# Notice of an Electronically Conducted Regular Meeting of the Charter Township of Union Planning Commission

Notice is hereby given that the Charter Township of Union Planning Commission will conduct a regular meeting electronically on Tuesday, February 16, 2021 at 7:00 p.m., consistent with the emergency declarations and direction from state and county health officials to slow the spread of the COVID-19 virus and the Open Meetings Act (Public Act 267 of 1976, as amended)."

There will be no in-person attendance in the Township Hall Board Room (2010 S. Lincoln Rd., Mt. Pleasant, MI 48858), although some Planning Commission members and Township staff may choose to participate from this location.

All interested persons may attend and participate. The public may participate in the meeting by computer and smart phone using the following link to the electronic meeting location: <a href="https://us02web.zoom.us/j/89751444718">https://us02web.zoom.us/j/89751444718</a> (Meeting ID: "897 5144 4718" Passcode "038923"). The moderator will open public access to the electronic meeting space at 6:55 p.m.

To participate via telephone conference call, please call (312) 626-6799. Enter "897 5144 4718" and the "#" sign at the "Meeting ID" prompt. Lastly, re-enter the "#" sign again at the "Participant ID" prompt to join the meeting.

The meeting agenda, packet of materials relating to the meeting, and instructions for connecting to the meeting electronically are available on the Township's website under "Minutes and Board Packets" at http://www.uniontownshipmi.com/.

Questions and comments will be received during the public comment sections of the meeting. For participants accessing via computer or smartphone to indicate a desire to address the Planning Commission, please use the "Raise Your Hand" button at the bottom center of the screen. To raise your hand for telephone dial-in participants, press "star" and then the number "nine" (\*9). The Chair will call on you by the last three digits of your phone number to invite any comment, at which time you will be unmuted by the meeting moderator.

If there are a large number of participants, the Chair may choose to call on individuals by name or telephone number. Please speak clearly and provide your name and address before making your comments. Please note that the meeting moderator will control the muting and unmuting of participants during public comment.

Written comments to the Planning Commission may also be delivered to the drop box at the Township Hall. Comments received prior to 3:00 p.m. on the day of the meeting will be read aloud to the Planning Commission.

Persons with disabilities needing assistance to participate should call the Township office at (989) 772-4600. Persons requiring speech or hearing assistance may contact the Township through the Michigan Relay Center at 711. A minimum of one (1) business day of advance notice will be necessary for accommodation.

# Instructions to Participate in an Electronically Conducted Regular Meeting of the Charter Township of Union Planning Commission

The Charter Township of Union Planning Commission will conduct a regular meeting electronically on Thursday, February 16, 2021 at 7:00 p.m., consistent with the emergency declarations and direction from state and county health officials to slow the spread of the COVID-19 virus and the Open Meetings Act (Public Act 267 of 1976, as amended).

All interested persons may attend and participate. The public may participate in the meeting by computer and smart phone using the following link to the electronic meeting location: <a href="https://us02web.zoom.us/j/89751444718">https://us02web.zoom.us/j/89751444718</a> (Meeting ID: "897 5144 4718" Passcode "038923").

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# Raise Your Hand for Citizen Participation During the Public Comment Periods

Questions and comments will be received during the public comment sections of the meeting. For participants accessing via computer or smartphone to indicate a desire to address the Planning Commission, please click on the "Raise Your Hand" icon near the bottom of your screen.



Click "Lower Hand" to lower it if needed. The host will be notified that you have raised your hand. The Mute/Unmute function will be controlled by the meeting moderator.

To raise your hand for telephone dial-in participants, press "star" and then the number "nine" (\*9). The Chair will call on you by the last three digits of your phone number to invite any comment, at which time you will be unmuted by the meeting moderator.

**Do I need to download the Zoom app to access the meeting?** No. Use of the Zoom app is recommended, but you will have options to "download & run Zoom" or "join from your browser" when you click on the link to join the meeting.

**Can I Use Bluetooth Headset?** Yes, if the Bluetooth device is compatible with the computer or mobile device that you are using.

**Do I have to have a webcam to join on Zoom?** While you are not required to have a webcam to join a Zoom Meeting, you will not be able to transmit video of yourself. You will continue to be able to listen and speak during public comment and view the webcam video of other participants.

**Leaving the Meeting:** Click the "Leave Meeting" link at the bottom right corner of the screen at any time to leave the meeting.



# **Planning Commission**

# Regular Electronic Meeting. Instructions for access will be posted and available on website (uniontownshipmi.com) home page February 16, 2021 7:00 p.m.

- 1. CALL MEETING TO ORDER
- 2. PLEDGE OF ALLEGIANCE
- 3. ROLL CALL
- 4. APPROVAL OF MINUTES

-January 19, 2020

# 5. CORRESPONDENCE / BOARD REPORTS / PRESENTATIONS

- A. Cody updates from Board of Trustees
- B. Buckley updates from ZBA
- C. Darin updates from Sidewalk and Pathways
- D. Memo from the Director re: planning for a future return to in-person meetings
- 6. APPROVAL OF AGENDA
- 7. PUBLIC COMMENT: Restricted to (3) minutes regarding items not on this agenda
- 8. NEW BUSINESS
  - A. PSPR21-03 Malley Construction Contractor's Yard final site plan application
    - a. Introduction
    - b. Updates from staff and the applicant
    - c. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)
  - B. PSPR20-14 Grayling Investors Dunkin Donuts/Marathon Filling Station final site plan application
    - a. Introduction
    - b. Updates from staff and the applicant
    - c. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)

- C. PSPR21-01 Sam's Club Filling Station final site plan application
  - a. Introduction
  - b. Updates from staff and the applicant
  - c. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)
- D. PSUP20-03 & PSPR20-18 New Isabella County Jail and Sheriff's Office special use permit & preliminary site plan applications
  - a. Introduction
  - b. Updates from staff and the applicant
  - c. Commission discussion and confirmation that the PSUP20-03 application is ready for a 3/16/2021 public hearing date
- E. PSPR21-02 Biggby Coffee final site plan application
  - a. Introduction
  - b. Updates from staff and the applicant
  - c. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)
- F. Parks and Recreation Master Plan Update
- G. Master Plan implementation
- 9. OTHER BUSINESS
- 10. EXTENDED PUBLIC COMMENT: Restricted to 5 minutes regarding any issue
- 11. FINAL BOARD COMMENT
- 12. ADJOURNMENT

#### **CHARTER TOWNSHIP OF UNION**

# **Planning Commission**

# **Regular - Electronic Meeting Minutes**

A regular-electric meeting of the Charter Township of Union Planning Commission was held on January 19, 2021 as a virtual meeting through the Zoom meeting platform.

#### Meeting was called to order at 7:02 p.m.

# **Roll Call**

Present:

Buckley (location: Union Township, Isabella County, Mt. Pleasant, MI)
Clerk Cody (location: Union Township, Isabella County, Mt. Pleasant, MI)
Darin (location: Union Township, Isabella County, Mt. Pleasant, MI)
Fuller (location: Union Township, Isabella County, Mt. Pleasant, MI)
LaBelle (location: Union Township, Isabella County, Mt. Pleasant, MI)
Lapp (location: Union Township, Isabella County, Mt. Pleasant, MI)
Shingles (location: Union Township, Isabella County, Mt. Pleasant, MI)

Squattrito (location: Isabella County, Mt. Pleasant, MI)

# **Others Present**

Rodney Nanney, Community and Economic Development Director; Zoning Administrator, Peter Gallinat, and Administrative Assistant, Jennifer Loveberry

#### **Approval of Minutes**

**Fuller** moved **Buckley** supported the approval of the December 15, 2020 regular meeting as presented. **Vote: Ayes: 8 Nays: 0. Motion carried.** 

# **Correspondence / Reports/ Presentations**

A. Presentation for Isabella County Jail by Darrel DeHaan of Integrated Architecture and Troy Grunder of Rowe Engineering, and Sheriff Main.

The new Isabella County Jail is proposed as a 60,000 square foot, 187 bed facility also housing the Sheriff's Office. The proposed facility would be located on the south side of E. Remus Rd. at S. Summerton Rd.

- B. Board of Trustees updates by Clerk Cody
- C. ZBA updates by Buckley
- D. Sidewalks and Pathway Prioritization updates by Darin

#### **Approval of Agenda**

**Buckley** moved **Darin** supported to approve the Agenda as presented. **Vote: Ayes: 8 Nays: 0. Motion Carried.** 

#### **Public Comment**

Open 7:49 p.m. No comments were offered. Closed 7:50 p.m.

#### **New Business**

- A. Meet with Sidewalks and Pathways Prioritization Committee members
  - a. Temporary relief from construction policy discussion
  - b. Discussion of long-term (2022 2027) sidewalk construction priorities

Discussion held with the members of the committee in attendance regarding temporary relief from construction policy and long-term (2022-2027) sidewalk construction priorities.

# B. PSPR20-02 Sam's Club filling station – preliminary site plan

The applicant is proposing to construct a filling station at Sam's Club located at 4850 Encore Drive.

Keith Moore with Carlson Consulting presented the preliminary site plan and answered the commissioner's questions.

Darin moved Fuller supported to <u>approve</u> the PSPR 20-02 preliminary site plan from Carlson Consulting Engineers for the construction of a new Sam's Club filling station on parcel number 14-026-30-001-07, located on approximately 16.8 acres west and north of Encore Drive in the southwest quarter of Section 26 and in the B-5 (Highway Business) zoning district, finding that the December 3, 2020 site plan can comply with applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), <u>subject to the following condition(s)</u>:

- 1. Provide the missing items of required information on the final site plan per Section 14.2.P.
- 2. Update the parking, exterior lighting, sidewalk easement, and landscaping details on the final site plan to conform to Zoning Ordinance requirements.
- 3. As part of the final site plan submittal, provide the completed hazardous substance reporting form and EGLE permit checklist form from the application materials and documentation of compliance with State of Michigan requirements for underground fuel tanks located less than 2,000 feet from municipal water wells.

Roll Call Vote: Ayes: Buckley, Cody, Darin, Fuller, LaBelle II, Lapp, Shingles, and Squattrito Nays: 0. Motion carried.

# C. PSPR20-19 Den at Broomfield Preliminary Site plan

The applicant is proposing to construct two mixed-use commercial-residential buildings located at the southwest corner of E Broomfield Rd. and Sweeney Rd. in the NE ¼ of Section 26 and in the B-5 (Highway Business) zoning district.

Tim Bebee with CMS&D presented the preliminary site plan and answered the commissioner's questions.

**Cody** moved **Lapp** supported to <u>approve</u> the PSPR 20-19 preliminary site plan from B.S.P. Enterprises LLC for The Den on Broomfield mixed-use commercial-residential buildings located at the southwest corner of E. Broomfield Road and Sweeney Road in the northeast quarter of Section 26 and in theB-5 (Highway

Business) zoning district, finding that the December 23, 2020 site plan can comply with applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s):

- 1. Provide the missing items of required application and site plan information as part of the final site plan submittal, including documentation of compliance with Section 6.24 (Mixed-Use Buildings) and Section 14.2.P. (Required Site Plan Information).
- 2. Revise the off-street parking, cross-access, loading area, and sidewalk details on the final site plan as necessary for compliance with Zoning Ordinance requirements.
- 3. All final site plan information shall be provided in a consolidated set without separate attachments or addendums, and with all sheets referenced on the cover sheet.

Roll Call Vote: Ayes: Buckley, Cody, Darin, Fuller, LaBelle II, Lapp, Shingles, and Squattrito Nays: 0. Motion carried.

# D. Appoint Planning Commission Liaison to the ZBA

Lapp moved Shingles supported to re-appoint Buckley to another term as Planning Commission Liaison to the ZBA. Roll Call Vote: Ayes: Buckley, Cody, Darin, Fuller, LaBelle II, Lapp, Shingles, and Squattrito Nays: 0. Motion carried.

