERS EDWARD ET AL
4240 MILLBROOK RD
MT PLEASANT, MI 48858

DEANS BRIAN
2265 E BROOMFIELD RD
MT PLEASANT, MI 48858

OTTERBINE MICHAEL TRUST
1832 W IRVING PARK RD APT 202
CHICAGO, IL 60615

I certify that Public Notices for
file # Sup 2017-01 were
mailed on 2-6-17 to all persons listed on
this page. Peter J. Kent (signature)

AFFIDAVIT OF PUBLICATION

48 West Huron Street • Pontiac, MI 48342

CHARTER TOWNSHIP OF UNION
2010 S Lincoln

Mount Pleasant, MI 48858
Attention: Peter Gallinat

STATE OF MICHIGAN,
COUNTY OF ISABELLA

The undersigned *Sal Alpert*, being duly sworn the he/she is the principal clerk of Morning Sun, morningstarpublishing.com, published in the English language for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

CHARTER TOWNSHIP OF UNION

Published in the following edition(s):

Morning Sun	02/06/17
morningstarpublishing.com	02/06/17



Sworn to the subscribed before me this *7th February 2017*

Tina M Crown

Notary Public, State of Michigan
Acting in County of Isabella

Advertisement Information

Client Id: 531226

Ad Id: 1249324

PO:

Sales Person: 200307

UNION TOWNSHIP PUBLIC HEARING NOTICE - SPECIAL USE PERMIT

NOTICE is hereby given that a Public Hearing will be held on Tuesday, February 21, 2017, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following request for a Special Use Permit, as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by McGuirk Mini Storage, INC, a Special Use Permit in a B-4 (General Business District) zone for Self-storage buildings

Legal Description of property: T14N R4W, SEC 28, W 1/2 OF E 1/2 OF NE 1/4 OF NW 1/4

This property is located at: 2420 E BROOMFIELD RD MT PLEASANT, MI 48858

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,
Union Twp Planner
Published February 6, 2017

CMS & D
SURVEYING / ENGINEERING
510 W. PICKARD STREET - SUITE C
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com



COVER SHEET
SELF-STORAGE STRUCTURES IN B-4 ZONE
PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4
SECTION 28, T14N-R4W
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

(A) Off-street parking shall be permitted to occupy a portion of the required front yard, provided that there shall be maintained a minimum unobstructed and landscaped setback of ten (10) feet between the nearest point of the off street parking areas, exclusive of access driveways and the nearest right-of-way line as indicated on the Major Thoroughfare Plan.

(B) A lot in the B-4 and B-5 District will provide a side and rear yard of at least forty (40) feet when abutting a residential District.