# E. Parks and Recreation Master Plan update – introduction

Updates to the 2010 plan are proposed to be developed by the Community and Economic Development Director under the guidance of the Planning Commission, and with input from the public and from Public Services Department staff members with responsibility over the Township's park facilities.

#### Other Business

A. Master Plan implementation

#### **Extended Public Comment**

Open –9:27 p.m. No comments were offered. Closed – 9:27 p.m.

(Recorded by Jennifer Loveberry)

# **Final Board Comment**

<u>Adjournment</u> – Chairman Squat	trito adjourned the meeting at 9:28 p.m.
APPROVED BY:	
	Alex Fuller - Secretary
	Mike Darin – Vice Secretary



# **Board Expiration Dates**

Planning Commission Board Members (9 Members) 3 year term				
#	F Name	L Name	Expiration Date	
1-BOT Representative	Lisa	Cody	11/20/2024	
2-Chair	Phil	Squattrito	2/15/2023	
3-Vice Chair	Ryan	Buckley	2/15/2022	
4-Secretary	Alex	Fuller	2/15/2023	
5-Vice Secretary	Mike	Darin	2/15/2022	
6	Stan	Shingles	2/15/2024	
7	Jessica	Lapp	2/15/2023	
8	Tera	Albrecht	2/15/2024	
9	Doug	LaBelle II	2/15/2022	
Zoning Boa	rd of Appeals Members (	Members, 2 Alternates)	3 year term	
#	F Name	L Name	Expiration Date	
1- PC Rep	Ryan	Buckley	2/15/2022	
2 - Chair	Andy	Theisen	12/31/2022	
3 - Vice Chair	Liz	Presnell	12/31/2022	
4 - Secretary	vacar	it seat	12/31/2021	
5 - Vice Secretary	Judy	Lannen	12/31/2022	
Alt. #1	Brandon	LaBelle	12/31/2022	
Alt. #2	Jim	Engler	2/15/2021	
	Board of Review (3 N	lembers) 2 year term		
#	F Name	L Name	Expiration Date	
1	Doug	LaBelle II	12/31/2022	
2	vacar	it seat	12/31/2020	
3	Bryan	Neyer	12/31/2022	
Alt #1	Randy	Golden	12/31/2022	
Co	nstruction Board of Appe	als (3 Members) 2 year te	rm	
#	F Name	L Name	Expiration Date	
1	Colin	Herron	12/31/2021	
2	Richard	Jakubiec	12/31/2021	
3	Andy	Theisen	12/31/2021	
Hannah's Ba	rk Park Advisory Board (2	Members from Township	) 2 year term	
1	Mark	Stuhldreher	12/31/2022	
2	John	Dinse	12/31/2021	
	Chippewa River District L	ibrary Board 4 year term		
1	Ruth	Helwig	12/31/2023	
2	Lynn	Laskowsky	12/31/2021	



# **Board Expiration Dates**

	EDA Board Members (1:	1 Members) 4 year term		
#	F Name	L Name	Expiration Date	
1-BOT Representative	Bryan	Mielke	11/202024	
2	Thomas	Kequom	4/14/2023	
3	James	Zalud	4/14/2023	
4	Richard	Barz	2/13/2021	
5	Robert	Bacon	1/13/2023	
6	Marty	Figg	6/22/2022	
7	Sarvijit	Chowdhary	1/20/2022	
8	Cheryl	Hunter	6/22/2023	
9	Jeff	Sweet	2/13/2025	
10	Michael	Smith	2/13/2021	
11	David	Coyne	3/26/2022	
	Mid Michigan Area Cable	Consortium (2 Members)		
#	F Name	L Name	Expiration Date	
1	Kim	Smith	12/31/2022	
2	Vac	Vacant		
Cultural and Recreational Commission (1 seat from Township) 3 year term				
#	F Name	L Name	Expiration Date	
1	Robert	Sommerville	12/31/2022	
Sidewalks and F	Pathways Prioritization Co	mmittee (2 year term -PC	Appointments)	
#	F Name	L Name	Expiration Date	
1 - BOT Representative	Kimberly	Rice	11/20/2024	
2 - PC Representative	Mike	Darin	8/15/2022	
3 - Township Resident	Matt	Mertz	8/15/2021	
4 - Township Resident	Jeremy	MacDonald	10/17/2022	
5 - Member at large	vacan	t seat	8/15/2021	
Mid Michigan A	Aquatic Recreational Auth	ority (2 seat from Townsh	nip) 3 year term	
#	F Name	L Name	<b>Expiration Date</b>	
1 - City of Mt. Pleasant	John	Zang	12/31/2023	
2 - City of Mt. Pleasant	Judith	Wagley	12/31/2022	
1 -Union Township	Stan	Shingles	12/31/2023	
2 - Union Township	Allison	Chiodini	12/31/2022	
At Large				
At Large				



# **Community and Economic Development Department**

2010 S. Lincoln Rd. Mt. Pleasant, MI 48858 989-772-4600 ext. 232 rnanney@uniontownshipmi.com

TO: Planning Commission DATE: February 10, 2021

**FROM:** Rodney C. Nanney, AICP, Community and Economic Development Director

**SUBJECT:** Planning for a potential future return to in-person Planning Commission meetings after the current COVID19 virus pandemic-related county emergency declaration and state health orders restricting in-person public meetings are lifted.

# **Background Information**

The Planning Commission last held an in-person public meeting one year ago on February 18, 2020, with COVID19 virus pandemic-related shutdowns taking hold beginning soon after in early March. Up to and including this February's regular meeting, the Planning Commission will have held a total of eleven electronic meetings since your initial one on May 19, 2020.

# **Current conditions**

Under the state Open Meetings Act (Public Act 267 of 1976, as amended) the Planning Commission can continue to hold electronic meetings for any reason through March 30, 2021. Beginning on March 31, 2021 and extending through the end of 2021, the state Act further restricts electronic meetings only to circumstances needed to accommodate:

- 1. "the absence of any member of the public body due to military duty,
- 2. a medical condition, or
- 3. a statewide or local state of emergency or state of disaster declared pursuant to law...that would risk the personal health or safety of members of the public or the public body if the meeting were held in person."

On 4/21/2020, the Isabella County Board of Commissioners adopted Resolution No. 20-04-01 in accordance with the state Emergency Management Act (Public Act 390 of 1976, as amended) to extend indefinitely a local State of Emergency declaration originally issued by Chairman George Green on 3/17/2020. This declaration will remain in effect until rescinded by the Board of Commissioners. The most recent state health order restricting in-person public meetings was issued by the Michigan Department of Health and Human Services on February 4, 2021 and is set to expire on March 29, 2021.

The Township Hall is open to the public on a limited basis, but the Community and Economic Development Department staff continue to hold most meetings with applicants and others remotely via the Zoom app.

The communications technology in the Township Hall Board Room remains fully capable of broadcasting any public meeting to the Township's public access channels, but is not currently configured for two-way communication with remote attendees. In addition, the limited size of

the Board Room will create challenges for accommodating reasonable social distancing between Commission members, staff, and the public during any in-person meeting.

# Planning for a future return to in-person meetings

The County Board of Commissioners is not anticipated to take any near-term action to rescind their State of Emergency declaration, so the Planning Commission's electronic meeting format is expected to continue beyond the 3/30/2021 milestone in the Open Meetings Act for a number of additional months. However, with the ongoing rollout of the COVID19 vaccine, it is important to look ahead to a time when in-person meetings will again be possible.

Potential accommodations for a future return to in-person meetings include:

- 1. Temporary use of the Commission on Aging's building for in-person meetings (once this facility is again open to the public), since the larger meeting rooms can more easily accommodate social distancing.
- 2. Temporary use of the McDonald Park pavilion near the baseball fields for in-person meetings held outdoors during warmer weather months.
- 3. A potential "hybrid" meeting format under which a Commission member with a medical condition for which in-person attendance would be a risk to their health or safety could attend and fully participate in the meeting from a remote location while the remainder of the commissioners, staff, and public are in attendance at the Township Hall.

# Recommendation

No Planning Commission action is needed at this time, but I would ask that individual members take time to ponder their personal circumstances and preferences on this topic, and to contact me at (989) 772-4600 ext. 232 or via email at rnanney@uniontownshipmi.com with any questions or concerns. If desired, this could also be included on the March meeting agenda as a discussion topic.

Respectfully submitted,

Rodney C. Nanney, AICP

Community and Economic Development Director



2010 S. Lincoln Rd. Mt. Pleasant, MI 48858 989-772-4600 ext. 232

# **FINAL SITE PLAN REPORT**

TO: **Planning Commission** February 9, 2021 DATE:

FROM: Peter Gallinat, Zoning Administrator **ZONING:** I-1 Industrial District

PROJECT: PSPR21-03 Final Site Plan Approval Application for Contractors Yard. Expansion of

Malley Construction

PARCEL(S): PID 14-011-30-001-07, 14-011-40-002-00

**OWNER(S):** Malley Bradley J & Denise R

LOCATION: Approximately 8.59 acres on the south side of East Airport Road and west of

Packard Rd. in the SW 1/4 of Section 11.

**EXISTING USE:** Existing storage building. ADJACENT ZONING: 1-1

FUTURE LAND USE DESIGNATION: Industrial/Employment. This category promotes traditional industrial employment. Located near regional nodes with convenient access to interchanges, this district provides an opportunity to diversify the industrial employment base of the township by reserving areas for research, development, technology, and corporate offices or campuses. Types of industries may include automotive, electronics, alternative energy technologies, computers, communications, information technology, chemical or biomedical engineering.

**ACTION REQUESTED:** To review and take action to approve, deny, or approve with conditions the PSPR21-03 final site plan dated February 4, 2021 for the Malley Construction Contractors Yard.

# Status of Special Use Permit Approval for the Project.

A special use permit for a contractor's yard PSUP20-02 was reviewed by the Planning Commission following a public hearing held in December 2020. The Board of Trustees in January 2021 agreed with the Planning Commission's recommendation and took action to approve the special use permit for the contractor's yard.

# **Site Plan Approval Process**

A preliminary site plan SPR20-15 was reviewed and approved December 2020 by the Planning Commission. Changes as required have been made and the applicant has submitted a final site plan application.

# **Final Site Plan Review Comments**

Malley Construction is proposing a Contractor's Yard located west of Packard Rd. This is an expansion of the business currently conducted at 1565 S. Park Place. The following review comments are based on the applicable Ordinance requirements, including Section 6.32 (Outdoor Storage, General), Section 14.2.P. (Required Site Plan information), and the standards for final site plan approval found in Section 14.2.S. of the new Zoning Ordinance:

- 1. **Section 14.2.P. (Required Site Plan Information).** The final site plan complies with Section14.2.P.
- 2. **Section 3.16. (Setbacks).** The final site plan shows all setback and complies with minimum requirements.
- 3. **Section 8.1. (Environmental Performance Standards).** The application documentation indicates that no hazardous materials will be stored on the lot storage of hazardous waste. Per Section 6.31. (Outdoor Storage, General), the following requirements will apply to the use of this lot as a Contractor's Yard:
  - a. Materials that might generate fumes, odors, or dust, cause a fire hazard, or attract rodents or insects shall be stored in closed containers.
  - b. Outdoor storage of materials that might cause a fire hazard shall be subject to approval by the Fire Chief.
  - c. Materials, particularly waste materials, shall not be allowed to accumulate on the site in such a manner as to be unsightly, constitute a fire hazard, or contribute to unsanitary conditions.
  - d. Materials and waste must be secured to prevent wind-blown debris off the premises.
- 4. **Section 9.1. (Parking).** Staff has no objection to Planning Commission approval of the final site plan's parking arrangement, as use of the land is limited to equipment storage.
- 5. **Section 9.5 (Loading Space).** The size of any required loading space shall be based on the types of delivery vehicles typically utilized by the establishment, provided that in industrial districts sufficient land area must be available to provide a 10 foot by 50-foot space if the use of the property changes. Currently the gravel lot is large enough to satisfy loading space for the site.
- 6. **Section 9.6 (Access Management).** As part of approval for this project Packard Road has been left open and un-obstructed. The fencing previously depicted on the previous plans has been removed from the final site plan.
- 7. **Section 7.10 (Sidewalks and Pathways).** The plan shows a portion of sidewalk 5 feet in width located on E. Airport Road and on Packard Road. The applicant has requested relief for both sidewalks. Staff would support relief from sidewalk construction for this project due to the development being located on a property zoned industrial.
- 8. **Section 8.2. (Exterior Lighting).** No exterior lighting is proposed. Plan notes that if lighting is added in the future it will conform to Township requirements.
- 9. **Section 7.6 (Fencing).** A six-foot chain-link fence is proposed around the property. Site plan notes the chain link fence will be vinyl coated to comply with Section 6.31.A.

- (Enclosure) requirements. The location of the fence complies with section 4.6 (Clear Vision Triangle) standards at the intersection of Packard and Airport.
- 10. **Section 10.2.B (Landscaping and Screening).** Landscaping has been added to the plan to reflect screening on E. Airport Road and Packard Road. The plan complies with applicable requirements.
- 11. **Outside agency approvals.** Applicant has secured all required outside agency permits and approvals for this project, including from the Mt. Pleasant Fire Department, Isabella County Transportation Commission, Isabella County Drain Office, and the Township's Public Services Department. Isabella County Road Commission approval is not needed since Packard Road is private road and no changes have been proposed affecting E. Airport Road.

# **Objective**

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

# **Key Findings**

- 1. The site plan notes include a request for temporary relief from sidewalk construction. The reason is not stated but, it is clear in the relief criteria that a development on an Industrial property qualifies for consideration of the requested relief.
- 2. The final site plan fully conforms to Section 14.2.P. (Required Site Plan Information) and Section 14.2.S. (Standards for Site Plan Approval).

# Recommendations

Based on the above findings, I would ask that the Planning Commission consider taking action to approve the PSPR21-03 final site plan dated February 4, 2021 for the Malley Construction Contractors Yard located on the south side of East Airport Road and west of Packard Rd. in the SW 1/4 of Section 11 and in the I-1 zoning district, as presented.

Please contact me at (989) 772-4600 ext. 241, or via email at pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat, Zoning Administrator

Community and Economic Development Department

# **Charter Township of Union**





	Minor Site Plan	Preliminary Sit	e Plan	Final Site Pla	an
A Completed Applica	ntion will contain all the info	ormation required per	the Zoning Ordinan	ce, Section 14.2 (Si	ite Plan Review).
Name of Proposed De	velopment/Project	Ma	lley Construction	/ard Expansion	
Common Description	of Property & Address (i	f issued)	Se	e site plan	
-					
Applicant's Name(s)		Brad Malley	- Malley Construct	tion	
Phone/Fax numbers	989-77	2-2765	Email	bmcdmalley@	gmail.com
Address	1565 South Pa	arkplace	City:_	Mt. Pleasar	nt Zip: 48858
Legal Description:		ided on Site Plan		umber(s):	on site plan
	Land Acreage:			vacant	
ATTACHED: Letter	describing the project and	how it conforms to	Section 14.2.S. (Star	ndards for Site Pla	n Approval)
Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: SchaFour 2. Address: City: Contact Person:	Mt. Pleasant	1750 Plainfield F	Road State: M	11 Zip: 48858
Legal Owner(s) of	1. Name:				989-772-2765
Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	City: Signature 2. Name: Address: City:		Inte	State: MI rest in Property: Phone: State: MI	owner/lessee/other
	Signature:		Inte	rest in Property:	owner/lessee/other
true and accurate to t all the owners of the p any permits issued our constitute the right to	t all the statements, sign the best of my knowledge property. False or inaccu rsuant to site plan appro Piolate any provisions of gnature of Applicant	e and that I am auth rate information pla val and/or removal	horized to file this aced upon this plar of work installed. A nce or other applic	application and n may be cause fo Approval of this p able codes and o Date	act on behalf of or revocation of plan shall not ordinances.
Application Received 8	Зу:			Fee Paid: \$	
Date Received:			Eccrow Don	ocit Baid: Š	

Revised: 9/14/2020

# **Preliminary Site Plan Review Procedure**

Each preliminary site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

#### **Effect of Preliminary Site Plan Approval**

Approval of a preliminary site plan by the Planning Commission shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas in accordance with the standards for preliminary site plan approval specified in subsection 14.2(S). The Planning Commission may, at its discretion and with appropriate conditions attached, authorize limited work to begin for soils exploration, incidental site clearing, and other preliminary site work as specified in the authorization.

# **Outside Agency Approvals**

The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval.

#### **Final Site Plan Review Procedure**

Each final site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

#### **Effect of Final Site Plan Approval**

Approval of a final site plan by the Planning Commission constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met.

# Minor Site Plan Review Procedure

A minor site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee, and two (2) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and site plans, at a maximum sheet size of 11 inches by 17 inches, at the Township Hall. The Zoning Administrator shall review the application materials and site plan for completeness, accuracy, and compliance with all applicable requirements and standards of this Ordinance and other Township ordinances.

The minor site plan shall be approved by the Zoning Administrator upon determination that all required information for the type of site plan has been provided per subsection 14.2(P), the site plan satisfies the applicable standards for site plan approval per subsection 14.2(S); and the site plan conforms to all other applicable requirements and standards of this Ordinance and other Township ordinances.

# **CHARTER TOWNSHIP OF UNION**

# SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

lame of business owner(s):	
varie of business owner(s).	
Street and mailing address:	
Telephone:	
Fax:	
Email:	
n that the information submit	tted is accurate.
	tted is accurate.
	tted is accurate.
n that the information submit Owner(s) signature and date: Information compiled by:	tted is accurate.
Owner(s) signature and date:	tted is accurate.

# Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

COMMON NAME	CHEMICAL NAME	FORM	MAX QUANTITY ON	TYPE OF STORAGE
	(components)		HAND AT ONE TIME	CONTAINERS
	KEY:			KEY:
	UQ, ≖ Ilquid			AGT = above ground tank
	P.UQ = pressurized liquid			DM = drums
	S = solids			UGT = underground tank
	6 = 1723			Cy = cylinders
	PG = pressurized gas			CM = metal cylinders
				GW = wooden or composition
				container
				TP = portable tank

# Section 14.2 Site Plan Review (excerpts)

#### A. Purpose and Scope.

The purposes of this Section are to establish uniform requirements of procedure for review of site plans for new development in the Township; to confirm compliance with this Ordinance and other Township ordinances prior to the start of construction; and to ensure that development in the Township is consistent with the adopted policies of the Township's Master Plan.

#### B. Authority.

Flexible standards have been established to ensure that the type of review and amount of required information is proportional to the project's scale and intensity. The Planning Commission shall have the authority to review and take action on preliminary site plan and final site plan applications and the Zoning Administrator shall have authority to review and take action on minor site plan applications, all in accordance with this Section and Ordinance.

- Preliminary site plan. Requirements for a preliminary site plan are intended to allow for review of the general character of the proposed use(s), general site layout, and location of structures and other site improvements; and to confirm that the overall development can conform to Ordinance requirements.
- 2. <u>Final site plan.</u> A final site plan is a set of engineering, architectural, and/or landscape design drawings that satisfy all applicable requirements of this Ordinance and outside agencies with jurisdiction, which are prepared by registered design professionals based on an approved preliminary site plan and depict all planned building, pedestrian access, parking, grading, drainage, infrastructure, exterior lighting, and other site improvement details for a given lot and development project.
- Minor site plan. The reduced information requirements for a minor site plan submittal, as specified
  in Section 14.2(P) (Required Site Plan Information), are intended to allow for administrative review
  of a limited range of low intensity projects that do not include significant engineering or design
  details.

#### C. Site Plan Approval Required.

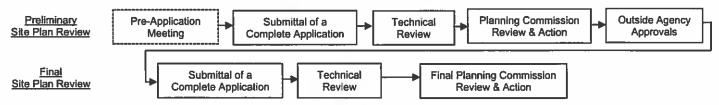
No permits shall be issued, no construction of or addition to any structure shall take place, and no land use for which site plan approval is required shall be established or expanded until all required site plans have been approved in accordance with this Section and Ordinance. Except as permitted in accordance with this Section, no grading, grubbing, cutting of trees or other vegetation, excavation, landfilling, or construction of improvements shall commence for any development for which site plan approval is required until all required site plans have been approved in accordance with the following:

	Туре	of Approv	al Requir	ed
Site Plan Approval Required	Preliminary Site Pian		Minor Site Plan	Exempt
Adult foster care large group homes, group child day care homes, and home-based limited businesses subject to special use permit approval in the zoning district per Section 3.			>	
All other land uses subject to special use permit approval in the zoning district, and all land uses for which site plan approval is otherwise required by provisions of this Ordinance.		¥		
Farm-based tourism and entertainment activities (agri-tourism), public stables, permanent auction facilities, and religious institutions as allowed in the Agricultural (AG) District per Section 3.		~		
Private off-road courses as allowed in the Agricultural (AG) District per Section 3.			~	
Customary agricultural operations, private stables, and greenhouses as allowed in the Agricultural (AG) and Rural Residential (R-1) zoning districts per Section 3, provided that the structures and improvements shall conform to all applicable Ordinance standards.	l .			<b>&gt;</b>
Construction, relocation or alteration of a two family (duplex) dwelling, detached single family dwelling or customary accessory structures on a single lot, provided that the structures and improvements shall conform to all applicable Ordinance standards.	ł			*

	Туре	of Approv	al Requir	ed
Site Plan Approval Required	Preliminary Site Plan	Final Site Plan	Minor Site Plan	Exempt
Home occupations that conform to the requirements of Section 6.19.				~
Family day care homes, adult foster care family homes and small group homes, and child foster family homes and family group homes, as licensed by the State of Michigan.				•
Multiple-family residential buildings and uses, independent or dependent senior housing, assisted living facilities, nursing homes; homes for the aged, and religious institutions as allowed in the Residential Districts per Section 3.		>		
All land uses allowed in the Business Districts and Industrial Districts per Section 3.	~	>		
All planned unit development (PUD) projects, as approved by the Township Board in accordance with Section 3.18.	~	<b>Y</b>		
Construction or expansion of buildings, equipment storage yards, and associated above-ground site improvements occupied by or intended for occupancy by essential services in any zoning district.		>		
The improvement, expansion, extension or abandonment of public or private overhead or underground utility lines or easements.				>
Any development which would, if approved, provide for the establishment of more than one principal use or building on a lot.	>	>		
Establishment or alteration of a condominium subdivision of an existing building into separate units in accordance with the Condominium Act and Section 5.1 of this Ordinance provided that no new construction or alteration of existing buildings or site improvements are proposed or required, and compliance with the requirements and standards of this Ordinance will not be affected.			<b>&gt;</b>	
Establishment or alteration of any other condominium subdivision in accordance with the Condominium Act and Section 5.1.	~	>		
A change in use for an existing multiple-family, mixed use or non- residential building where the Zoning Administrator has determined that no new construction or alteration of the building or site improvements are required and compliance with the requirements and standards of this Ordinance will not be affected.			•	
Any other change in use for an existing multiple-family, mixed use or non-residential building.	~	>		
Expansion of an existing multiple-family, mixed use or non-residential principal building of up to ten percent (10%) of the gross floor area, and any alterations that affect the exterior appearance, pedestrian access or function of the building without a floor area increase.			•	
Expansion of an existing multiple-family, mixed use or non-residential principal building exceeding ten percent (10%) of the gross floor area.	~	>		
Relocation of a multiple-family, mixed use or non-residential building.	<b>~</b>	<b>&gt;</b>		
Establishment or alteration of a multiple-family, mixed use or non- residential accessory use or structure where the Zoning Administrator has determined that compliance with the requirements and standards of this Ordinance will not be affected.			V	
Any other establishment or alteration of any other multiple-family, mixed use or non-residential accessory use or structure,	_	~		
Expansion of any multiple-family, mixed use or non-residential off- street parking facility by up to 2,750 square feet.			~	