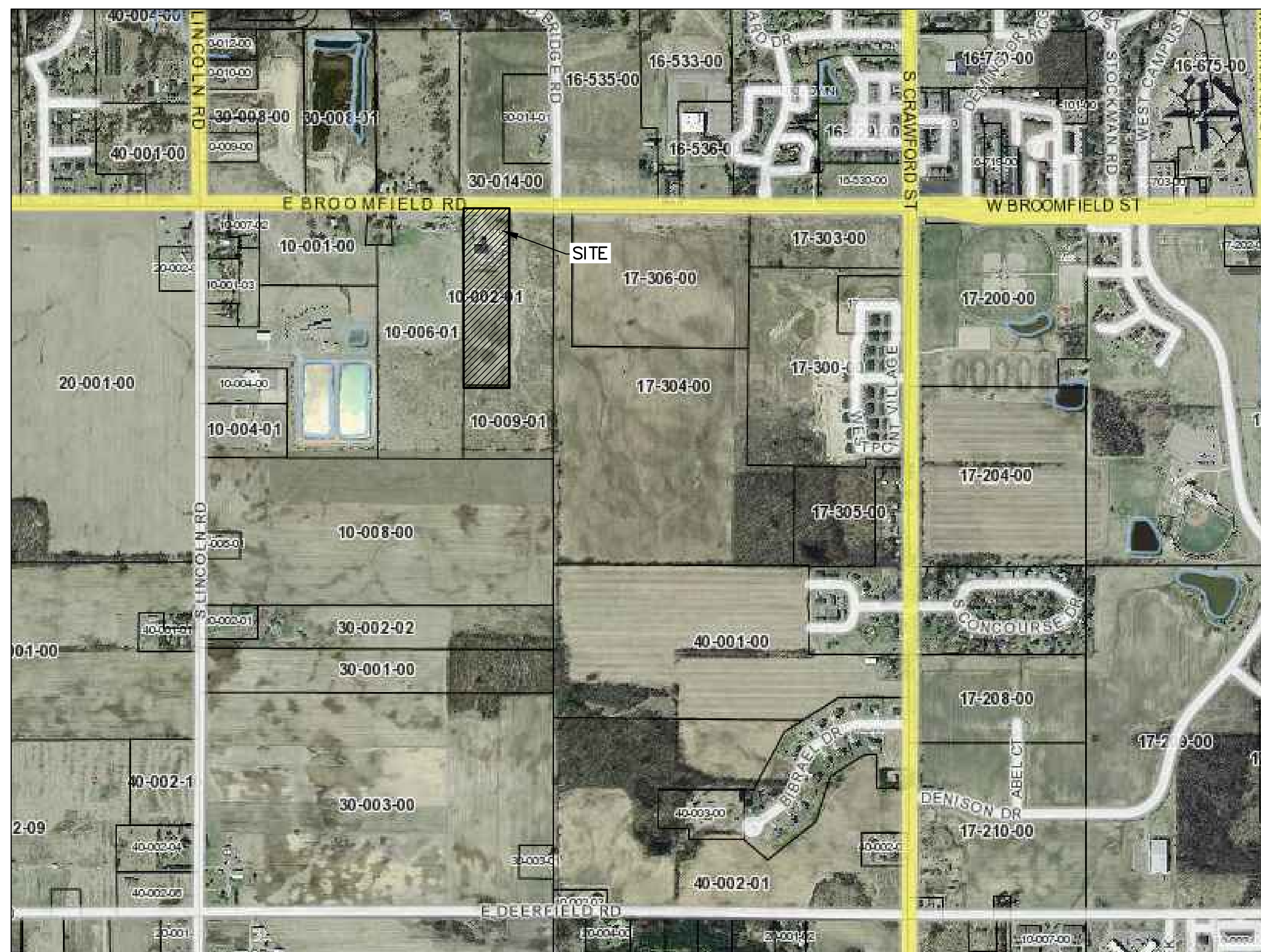
* Permitted Use Item H: Bowling alley, billiard hall, indoor archery range, indoor tennis courts, indoor skating rink, or similar forms of indoor commercial recreation when located at least one hundred (100) feet from any front, rear, or side yard of any residential lot in an adjacent residential District.

MISS DIG:

FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

UTILITY NOTE:

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-282-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE OF THE EVENT. NO LIABILITY IS ASSUMED FOR DAMAGE TO ANY ELECTRICAL OR UNDERGROUND SYSTEMS OR LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY. NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.



PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4
SECTION 28, T14N-R4W
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

LOCATION MAP
SCALE: 1" = 600'

<u>SHEET INDEX</u>	
1	COVER SHEET
2	TOPOGRAPHIC SURVEY
3	CONCEPTUAL PLAN FOR PROPOSED SPECIAL USE

BEARING BASIS:
THE NORTH AND SOUTH 1/4 LINE BETWEEN THE INTERIOR 1/4 CORNER AND THE NORTH 1/4 CORNER WAS TAKEN AS N00°-47'-23"W FROM A PREVIOUS MID-MICHIGAN ENGINEERING SURVEY.

DESCRIPTION PROVIDED:
THE WEST 1/2 OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 28, T14N-R4W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.