	Туре	of Approv	ral Requir	ed
Site Plan Approval Required	Preliminary Site Plan		Minor Site Plan	Exempt
Expansion of any multiple-family, mixed use or non-residential off- street parking facility exceeding 2,750 square feet.	~	~		
Construction, extension or alteration of a private road, as authorized by Ord. No. 2009-09, that is located outside of a subdivision plat.	~	>		
Incidental changes during construction due to unanticipated site constraints or outside agency requirements, and minor landscaping changes or species substitutions, consistent with an approved final site plan.			~	
Incidental building modifications that do not significantly alter the facade, height or floor area of a multiple-family, mixed use or non-residential building.			~	
Changes to a site required to comply with State Construction Code requirements.			~	
Sidewalk or pedestrian pathway construction, or barrier-free improvements.			~	
Construction of fences, exterior lighting improvements, or installation of screening around a waste receptacle, mechanical unit or similar equipment for a multiple-family, mixed use or non-residential use.			•	
Re-occupancy of an existing multiple-family, mixed use or non-residential building that has been vacant for more than 365 calendar days, provided that no variances to the requirements of this Ordinance are required and the proposed use will be conducted within a completely enclosed building, and will not require access changes or other substantial modifications to the existing site.			•	

- Extraction operations. For extraction operations as authorized under the Township's Extraction Ordinance No. 20-01, Planning Commission approval of an Extraction Permit and associated mining and reclamation plans shall also constitute site plan approval for the use under this Ordinance.
- Mobile home parks. Construction, expansion or alteration of a mobile housing park shall be subject
  to preliminary plan approval in accordance with Section 3.12 and the procedures and standards
  established under Section 11 of the Mobile Home Commission Act (Public Act 96 of 1987, as
  amended), as summarized below:
  - The preliminary plan shall include the location, layout, general design, and general description of the project. The preliminary plan shall not include detailed construction plans.
  - b. In preparing the preliminary plan and when reviewing the plan, the developer and Planning Commission shall generally follow the review procedure outlined in this Section for preliminary site plan approval, where applicable, except where pre-empted by requirements of the Mobile Home Commission Act or Manufactured Housing Rules.
  - c. Pursuant to Section 11 of the Mobile Home Commission Act, the Planning Commission shall take action on the preliminary plan within 60 days after the Township officially receives the plan.
- D. Summary of the Site Plan Review Processes.



NOTE: Applicant may combine preliminary and Final Site Plan Review, per Section 14.2(M)

P. Required Site Plan Information.

The following minimum information shall be included with any application for site plan approval, except where the Township Planner, Zoning Administrator or Planning Commission determines that an item of information is not applicable or necessary for review of the site plan:

Minimum Site Plan Information	Minor Site Plan	Preliminary Site Plan	Final Site Plan
SITE PLAN DESCRIPTIVE INFORMATION			
Name, address, and other contact information for the applicant and property owners, along with proof of ownership and signed consent if applicant is not the owner.	•	•	•
Name, address, and other contact information of the firm or individual preparing the site plan. Site plans prepared by an architect, community planner, engineer, landscape architect or land surveyor shall bear the individual's professional seal.		•	•
A final site plan shall be prepared and sealed by an architect, engineer, landscape architect or land surveyor registered in the State of Michigan.			•
Location, address(es), and tax identification number(s) of subject parcel(s); dimensions of the site, and the gross and net land area.	•	•	•
Legal description(s) of the subject parcel(s).		•	•
Legal description of the proposed development site and any non-contiguous open space area(s), if different from the subject parcel(s), with lot line angles or bearings indicated on the plan. Dimensions, angles, and bearings shall be based upon a boundary survey prepared by a registered surveyor.		•	•
Details of existing and proposed covenants or other restrictions imposed upon land or buildings, including bylaws, deed restrictions, and articles of incorporation for a cooperative, condominium, or homeowners' association.			•
Description of applicant's intentions regarding selling or leasing of all or portions of land, dwelling units or building spaces.		•	•
Residential projects: Gross and net dwelling unit density, lot area per dwelling unit, and a schedule of the number, sizes (bedrooms, floor areas), and types of dwellings.		•	•
A detailed use statement describing proposed use(s); including land or building areas for each use, number of units, number of anticipated employees, or other applicable information to verify Ordinance compliance.		•	•
SITE PLAN DATA AND NOTES			
Minor site plans shall be drawn to a scale appropriate for the sheet size and of such accuracy that the Zoning Administrator can readily interpret the plan.	•		
Preliminary and final site plans shall be drawn to an engineer's scale not greater than 1:50 and legible at the required sheet size. For a large development shown in sections on multiple sheets, one overall composite sheet shall be provided for clarity.		•	•
Vicinity map showing the general location of the site, map scale, north arrow, initial plan date, and any revision date(s).	•	•	•
Existing zoning classification(s) for the subject parcel(s) and surrounding parcels (including across road rights-of-way).		•	•
Owners' names, existing uses, and location of structures, drives, and improvements on surrounding parcels (including across rights-of-way).		•	•
Identification of all adjacent property in which the applicant(s), developer(s), or owner(s) have an ownership interest.		•	•
Dimensions of all property boundaries and interior lot lines.	•		•
Calculations for parking, lot coverage, total ground floor area, and other applicable Ordinance requirements.	•	•	•

Minimum Site Plan Information	Minor Site Plan	Preliminary Site Plan	Final Site Plan
EXISTING CONDITIONS			
Location of existing structures, fences, and driveways on the subject property, with notes regarding their preservation or alteration.	•	•	•
Location of existing walls, signs, utility poles and towers, pipelines, excavations, bridges, culverts, and other site features on the subject property, with notes regarding their preservation or alteration.		•	•
SITE PLAN DETAILS			
Delineation of required yards, and other setback areas and open space.		•	•
Identification of general location(s) and area(s) of each development phase; and the planned construction program and schedule for each development phase.		•	•
Location, width, purpose, and description of all existing and proposed easements and rights-of-way on or adjacent to the site.	•	•	•
Location, type, area, height, and lighting specifications of proposed signs.	•		•
An exterior lighting plan with all existing and proposed lighting locations, heights from grade, specifications, lamps types, and methods of shielding.	•		•
Location, area, and dimensions of any outdoor sales, display or storage areas.	•	•	•
Location of proposed outdoor waste receptacle enclosures; with size, elevation, and vertical cross-section showing materials and dimensions; indication how recycling will be implemented.		•	•
BUILDING DESIGN AND ORIENTATION			
Location, outline, ground floor area, and height of proposed structures; and of existing structures to remain on-site.	•	•	•
Dimensions, number of floors, and gross and net floor area of proposed principal buildings; and of existing principal buildings to remain on-site.		•	•
Separation distances between adjacent buildings, and between buildings and adjacent lot boundaries.		•	•
Detailed exterior building façade elevation drawings for all proposed dwellings, principal buildings, and additions, drawn to an appropriate scale and indicating types, colors, and dimensions of finished wall materials.		•	•
Finished floor elevations and contact grade elevations for proposed principal buildings and existing principal buildings to remain on-site, referenced to a common datum acceptable to the Township Engineer.			•
ACCESS AND CIRCULATION			
Locations, layout, surface type, centerlines, road pavement and right-of-way widths, and indication of public or private road status for all existing and proposed roads and access drives serving the site.		•	•
Conceptual locations, layout, and surface type for all parking lots, sidewalks, and pedestrian pathways within and accessing the site.	•	•	•
Locations and dimensions of vehicle access points, and distances between adjacent or opposing driveways and road intersections.	•	•	•
Details of the location, width, and paving of proposed sidewalks and pedestrian ways, including alignment, cross section, connections to existing or planned off-site facilities, and easement or right-of-way dedications.	•		•
Parking space dimensions, pavement markings, and traffic control signage.	•	•	•
<u> </u>			

Minimum Site Plan Information	Minor Site Plan	Preliminary Site Plan	Final Site Plan
Parking space angles; maneuvering aisle, island, and median dimensions; surface type; fire lanes; drainage patterns; location of loading areas; and typical cross-section showing surface, base, and sub-base materials.		•	•
Identification of proposed names for new public or private roads serving the site.		•	•
Spot elevations for existing roads on and adjacent to the subject parcel(s), including surface elevations at intersections with the internal roads and drives serving the proposed development; curve-radii and road grades; location and details of curbs, and turning lanes; and typical road cross sections showing surface, base, and sub-base materials and dimensions.			•
NATURAL FEATURES AND OPEN SPACE AREAS			
A general description and preliminary delineation of existing natural features on and abutting the site.		•	•
Details of all existing natural features on the site; indications of features to be preserved, removed, or altered; and any mitigation measures as may be required by Township ordinance or state statute.			•
Outdoor open space and recreation areas; location, area, and dimensions.		•	•
Description of the organization that will own and maintain open space and recreation areas, and a long-term maintenance plan for such areas.			•
SCREENING AND LANDSCAPING			
General layout of proposed landscaping and screening improvements; including plantings, topographic changes, and similar features.	•	•	•
A detailed landscape plan, including location, size, quantity and type of proposed plant materials and any existing plant materials to be preserved.			•
Planting list for all landscape materials, with the method of installation, botanical and common name, quantity, size, and height at planting.			•
Landscape maintenance plan, including notes regarding replacement of dead or diseased plant materials.			•
Proposed fences, walls, and other screening devices, including typical cross section, materials, and height above grade.	•	•	•
Screening methods for any waste receptacle areas, ground-mounted generators, transformers, mechanical (HVAC) units, and similar devices.	•	•	•
UTILITIES, STORMWATER MANAGEMENT, AND GRADING			
General layout of existing and proposed water supply systems, sanitary sewerage or septic systems, and stormwater management facilities.		•	•
Details of the location, layout, and size or capacity of the existing and proposed potable water supply and sewage treatment and disposal facilities serving the site, including line sizes, inverts, hydrants, flow patterns, manholes, and catch basins.			•
Location, size, and slope of proposed detention or retention ponds; and location and size of underground tanks and drain lines where applicable.			•
Calculations for capacity of stormwater management and drainage facilities.	<u> </u>		•
Location and size of existing and proposed telephone, gas, electric, and similar utility lines and surface-mounted equipment.			•
General areas of intended filling or cutting.		•	•
Directional arrows showing existing and proposed drainage patterns on the lot.	•		•

Minimum Site Plan Information	Minor Site Plan	Preliminary Site Plan	Final Site Plan
A detailed grading plan, with details of proposed filling or cutting, existing and proposed topography at a minimum of two (2) foot contour levels, stormwater runoff drainage patterns, and a general description of grades within 100 feet of the site. All finished contour lines are to be connected to existing contour lines within the site or at the parcel boundaries.			•
Locations, dimensions, and materials of proposed retaining walls, with fill materials and typical vertical sections.		•	•
Description of measures to control soil erosion and sedimentation during construction operations, and until permanent groundcover is established.			•
Other information as requested by the Township Planner, Zoning Administrator or Planning Commission to verify compliance with the standards and conditions imposed by this Ordinance, the policies of the Township Master Plan, and other applicable Township ordinances or state statutes.	•	•	•

#### Q. Expiration and Extension of Site Plan Approval.

Site plan approvals shall expire and may be extended in accordance with the following:

- Expiration of preliminary site plan approval. Approval of a preliminary site plan shall be valid for a
  period of 545 calendar days from the date of approval and shall expire and be of no effect unless an
  application for final site plan approval for all or part of the area included in the approved preliminary site
  plan is filed with the Township Clerk within that time period.
- Expiration of final site plan approval. A final site plan shall expire and be of no effect unless
  construction has begun on the property and is diligently pursued in conformance with the approved final
  site plan within 545 calendar days of the final site plan approval.
- 3. Extension of preliminary or final site plan approval. The Planning Commission may, at its discretion and upon written request and showing of good cause by the applicant, grant an extension of a preliminary or final site plan approval for up to 365 calendar days, provided that site conditions have not changed in a way that would affect the character, design or use of the site, and that the approved site plan remains in conformance with applicable provisions of this Ordinance.
- 4. Expiration of Minor Site Plan Approval. A minor site plan shall expire and be of no effect unless, within 365 calendar days of approval, appropriate permits have been approved, construction has begun on the property, and such work is diligently pursued in conformance with the approved minor site plan. No extensions of minor site plan approval shall be granted by the Zoning Administrator.