SITE: 2420 E. BROOMFIELD
MT. PLEASANT, MI 48858

OWNER: McGUIRK MINI STORAGE, INC.
510 W. PICKARD STREET, SUITE A
MT. PLEASANT, MI 48858
CONTACT: CHUCK McGUIRK
PHONE: (989) 772-1309
EMAIL: info@mcguirksand.com




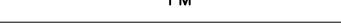

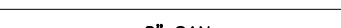
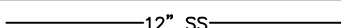
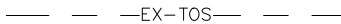
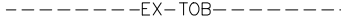
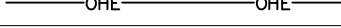


CONSULTANT: CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC.
510 W. PICKARD STREET - SUITE C
MT. PLEASANT, MI 48858
CONTACT PERSON: TIMOTHY E BEBEE
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com

LEGEND





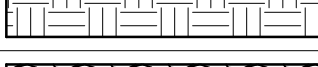
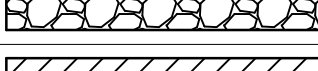

SYMBOLS

	BOLLARD		GAS RISER		SOIL BORING
	CATCH BASIN (CURB INLET)		GUY ANCHOR		STORM SEWER MANHOLE
	CATCH BASIN (ROUND)		HYDRANT – EXISTING		TELEPHONE RISER
	CATCH BASIN (SQUARE)		HYDRANT – PROPOSED		TREE – CONIFEROUS
	CLEAN OUT		LIGHT POLE		TREE – DECIDUOUS
	DRAINAGE FLOW		MAILBOX		UTILITY POLE
	ELECTRICAL BOX		MONITORING WELL		WATER MAIN VALVE
	FOUND CONC. MONUMENT		SANITARY SEWER MANHOLE		WATER SHUT-OFF
	FOUND IRON		SET IRON		FLOOD LIGHT
	GAS MAIN VALVE		SIGN		GAS METER

LINE TYPES

	ELEC.	BURIED ELECTRICAL CABLE
	PHONE	BURIED TELEPHONE CABLE
	DITCH-CL	CENTERLINE OF DITCH
	FM	FORCE MAIN
	GAS	GAS MAIN
	RD-CL	ROAD CENTERLINE
	8" SAN	SANITARY SEWER
	12" SS	STORM SEWER
	EX-TOS	TOE OF SLOPE
	EX-TOS	TOP OF BANK
	ONE	UTILITIES – OVERHEAD
	UTIL	UTILITIES – UNDERGROUND
	12" WM	WATER MAIN

HATCH PATTERNS

	ASPHALT – EXISTING
	ASPHALT – PROPOSED
	CONCRETE
	GRAVEL
	LANDSCAPING
	RIP – RAP
	EXISTING BUILDING

CHARTER COMMUNICATIONS
915 E. BROOMFIELD ROAD
MT. PLEASANT, MI 48858
(989) 621-4932
RANDY BUNKER
rbunker@chartercom.com

CONSUMERS ENERGY
1325 WRIGHT AVENUE
ALMA, MI 48801
(989) 466-4282
KIM STUDT
kimberly.studt@cmsenergy.com

FRONTIER
345 PINE STREET
ALMA, MI 48801
(989) 463-0392
MARK A. MARSHALL
Mark.Marshall@ftr.com

DTE ENERGY
4420 44TH ST., S.E., SUITE B
KENTWOOD, MI 49512
(616) 954-4623
MARY JO MCKERSIE
mckersiem@teenergy.com

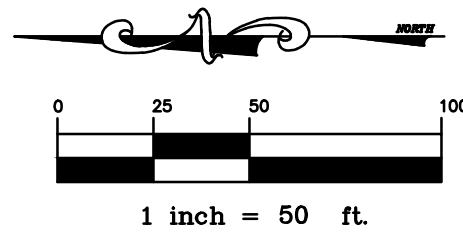
MT. PLEASANT FIRE DEPARTMENT
804 EAST HIGH STREET
MT. PLEASANT, MI 48858
(989) 779-5100 EXT 5122
SGT. RANDY KEELER
rkeeler@mt-pleasant.org

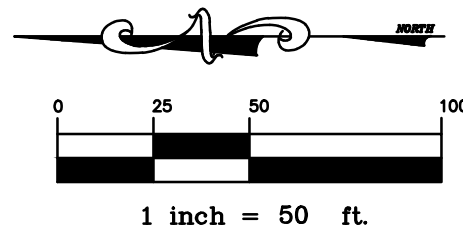
CHARTER TOWNSHIP OF UNION
PUBLIC WORKS/PUBLIC SEWER
2010 N. LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT 24
KIM SMITH
ksmith@uniontownshipmi.com

CHARTER TOWNSHIP OF UNION
PLANNING & ZONING
2010 NORTH LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT 241
PETER GALLINAT
pgallinat@uniontownshipmi.com

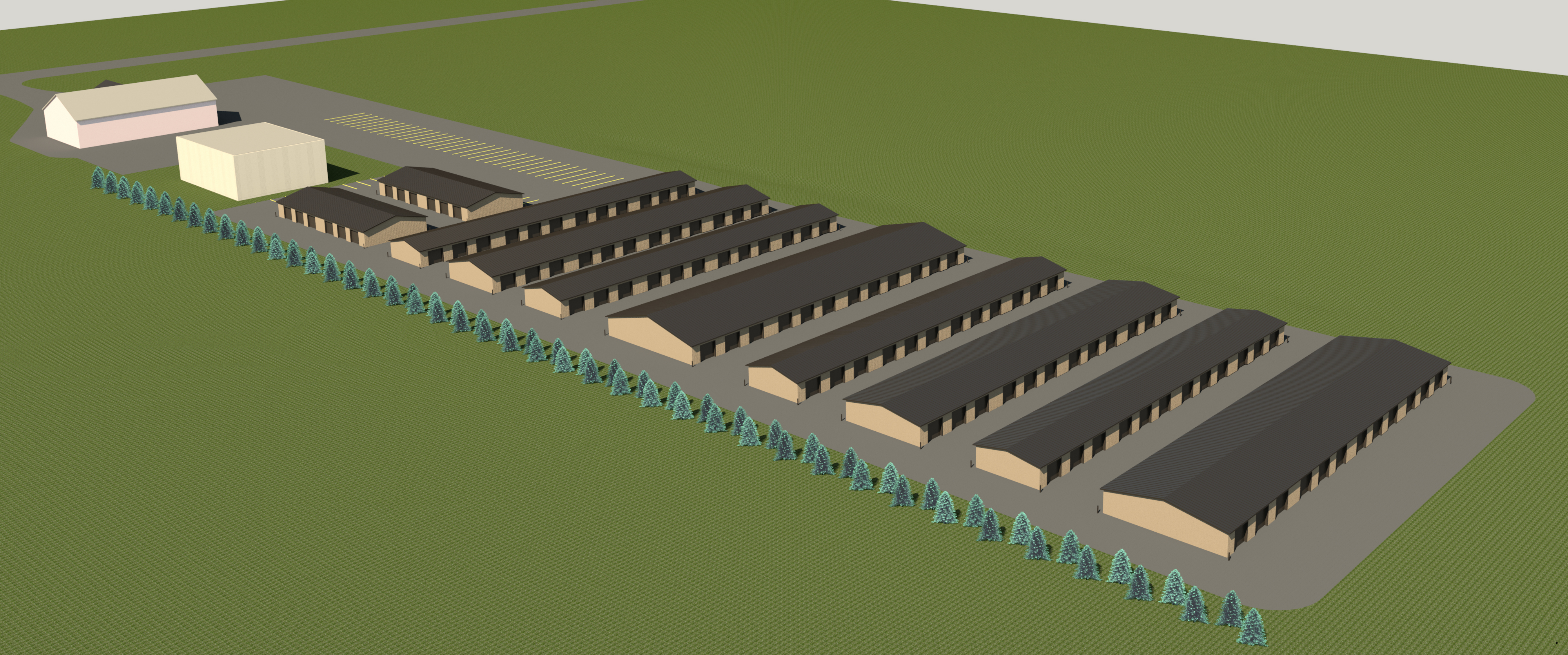
DRAIN COMMISSIONERS OFFICE
ISABELLA COUNTY BUILDING
200 NORTH MAIN STREET ROAD 140
MT. PLEASANT, MI 48857
(989) 772-0911
RICK JAKUBIEC
drain@isabellacounty.org