#### R. Phasing of Development.

The applicant may divide the development into two (2) or more phases. Phasing shall be subject to the following requirements:

- In the case of a phased development, the preliminary site plan shall cover the entire property involved and shall clearly indicate the location, size, and character of each phase.
- In the case of a phased development, a final site plan shall be submitted for review and approval for each phase.
- A phase shall not be dependent upon subsequent phases for safe and convenient vehicular and
  pedestrian access, adequate utility services, or open spaces and recreation facilities, and shall be
  capable of substantial occupancy, operation, and maintenance upon completion of construction and
  development.
- 4. The Township Planner or Planning Commission may require the applicant to post an acceptable performance guarantee to ensure that vehicular and pedestrian ways, utility services, open space and recreation facilities, and other amenities and infrastructure planned for later phases of the development are completed in a timely fashion.

S. Standards for Site Plan Approval.
In reviewing a minor, preliminary or final site plan, the Zoning Administrator or Planning Commission shall determine that the following standards are met, as applicable to the type of site plan:

Standards for Site Plan Approval	Minor Site Plan	Preliminary Site Plan	Final Site Pan
The applicant is legally authorized to apply for site plan approval, and all required information has been provided.	•	•	•
The proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances.	•	•	•
The final site plan is consistent with the policies of the Master Plan and other adopted Township planning documents, and with the approved preliminary site plan.			•
The proposed development will be harmonious with and not harmful, injurious, or objectionable to the environment or land uses in surrounding area.	•	•	•
The proposed development respects natural topography, floodways, and floodplains; and minimizes the amount and extent of cutting and filling.		•	•
Organic, wet, or other soils that are not suitable for development will be undisturbed or modified in such fashion as to make development feasible.		•	•
The movement of the vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will be safe and convenient.	•	•	•
The proposed development is adequately coordinated with improvements serving the area, and with other existing or planned development in the vicinity.		•	•
Satisfactory and harmonious relationships will exist between the proposed development and the existing and planned development of contiguous lands and the surrounding area, including provisions for proper extensions of public roads and sidewalks through the development in accordance with the Township ordinances.		•	•
Development phases are in logical sequence so that any phase will not depend upon a subsequent phase for access, utilities, drainage or erosion control.		•	•
The plan, including all engineering drawings, meets Township standards for fire and police protection, water supply, sewage disposal or treatment, storm drainage, and other public facilities and services.			•
The drainage plan conforms to applicable drainage and stormwater management standards, and any proposed improvements are adequate to handle anticipated stormwater runoff and accommodate upstream drainage without causing undue runoff on to neighboring property or overloading of area watercourses.			•
Proposed screening, buffering, and landscaping improvements are adequate for the location and intended purpose and conform to the standards of this Ordinance.	•		•
Exterior lighting conforms to Ordinance requirements and standards, and will not adversely affect adjacent or neighboring properties or traffic on adjacent roads.	•		•
The parking layout and vehicular circulation patterns and access points to the site are adequate to serve the proposed uses and will not adversely affect the flow of traffic on adjacent roads or create pedestrian-vehicle conflicts.	•		•
Grading or filling will not destroy or adversely affect the character of the property, adjacent properties or the surrounding area.			•
Erosion will be controlled during and after construction and will not adversely affect adjacent or neighboring property or public facilities or services.			•
The plan meets applicable standards of governmental agencies with jurisdiction, and necessary outside agency approvals have been obtained or are assured.	•		•

# PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

# Michigan.gov/EGLEpermits

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: <a href="Michigan.gov/EHSquide">Michigan.gov/EHSquide</a>. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

How Do I Know that I Need a State of Michigan, County or Local Permit or Approval?			No
1)	Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), <u>Permit Section</u>	Y	NE
2)	Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, <u>Asbestos Program</u> , 517-284-6777	Y	NE
3)	Please consult the <u>Permitting at the Land and Water Interface Decision Tree document</u> to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - <u>Joint Permit Application</u> , 517-284-5567:		
	a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y	NE
	b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y	N
	c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Υ□	NE
	d. Does the project involve construction of a dam, weir or other structure to impound flow?	Y	NØ
4)	Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? <b>Union Township and Isabella County</b>	YE	N
5)	Does the project involve the construction or alteration of a water supply system system? Union Township Public Services Department and Drinking Water & Environmental Health Division (DWEHD), 517-284-6524	Y	NØ
6)	Does the project involve construction or alteration of any sewage collection or treatment facility? <b>Union Township Public Services Department</b> and WRD, Part 41 Construction Permit Program (staff), 906-228-4527, or EGLE District Office	Υ□	NE
7)	Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? <b>Union Township</b> and Public Swimming Pool Program, 517-284-6541, or EGLE District Office	Υ□	N
8)	Does the project involve the construction or modification of a campground? <b>Union Township</b> and DWEHD, Campgrounds program, 517-284-6529	Υ□	NE

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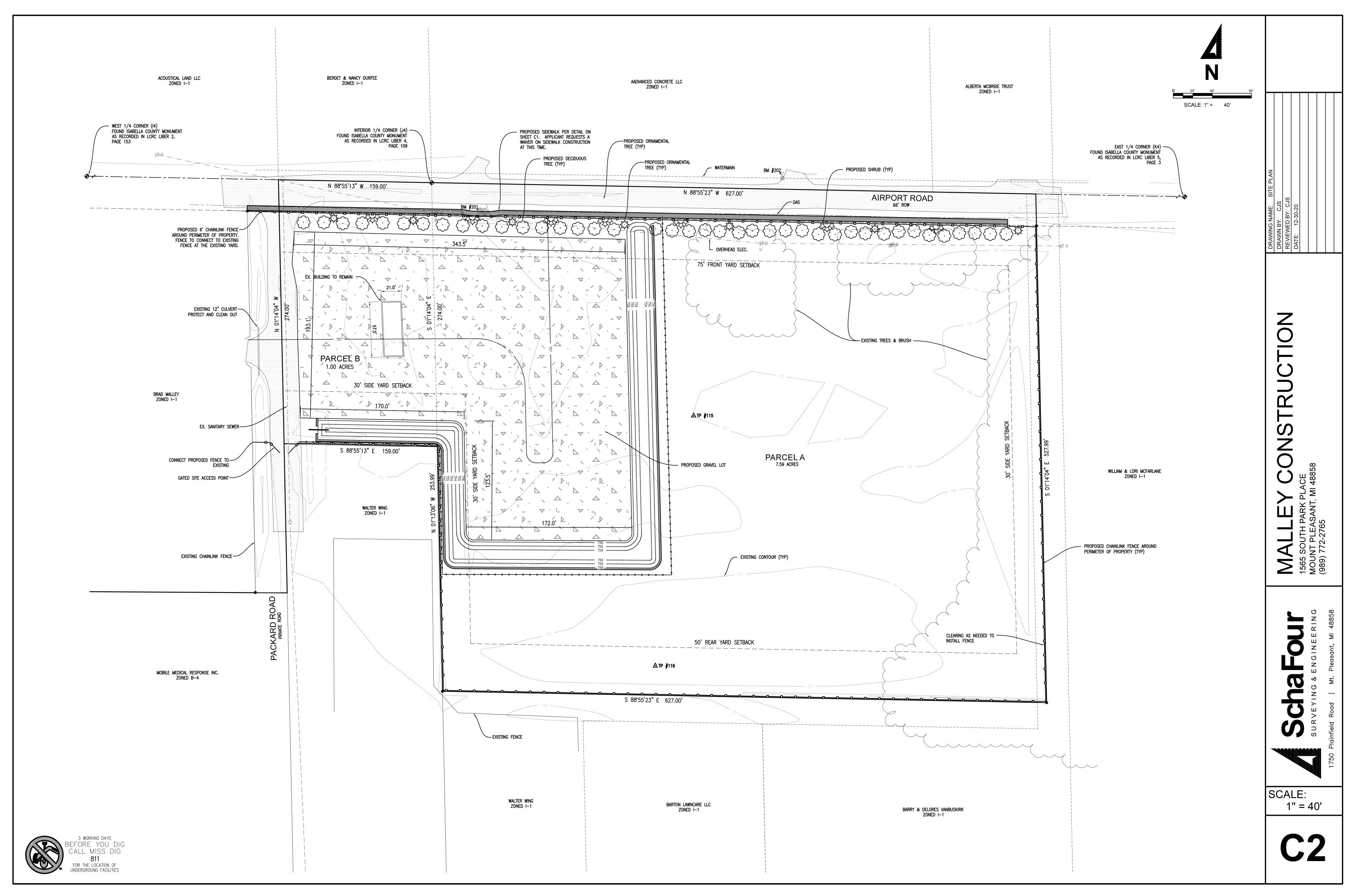
9)	Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), <u>Solid Waste</u> , 517-284-6588, or <u>EGLE District Office</u>	Υ□	NE
10)	Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, Hazardous Waste Section, <u>Treatment, Storage and Disposal</u> , 517-284-6562	Υ□	NØ
Wh	o Regulates My Drinking (Potable) Water Supply?		
11)	I am buying water from the municipal water supply system Contact the Union Township Public Services Dept.	Y	NI
12)	I have a Non-Community Water Supply (Type II) <u>Guide, Contact (District or County) Local</u> <u>Health Department</u> , 517-485-0660	Υ□	NØ
13)	I am a community water supply (Type I) <u>Community Water Supply, DWEHD District Office</u> <u>Community Water Supply Program</u> , 517-284-6512	Y	N
14)	Do you desire to develop a <u>withdrawal of over 2,000,000 gallons of water per day</u> from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	Y	NØ
Wh	o Regulates My Wastewater Discharge System?		
15)	NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, <u>EGLE District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u> , 517-284-5568	Y	N_
16)	Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, <u>Permits Section</u> , or <u>EGLE</u> <u>District Office</u> , 517-284-5588	Y	NZ
17)	Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, <u>Groundwater Permits Program</u> , 517-290-2570	Y	NI
18)	Does the project involve the drilling or deepening of wells for waste disposal? Oil, Gas and Minerals Division (OGMD), 517-284-6841	Y	N
Wh	nat Operational Permits Are Relevant to My Operation and Air Emissions?		
19)	Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, Permit Section, 517-284-6634	Y	ND
20)	Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, Acid Rain Permit Program, 517-780-7843	Y	NE
WH	nat Operational Permits Are Relevant to My Waste Management?		
21)	Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? MMD, 517-284-6588 or EGLE District Office	Y	NO
22)	Does the project involve the on-site treatment, storage, or disposal of hazardous waste?  MMD, <u>Hazardous and Liquid Waste</u> , 517-284-6562	Y	NI
23)	Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (Hazardous Waste Program Forms & License Applications) MMD, EGLE District Office, 517-284-6562	Y	NI

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, Radioactive Material and Standards Unit, 517-284-6581	Y□	NI	
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD Radioactive Material and Standards Unit, 517-284-6581	Y	N	
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, Medical Waste Regulatory Program, 517-284-6594	Υ□	N	
What Sector-Specific Permits May be Relevant to My Business?			
<u>Transporters</u>	Υ□	NZ	
27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste? MMD, <u>Transporter Program</u> , 517-284-6562	Υ□	NEZ	
28) Does the project involve the <i>transport</i> of hazardous waste? MMD, <u>Transporter Program</u> , 517-284-6562	'	/	
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, Water Hauler Information, 517-284-6527	Y□	N	
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, <u>Septage Program</u> , 517-284-6535	Y	NZ	
31) Do you store, haul, shred or process scrap tires? MMD, Scrap Tire Program, 517-284-6586	Υ□	NZ	
Sectors			
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, <u>Dry Cleaning Program</u> , 517-284-6780	Y	N	
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? <u>Laboratory Services Certifications</u> , 517-284-5424	Υ□	NZ	
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, <u>Public Swimming Pools Program</u> , 517-284-6529	Υ□	N	
35) Does the project involve the operation of a campground? Union Township and DWEHD, <u>Campgrounds</u> , 517-284-6529	Y	NØ	
What Permits Do I Need to Add Chemicals to Lakes and Streams?			
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, Aquatic Nuisance Control, 517-284-5593	Y	NE	
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, <a href="Surface Water Assessment Section">Surface Water Assessment Section</a> , 517-331-5228	Y	N	