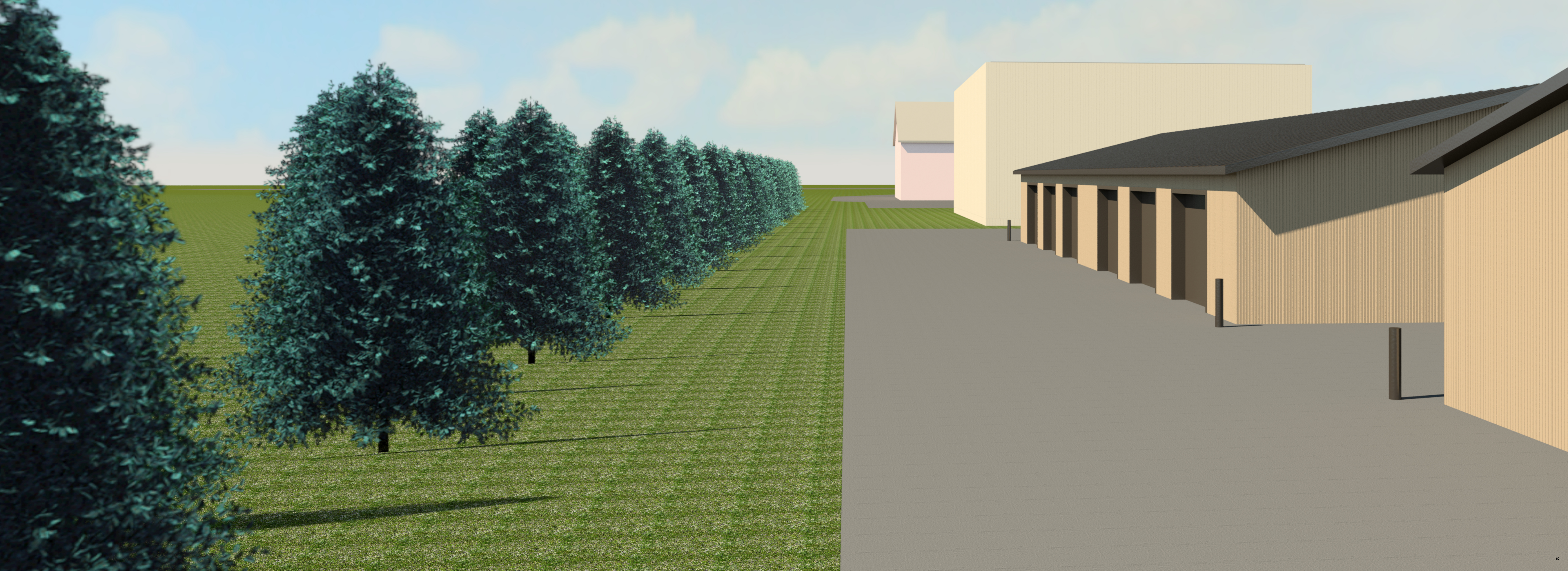
ISABELLA COUNTY ROAD COMMISSION
2261 EAST REMUS ROAD
MT. PLEASANT, MI 48858
(989) 773-7131 EXT 115
PATRICK GAFFNEY
P.Gaffney@isabellaroads.com











**BY-LAWS AND RULES OF PROCEDURE
CHARTER TOWNSHIP OF UNION
PLANNING COMMISSION
[PROPOSED]**

I. AUTHORITY

These rules of procedures are adopted by the Planning Commission of the Charter Township of Union, Isabella County, State of Michigan (hereinafter referred to as the Commission) in order to facilitate the performance of its duties as outlined in the Michigan Planning Enabling Act, Public Act 33 of 2008, MCL 125.3801, *et seq.*, and the Michigan Zoning Enabling Act, Public Act 110 of 2006, MCL 125.3101, *et seq.*

II. OFFICERS

- A. Selection and Tenure** – At the first regular meeting each January, the Commission shall select from its membership a Chairperson, Vice chairperson, Secretary, Vice secretary, **and Representative to the Zoning Board of Appeals**. All officers shall serve a term of one year, or until their successors are selected and assume office, except as noted in C, below. All officers shall be eligible for re-election for consecutive terms for the same office. The officers shall take office immediately following their election.
- B. Chairperson** – The chairperson shall preside at all meetings, appoint committees and perform such other duties as may be ordered by the planning commission.
- C. Vice Chairperson** – the vice chairperson shall act in the capacity of the chairperson in his/her absence. In the event the office of the chairperson becomes vacant, the vice chairperson shall succeed to this office for the unexpired term, and the planning commission shall select a successor to the office of vice chairperson for the unexpired term.
- D. Secretary** – the secretary shall execute documents in the name of the Commission and shall perform such other duties as the Commission may determine.
- E. Vice Secretary** – the vice secretary shall execute documents in the name of the Commission and shall perform such other duties as the Commission may determine in the absence of the Secretary.

III. MEETINGS

The business that the Commission may perform shall be conducted at a public meeting held in compliance with the Open Meetings Act. The Commission may establish reasonable rules and regulations in order to minimize the possibility of disrupting the meeting.

- A. Regular Meetings** – the Commission shall hold not less than four regular meetings each year and by resolution shall determine the time and place of such meetings. Other meetings may be held as necessary. When a regular meeting falls on a legal

holiday or upon a day resulting in a conflict, the Commission shall, if possible, select a suitable alternate meeting date in the same month as the originally scheduled meeting.

Notice of regular Commission meetings shall be posted at the principal township office within 10 days after the Commission's first meeting in each calendar year in accordance with the Open Meetings Act. Any changes in the date or time of the regular meetings shall be posted and noticed in the same manner as originally established.

- B. Special Meetings** – Special meetings may be called by the chairperson, **Zoning administrator** **Township Planner**, or upon written request to the secretary by at least two members of the Commission.

Notice of special meetings shall be given to the members of the Commission at least 48 hours prior to the meeting. Such notice shall state the purpose, time, and location of the special meeting and shall be posted in accordance with the Open Meetings Act.

- C. Notice** – Notice required for specific planning, zoning, or other land use actions will be given in accordance with the Michigan Planning Enabling Act, the Michigan Zoning Enabling Act, Land Division Act, or other applicable statute.

- D. Public Hearings** – All public hearings held by the Commission must be held as part of a regular or special meeting of the Commission. Public hearings conducted by the Commission shall be run in an orderly and timely fashion.

- E. Agenda** – The **Zoning Administrator** **Township Planner** shall be responsible for preparing a tentative agenda for Commission meetings. The agenda may be modified by action of the Commission. The order of business shall be:

1. Call to Order
2. Roll Call
3. Approval of Minutes
4. Correspondence
5. Approval of Agenda
6. Public Comments and Communications Concerning Items Not on the Agenda
7. Public Hearings
8. New Business
9. Other Business
10. Extended Public Comment
11. Adjournment

- F. Quorum** – Five members of a nine-member Commission shall constitute a quorum for transacting business and taking official action for all matters. No official action of the commission may be taken without a quorum present.

- G. Voting** – An affirmative vote of the majority of the Commission **members present** shall be required for the approval of any requested action or motion placed before the Commission. Voting shall be by voice vote; a roll call vote shall be required if requested by any Commission member or directed by the chairperson. Except in the case of conflict of interest, all Commission members, including the chairperson, shall vote on all matters. Any member abstaining from a vote shall not participate in the discussion of that item. An affirmative vote of the majority of the members of the Commission is required to approve any part of the master plan or amendments to the plan or to amend these bylaws.
- H. Motions** – Motions shall be restated by the chairperson before a vote is taken. The name of the maker and supporters of the motions shall be recorded.
- I. Public Records** – All meetings, minutes, records, documents, correspondence, and other materials of the Commission shall be open to public inspection in accordance with the Freedom of Information Act, except as may otherwise be provided by law.
- J. Rules of Order** – All meetings of the Commission shall be conducted, to the extent practicable, in accordance with generally accepted parliamentary procedure, as governed by “Robert’s Rules of Orders.” However, application of “Robert’s Rules” shall not be utilized in order to stifle discussion or debate and may be implemented only to the extent required to maintain the orderliness of the meeting.

IV. DUTIES OF THE PLANNING COMMISSION

The Commission shall perform the following duties:

- A.** Prepare, review, and update a master plan as a guide for development within the Township’s planning jurisdiction. The master plan must be **updated at least every 10 years reviewed every 5 years.**
- B.** Take such action on petitions, staff proposals and township board requests for amendments to the zoning ordinance as required.
- C.** Take such action on petitions, staff proposals and township board requests for amendments to the master land use plan as required.
- D.** Prepare an annual written report to the township board of the Commission’s operations and the status of planning activities, including recommendations regarding actions by the township board related to planning and development. The annual written report must be completed and submitted by December 1st of each year.
- E.** Take such actions as authorized or required by the Michigan Planning Enabling Act.
- F.** Take such actions as authorized or required by the Michigan Zoning Enabling Act.