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Why would I be subject to Oil, Gas and Mineral Permitting?			
38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, <a href="Petroleum Geology and Production Unit">Petroleum Geology and Production Unit</a> , 517-284-6826	Y	N.	
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, Sand Dune Mining Program, 517-284-6826	Y	NI	
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, <u>Radioactive Protection Programs</u> , 517-284-6581	Υ□	N	
Petroleum & Mining, OGMD, 517-284-6826			
41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Υ□	N	
42) Does the project involve the surface or open-pit mining of metallic mineral deposits?	Υ□		
43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Υ□	NZ NZ	
44) Does the project involve mining coal?	Υ□	/	
45) Does the project involve changing the status or plugging of a mineral well?	Y	NE /	
46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Υ□	N	

Contact Union Township and EGLE Permits & Bonding, OGMD, 517-284-6841



# MT. PLEASANT FIRE DEPARTMENT

# INSPECTION REPORT 1565 PARK PLACE RD, MT. PLEASANT MI 48858



#### **DETAILS**

Inspection Date: 01/04/2021 | Inspection Type: PLAN REVIEW UNION TOWNSHIP - Site | Inspection Number: 1916 | Shift: Lieutenant | Station: Mt. Pleasant Fire Department | Unit: N/A | Lead Inspector: RANDY KEELER | Other Inspectors: N/A

STATUS	CODE	DESCRIPTION
FAIL	503.2.1 - Dimensions.	Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).  Inspector: RANDY KEELER - Comments: Gates operational access required for fire truck access.
FAIL	503.2.3 - Surface.	Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all- weather driving capabilities.  Inspector: RANDY KEELER - Comments:
FAIL	KNOX BOX - Knox Box Requirements and Location	Provide a Knox Key entry device and install it in approved location by the Fire Code Official, as in accordance with Chapter 5, Section 506.1, 506.1.1 and 506.2 of the 2012 Edition of the International Fire Code. (Go to Knoxbox.com and search by fire department or zip code - select "Mt. Pleasant Fire Department" and place order for the type of Knox box desired.)  Inspector: RANDY KEELER - Comments: Provide knox box entry at south east gate. Relocate knox box from building to gate on East side of main entrance.

#### **NEXT INSPECTION DATE**

No Inspection Scheduled

# CONTACT SIGNATURE

Jacob Malley

Contact Refused Refusal Reason: N/A

# **INSPECTOR SIGNATURE**

RANDY KEELER Signed on: 01/04/2021 @ 11:10



# **QUESTIONS ABOUT YOUR INSPECTION?**

RANDY KEELER rkeeler@mt-pleasant.org 9897795122 From: Rick Collins

To: Peter Gallinat

Subject: RE: Malley Expansion

**Date:** Thursday, February 4, 2021 4:18:35 PM

Attachments: <u>image001.jpg</u>

I have no further concerns. Thank you.



# **Rick Collins | Executive Director**

2100 E. Transportation Dr|Mt. Pleasant, MI 48858 Phone 989.773.6766 | Fax 989.773.1873 rcollins@ictcbus.com

Visit our website at ictcbus.com

From: Peter Gallinat <pgallinat@uniontownshipmi.com>

**Sent:** Monday, February 1, 2021 3:15 PM **To:** Rick Collins < rcollins@ictcbus.com>

**Subject:** RE: Malley Expansion

Packard road will remain open for this project. The applicant has declared that they would rather see the road eventually closed but, it will not be apart of the approval for this project.

If you have additional comments you would like to share with our PC on either closing or keeping the road open it would be beneficial to hear from the County Transportation's view.

However, for this project the PC is not considering the closure of the road and the road will remain open in order for the site plan to be approved.

I am aware of the signs.

Peter Gallinat
Zoning Administrator
Charter Twp of Union
2010 S. Lincoln Rd.
Mt Pleasant, MI 48858
989-772-4600 x 241
pgallinat@uniontownshipmi.com

From: Rick Collins < <a href="mailto:rcollins@ictcbus.com">rcollins@ictcbus.com</a> Sent: Monday, February 1, 2021 2:20 PM

**To:** Peter Gallinat pgallinat@uniontownshipmi.com>

Subject: RE: Malley Expansion

I have one question. I understand that Packard Rd approaching Airport road had a sign erected reading "Abandoned Road No Trespassing" In the past we have often used Packard Rd to gain access to Airport Rd. Does this project further diminish use of Packard Rd? I have attached a picture of the sign. I don't know if the sign was placed with any authority or not. Thanks.



#### **Rick Collins | Executive Director**

2100 E. Transportation Dr | Mt. Pleasant, MI 48858 Phone 989.773.6766 | Fax 989.773.1873 rcollins@ictcbus.com

Visit our website at ictcbus.com

From: Peter Gallinat com>

**Sent:** Monday, February 1, 2021 1:59 PM **To:** Rick Collins < <a href="mailto:rcollins@ictcbus.com">rcollins@ictcbus.com</a>>

**Cc:** Chris Schafer < <a href="mailto:chris.schafour@outlook.com">chris.schafour@outlook.com</a>>

**Subject:** Malley Expansion

Rick,

Could you take a look at this site plan and let me know if you have any concerns.

Thank you,

Peter Gallinat
Zoning Administrator
Charter Twp of Union
2010 S. Lincoln Rd.
Mt Pleasant, MI 48858
989-772-4600 x 241
pgallinat@uniontownshipmi.com

# PARKING

PROJECT DOES NOT INCLUDE THE CONSTRUCTION OF A BUILDING THEREFORE, NO PARKING SPACES ARE PROPOSED

# NOTES

UTILITIES SHOWN ON THE DRAWING REFLECT INFORMATION COLLECTED FROM UTILITY OWNERS AND VISIBLE MARKERS FOUND DURING FIELD SURVEY. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND UTILIZE THE MISS DIGG SERVICE.

# SIGNS

NO SIGNS ARE PROPOSED AT THIS TIME. FUTURE SIGNS TO BE IN ACCORDANE WITH UNION TOWNSHIP REQUIREMENTS.

# SITE LIGHTING

NO LIGHTING IS PROPOSED AT THIS TIME. FUTURE LIGHTING TO BE IN ACCORDANE WITH UNION TOWNSHIP REQUIREMENTS.

# **ZONING REQUIREMENTS**

ZONED I-1 (LIGHT INDUSTRIAL)
MIN. LOT WIDTH = 100'
MIN. LOT AREA = 43,560 SFT

MAX. BUILDING HEIGHT = 35' MIN. FRONT YARD = 75'

MIN. SIDE YARD = 30'

ELEV: 757.01

MIN. REAR YARD = 50' MAX. LOT COVERAGE = 40%

# SUVEY CONTROL

CONTROL POINT 115
N: 772279.91
E: 13020004.75
CONTROL POINT 116
N: 772020.27
E: 13019965.01

BENCHMARK 201
MARKED "X" IN TOP OF WESTERLY POST OF GAS PIPE GUARD

ELEV: 758.53
BENCHMARK 202

MARKED "X" IN NW BOLT ON TOP FLANGE OF FIRE HYDRANT

ELEV: 758.28

DATUM: NAVD88 BASED ON GPS OBSERVATIONS

# PROPERTY DESCRIPTIONS

ELEV: 757.99

PARCEL A: WARRANTY DEED: LIBER 1846, PAGE 792
TAX ID: 14-011-40-002-00

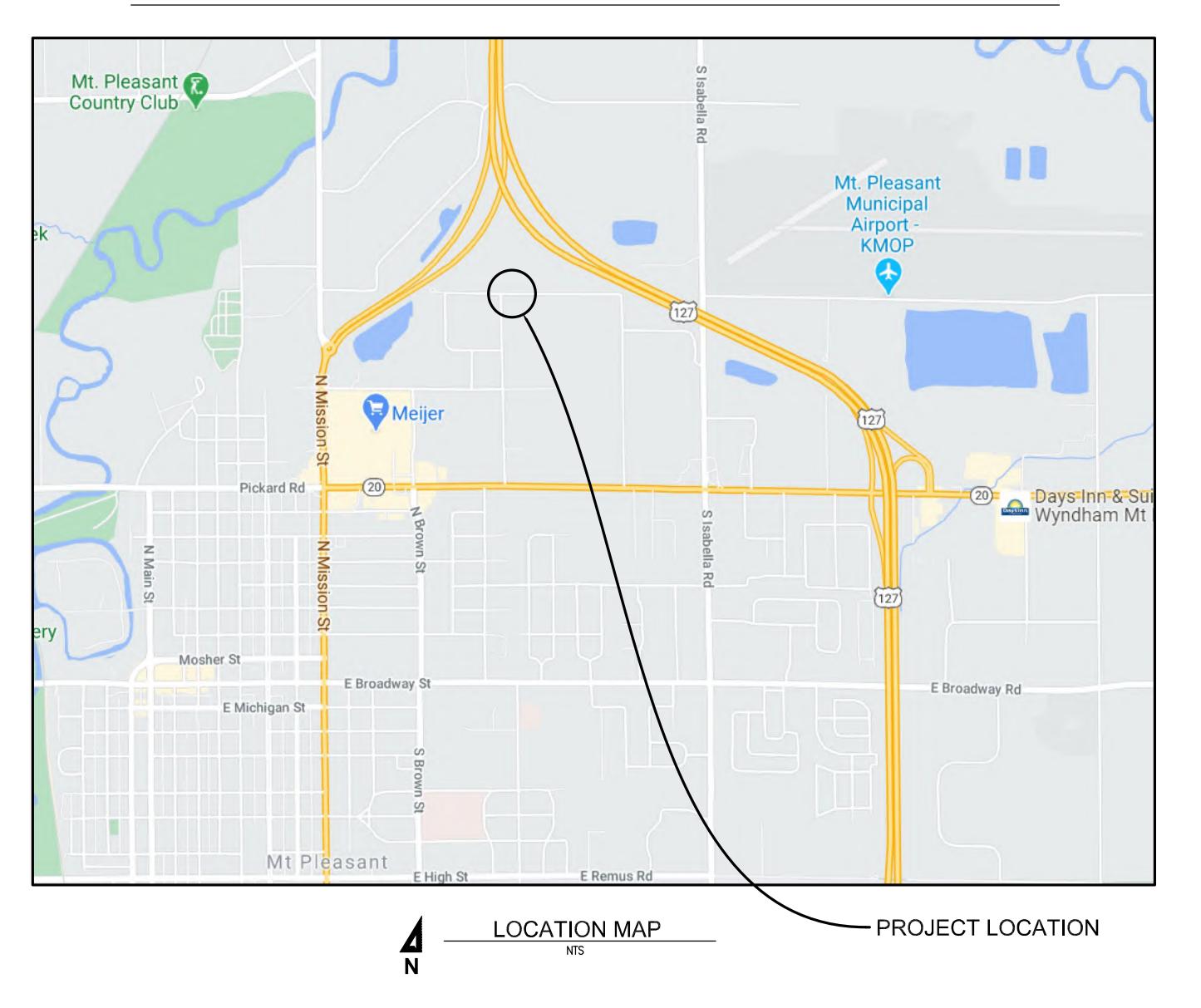
THE NORTH 32 RODS OF THE WEST 38 RODS OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 11,

TOWNSHIP 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

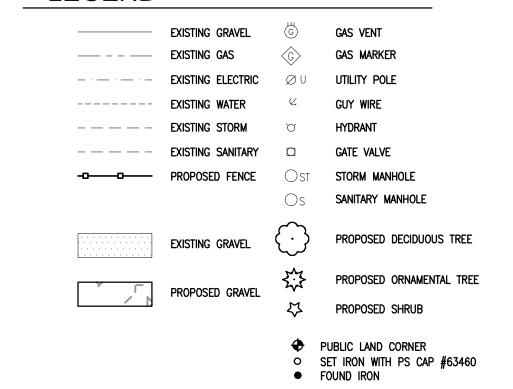
# PARCEL B: WARRANTY DEED: LIBER 1875, PAGE 232 TAX ID: 14-011-30-001-07

THE NORTH 274 FEET OF THE EAST 159 FEET OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 11, TOWNSHIP 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

# MALLEY CONSTRUCTION YARD EXPANSION PROJECT



# LEGEND



# PROJECT DESCRIPTION

PROPOSED PROJECT INCLUDES THE FOLLOWING;
CLEAR AND STRIP PROPERTY AS NEEDED TO CONSTRUCT GRAVEL PARKING AS SHOWN
INSTALL CHAINLINK FENCE AROUND THE PERIMETER OF THE PROPERTY
CLOSE DOWN THE PRIVATE PORTION OF PACKARD ROAD BETWEEN THE APPLICANT'S PARCELS
SITE WILL BE USED FOR MATERIAL STOCKPILES AND EQUIPMENT LAYDOWN
NO BUILDINGS ARE TO BE CONSTRUCTED

# PROJECT TIMELINE

INSTALL SOIL EROSION CONTROL MEASURES	NOVEMBER, 2020
CLEAR AND STRIP LOT	NOVEMBER, 2020
CONSTRUCT GRAVEL LOT	NOVEMBER, 2020
INSTALL PERIMETER FENCING	JANUARY, 2020
SEEDING AND RESTORATION	APRIL, 2020

# SHEET INDEX

C1: COVER SHEET

C2: SITE PLAN
C3: STORM WATER MANAGEMENT / SESC PLAN

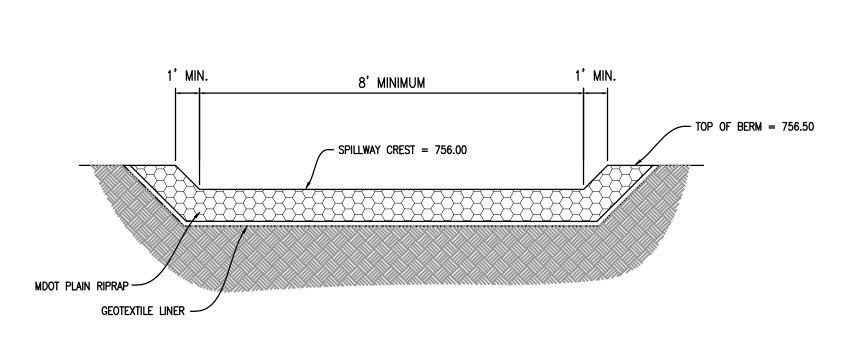
OWNER / APPLICANT

BRAD MALLEY
MALLEY CONSTRUCTION

1565 SOUTH PARKPLACE MT. PLEASANT, MI 48858 989-772-2765

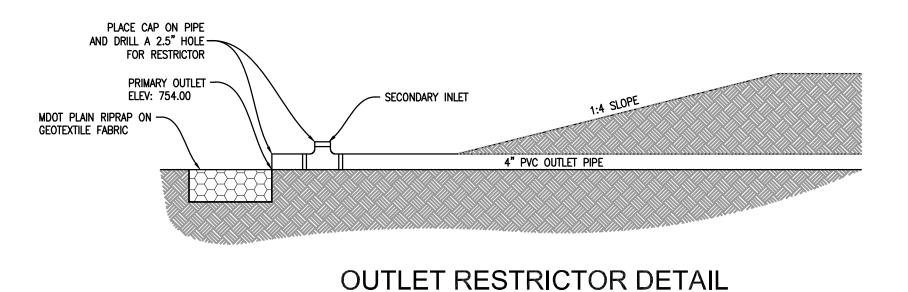
# PREPARED BY

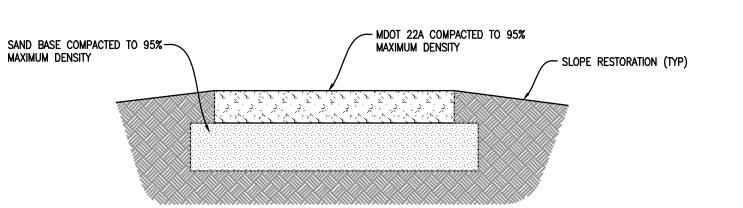
CHRIS SCHAFER, PE, PS SCHAFOUR SURVEYING & ENGINEERING, LLC 1750 PLAINFIELD ROAD MT. PLEASANT, MI 48858 989.560.0642 CHRIS.SCHAFOUR@OUTLOOK.COM



SPILLWAY DETAIL

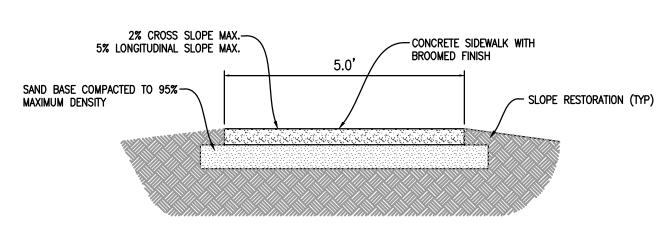
N.T.S.



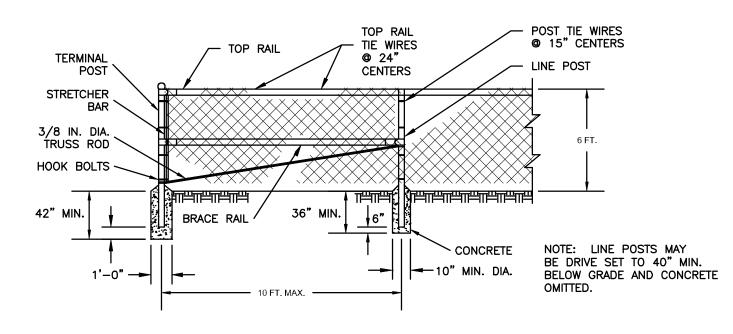


GRAVEL PARKING DETAIL

N.T.S.



SIDEWALK DETAIL



# CHAINLINK FENCE DETAIL



SCALE:
NTS

RISTOPHER

SCHAFER

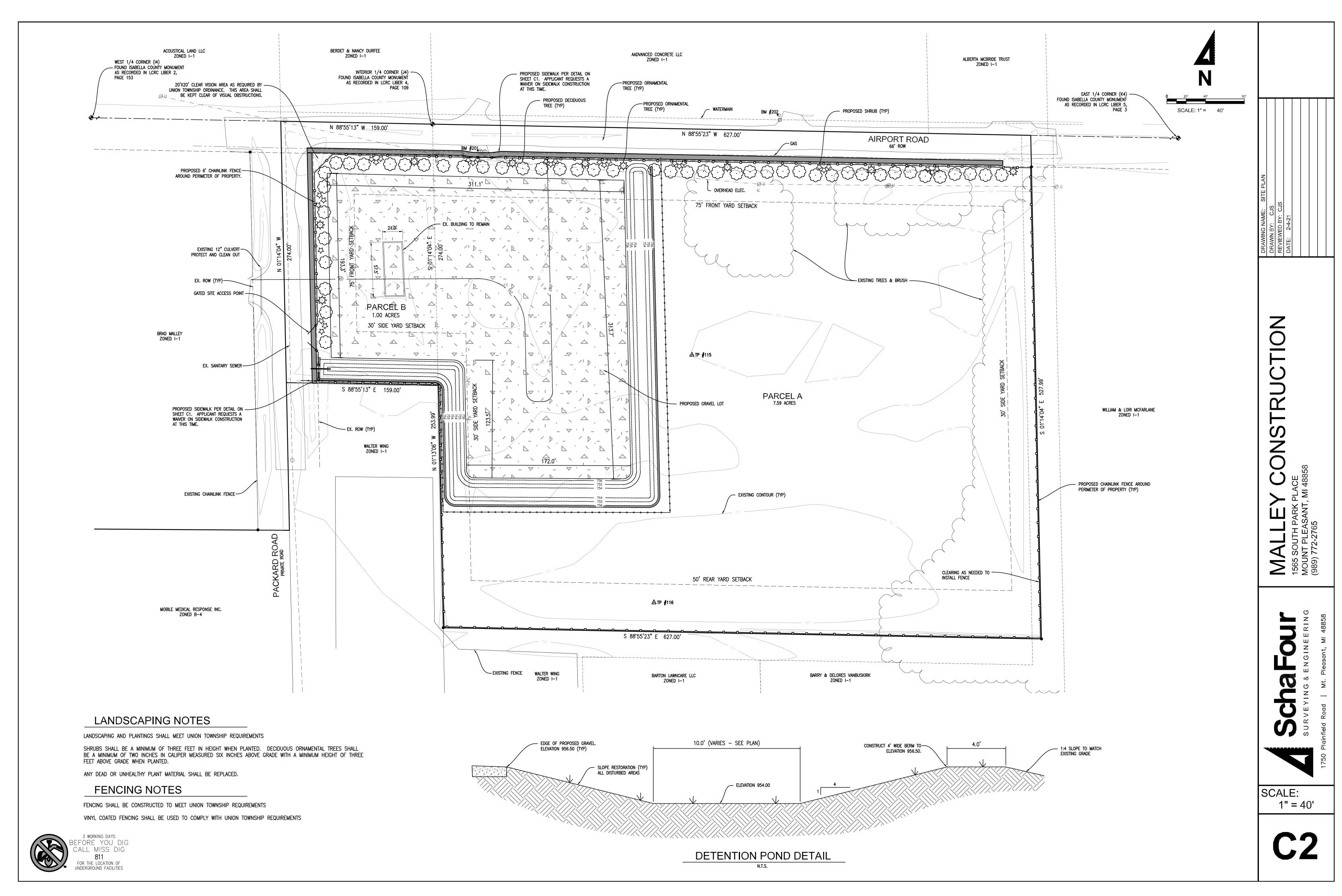
NO.

C1



034

# ALLEY CONSINU SOUTH PARK PLACE



BOTTOM OF DETENTION = 754.00

SEED ALL DISTURBED AREAS (TYP)

# SOIL EROSION NOTES

CONTRACTOR SHALL BE RESPONSIBE FOR MAINTAINING TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES UNTIL VEGETATION HAS BEEN ESTABLISHED IN ALL DISTURBED AREAS.

CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF TEMPORARY CONTROL MEASURES AFTER ALL DISTURBED AREAS HAVE BEEN RESTORED AND VEGETATION HAS BEEN ESTABLISHED. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY SITE WORK.

PERMANENT CONTROL MEASURES SHALL BE COMPLETED WITHIN 15 CALENDAR DAYS AFTER FINAL EARTH CHANGE IS

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITTING.

# STORMWATER / GRADING NOTES

PROPOSED GRAVEL PARKING LOT SHALL BE CONSTRUCTED TO PROVIDE POSITIVE DRAINAGE TO PROPOSED DETENTION

PROPOSED DETENTION POND IS DESIGNED TO HANDLE THE 25 YEAR FREQUENCY AND 24 HOUR DURATION AS REQUIED IN THE TOWNSHIP STORM WATER MANAGEMENT PLAN. THE RUNOFF GENERATED FROM THE 100 YEAR EVENT WILL BE ACOOMODATED WITH THE EMERGENCY SPILLWAY LOCATED NEAR WEST END OF THE PROPOSED DETENTION POND. WATER WILL FLOW THROUGH THE SPILLWAY AND DISCHARGE INTO THE EXISTING DITCH. DETENTION POND TO BE RESTORED WITH A GRASS.