- G. Review subdivision proposals and recommend appropriate actions to the township board.
- H. Prepare a Review capital improvements program.
- I. Perform other duties and responsibilities or respond as requested in writing by any township board or commission.

V. ABSENCES, REMOVALS, RESIGNATIONS, AND VACANCIES

- A. Members of the Commission who are absent for four (4) or more regularly scheduled Commission meetings in a twelve (12) month period shall be subject to review and possible removal by the Township Board of Trustees.
- B. To be excused, members of the Commission shall notify the Zoning Administrator Township Planner or Chairperson when they intend to be absent from a meeting. Failure to make this notification prior to the meeting shall result in an unexcused absence.
- C. Members may be removed by the township board for misfeasance, malfeasance, or nonfeasance in office upon written charges and after a public hearing.
- D. A member may resign from the Commission by sending a letter of resignation to the township board.
- E. Vacancies shall be filled by the township supervisor, with the approval of the township board. Successors shall serve out the unexpired term of the member being replaced.

VI. CONFLICT OF INTEREST

Before casting a vote on a matter on which a planning commission member may reasonably be considered to have a conflict of interest, the member shall disclose the potential conflict of interest to the Commission. Failure of a member to disclose a potential conflict of interest as required by these bylaws constitutes a malfeasance in office. Before a member may be excused from casting a vote, a majority of the Commission must find by an affirmative vote that a conflict of interests exists.

Conflict of interest is defined as, and a Commission member shall declare a conflict of interest and abstain from participating in Commission deliberations and voting on a request, when:

1. An immediate family member is involved in any request for which the Commission is asked to make a decision. "Immediate family member" is defined as; the planning commission member's spouse, the member and member's spouses children (including adopted) and their spouses, step-children and their spouses, grandchildren, and their spouses parents, and step-parents, brothers and sisters and their spouses, grandparents, parents in-law, grandparents in-law, or any person residing in the planning commission member's household.

2. The Commission member has a business or financial interest in the property involved in the request or has a business or financial interest in the applicant's company, agency, or association.
3. The Commission member owns or has a financial interest in neighboring property being within 300 feet of the subject property.
4. There is a reasonable appearance of a conflict of interest, as determined by a majority vote of the remaining members of the Commission.

VII. AMENDMENTS

These bylaws may be amended at any meeting by a vote of the majority of the membership of the Commission.

IV. TOWNSHIP OF EXCELLENCE

The Commission is dedicated to pursuing the Michigan Townships Association recognition for being a "Township of Excellence."

Adopted by the Union Township Planning Commission at a regular meeting on _____, 2017.

8.225

OUTDOOR LIGHTING

- A. All outdoor lighting in all districts shall be shielded as to reflect light away from adjoining properties.
- B. There shall be no direct or sky-reflected glare exceeding one and one-half (1-1/2) foot candles or that would be damaging to the human eye measured at the property line of the lot occupied by such use. This regulation shall not apply to a parking lot. Exterior lighting sources shall be directed away from any neighboring residential Districts **(Found in Industrial Districts)**
- C. No outdoor lighting shall be directed off the lot on which it is located; and no light shall be so bright or otherwise obnoxious as to adversely affect adjacent land uses, especially adjacent residential land. In no case, except municipal street lighting, shall more than one(1) foot candle power of light cross a lot line, five (5) feet above the ground into a residential District **(Found in B-6, B-7 Districts)**
- D. Lighting of outdoor display areas shall be shielded so as to deflect light away from adjacent properties. Such lighting shall also be deflected away from any adjacent properties. Such lighting shall also be deflected away from any adjacent street so as not to interfere with traffic. **(Found in Special Use mobile and modular home sales)**
- E. Light trespass from a sign shall not exceed 0.3 foot-candles at any property line that abuts residentially zoned property. No light source from a sign shall be visible from an adjacent parcel. **(Found in Sign Ordinance)**
- F. Holiday decorations are exempt from outdoor lighting. Township may take steps to eliminate the impact of holiday decorations if it deemed necessary to protect the health, safety, and welfare of the public. **(Borrowed and paraphrased from Mt Pleasant city Lighting ordinance)**