# SOIL LEGEND

<u>18B - COVERT SAND, O TO 4 PERCENT SLOPES</u>
THE COVERT SOIL IS MODERATELY WELL DRAINED. THIS SOIL FORMED IN SANDY MATERIAL. IT IS ON GLACIAL TILL PLAINS, OUTWASH PLAINS, LAKE PLAINS LOW MORAINES, AND DUNES. THE PERMEABLITY IS RAPID. THE AVAILABLE WATER CAPACITY IS LOW. THE SURFACE RUNOFF IS VERY SLOW. THE SEASONAL HIGH WATER TABLE FLUCTUATES BETWEEN 2 TO 3.5 FEET OF THE SURFACE DURING PROLONGED WET PERIODS.

THE PIPESTONE SOIL IS SOMEWHAT POORLY DRAINED. THIS SOIL FORMED IN SANDY MATERIAL. IT IS ON GLACIAL OUTWASH PLAINS, LAKE PLAINS, BEACH RIDGES AND TILL PLAINS. THE PERMEABILITY IS RAPID, THE AVALABLE WATER CAPACITY IS LOW. THE SURFACE RUNOFF IS SLOW OR VERY SLOW. THE SEASONAL HIGH WATER TABLE FLUCTUATES BETWEEN .5 TO 1.5 FEET OF THE SURFACE DURING PROLONGEED WET PERIODS.

THE KINGSVILLE SOIL IS POORLY DRAINED. THIS SOIL FORMED IN SANDY MATERIAL. IT IS ON LOW GLACIAL BEACH RIDGES, OFFSHORE SANDBARS AND TILL PLAINS. THE PERMEABILITY IS RAPID THE AVAILABLE WATER CAPACITY IS LOW. THE SURFACE RUNOFF IS VERY SLOW OR PONDED. THE SEASONAL HIGH WATER TABLE IS AT OR NEAR THE SURFACE DURING PROLONGED WET PERIODS. THIS SOIL IS SUBJECT TO FREQUENT PONDING.

# DISTURBANCE AREA

PROJECT WILL DISTURB 2.8 ACRES

25 YEAR DETENTION CALCULATIONS

AREA OF SITE 2.89 0.29 ALLOWABLE RELEASE RATE CFS COMPOSITE RUNOFF COEFFICIENT 0.61

STORM D	URATION	25 YEAR TOTAL RAINFALL	25 YEAR RAINFALL INTENSITY	PROPOSED RUNOFF RATE	PROPOSED RUNOFF VOLUME	MAXIMUM ALLOWABLE OUTFLOW	REQUIRED DETENTION
MINUTES	HOURS	INCHES	IN/HR	CFS	CFT	CFS	CFT
5	0.08	0.5	6.00	10.56	3167	0.29	3080
10	0.17	0.87	5.22	9.18	5511	0.29	5337
15	0.25	1.12	4.48	7.88	7094	0.29	6834
20	0.33	1,21	3.63	6.39	7664	0.29	7318
30	0.50	1.54	3.08	5.42	9755	0.29	9234
40	0.67	1.67	2.51	4.41	10578	0.29	9885
50	0.83	1,82	2.18	3.84	11528	0.29	10661
60	1.00	1.95	1.95	3.43	12352	0.29	11311
90	1.50	2.21	1.47	2.59	13999	0.29	12438
120	2.00	2.41	1.21	2.12	15265	0.29	13185
180	3.00	2.66	0.89	1.56	16849	0.29	13728
240	4.00	2,86	0.72	1.26	18116	0.29	13954
300	5.00	3.01	0.60	1.06	19066	0.29	13864
360	6.00	3.11	0.52	0.91	19699	0,29	13457
420	7.00	3.23	0.46	0.81	20459	0.29	13177
480	8.00	3.32	0.42	0.73	21030	0.29	12706
540	9.00	3.4	0.38	0.66	21536	0.29	12173
600	10.00	3.47	0.35	0.61	21980	0.29	11576
660	11.00	3.53	0.32	0.56	22360	0.29	10915
720	12.00	3.61	0.30	0.53	22866	0.29	10382
900	15.00	3.74	0.25	0.44	23690	0.29	8084
1080	18.00	3.9	0.22	0.38	24703	0.29	5976
1260	21.00	3.96	0.19	0.33	25083	0.29	3235
1440	24.00	4.15	0.17	0.30	26287	0.29	1317
2880	48.00	4.59	0.10	0.17	29074	0.29	-20865

## **OUTLET CALCULATIONS**

ALLOWABLE OUTFLOW (0.10 CFS PER ACRE)	0.29	CFS
	Service and	
ORIFICE HEAD CALCULATION		
TOP OF BASIN	756.00	FT
ORIFICE ELEVATION	754.00	FT
HEAD	2.00	FT
DIAMETER OF ORIFICE	2.50	INCHES
AREA OF ORIFICE	0.034088462	SFT
HEAD DIFFERENTIAL	2.00	FT
ACTUAL RESTRICTED DISCHARGE	0.24	CFS

## DETENTION POND A CAPACITY

INSTALL SILT FENCE AROUND PERIMETER OF AREA TO BE DISTURBED

CONSTRUCT 4' WIDE BERM TO

ELEVATION 956.50

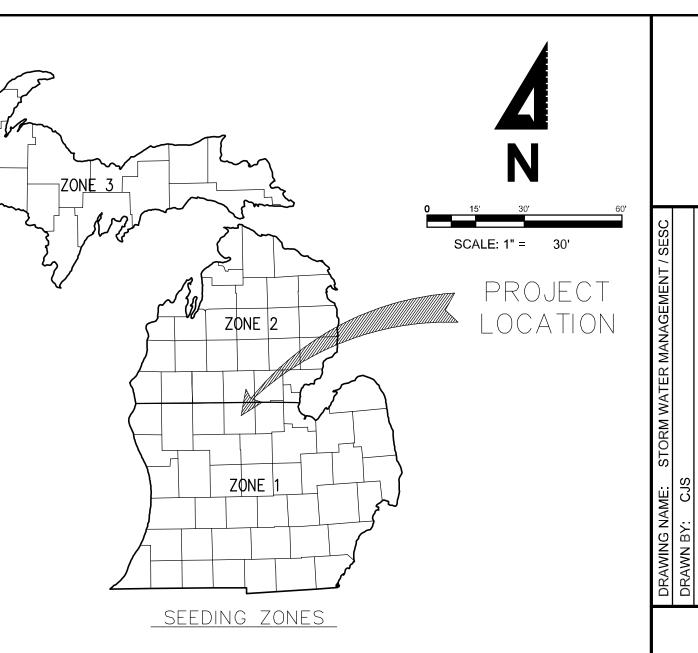
CONTOUR ELEVATION	BOTTOM AREA (SFT)	TOP AREA (SFT)	<b>VOLUME CFT</b>	
756-755	12964.00	19443		16203.5
755-754	6599.00	12964		9781.5
				2598

# RUNOFF COEFFICIENT CALCULATIONS

REQUIRED STORAGE

13954

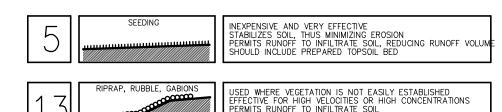
	AREA (ACRES)	С
HARD SURFACE / IMPERVIOUS AREA	0.03	0.95
GRAVEL	1.94	0.75
GREENSPACE / LAWN	0.92	0.30
CONTINUOUS DRAINAGE AREA	2.89	
COMPOSITE RUNOFF "C"	0.61	
MAXIMUM ALLOWABLE OUTFLOW	0.289	CFS



TEMPORARY SE	EDING GUIDE
<u>ZONE</u>	<u> </u>
TYPE OF SEED SPRING OATS/BARLEY OR DOMESTIC RYEGRASS	APRMAY JUN JUL AUG SEP OCT
SUDANGRASS	
RYE OR PERENNIAL RYE	15TH
WHEAT	15TH

PERMANEN	T SEEDING GUIDE	_ - 
	APR MAY JUN JUL AUG SEP	TOCT
IRRIGATED AND/OR MULCH		70115 4
WITHOUT IRRIGATION OR MULCH		ZONE 1
IRRIGATED AND/OR MULCHED WITHOUT IRRIGATION OR MULCH		ZONE 2
IRRIGATED AND/OR MULCHED		70NF 7
WITHOUT IRRIGATION OR MULCH		ZONE 3

# MICHIGAN UNIFIED KEY





SCALE: 1" = 30'

3 WORKING DAYS EFORE YOU DIG

811

FOR THE LOCATION OF UNDERGROUND FACILITIES

# <u>Draft Motions</u>: PSPR 21-03 Malley Construction Contractor's Yard Final Site Plan Review Application

Motion by, supported by, to approve the PSPR 21-03 final site plan from Malley Construction for a Contractor's Yard on approximately 8.59 acres of land (parcel numbers 14-011-30-001-07 and 14-011-40-002-00) on the south side of East Airport Road and east of Packard St. in the southwest quarter of Section 11 and in the I-1 (Light Industrial) zoning district, finding that the February 4, 2021 site plan fully complies with the applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval).				
Motion by, supported by, to approve the PSPR 21-03 final site plan from Malley Construction for a Contractor's Yard or approximately 8.59 acres of land (parcel numbers 14-011-30-001-07 and 14-011-40-002-00) or the south side of East Airport Road and east of Packard St. in the southwest quarter of Section 11 and in the I-1 (Light Industrial) zoning district, finding that the February 4, 2021 site plan car comply with applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval) subject to the following condition(s):				
MOTION TO DENY:  Motion by, supported by, to deny the PSPR 21-03 final site plan from Malley Construction for a Contractor's Yard on approximately				
8.59 acres of land (parcel numbers 14-011-30-001-07 and 14-011-40-002-00) on the south side of East Airport Road and east of Packard St. in the southwest quarter of Section 11 and in the I-1 (Light Industrial) zoning district, finding that the February 4, 2021 site plan does not comply with applicable Zoning Ordinance requirements, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:				
MOTION TO POSTPONE ACTION:				
Motion by, supported by, to postpone action on the PSPR 21-03 final site plan from Malley Construction for a Contractor's Yard on approximately 8.59 acres of land (parcel numbers 14-011-30-001-07 and 14-011-40-002-00) until, 2021 for the following reasons:				



2010 S. Lincoln Rd. Mt. Pleasant, MI 48858 989-772-4600 ext. 232

#### **FINAL SITE PLAN REPORT**

TO: DATE: **Planning Commission** February 9, 2021

FROM: Peter Gallinat, Zoning Administrator **ZONING:** B-5 Highway Business District

PROJECT: PSPR20-14 Final Site Plan Approval Application for a new Dunkin Donuts

Convenience Store, Drive-Through Lane, and Marathon Filling Station located on

corner of S. Isabella Road and E. Broomfield Road.

PARCEL(S): PID 14-026-20-001-06

**OWNER(S):** Grayling Investors LLC

LOCATION: Approximately 6.94 acres on the southwest corner of the E. Broomfield Road and

S. Isabella Road intersection in the NW 1/4 of Section 26.

**EXISTING USE:** Vacant land ADJACENT ZONING: B-5

FUTURE LAND USE DESIGNATION: Bluegrass Center Area. While currently more auto-centric, this area has the potential to transition into a more walkable, vibrant center. Future uses should be integrated to include multi-story, mixed-use buildings; first floor retail and office uses; public use and spaces; entertainment and restaurant venues; and additional attached housing types such as townhouses. Both vehicular and pedestrian cross connections should be promoted between sites, providing for future connections through easements, and should collectively promote a vibrant, livable center to the neighboring university population.

**ACTION REQUESTED:** To review and take action to approve, deny, or approve with conditions the PSPR 20-04 final site plan dated January 19, 2021 for the Dunkin Donuts Convenience Store, Drive-Through Lane, and Marathon Filling Station located on the southwest corner of the E. Broomfield Road and S. Isabella Road intersection in the NW 1/4 of Section 26 and in the B-5 zoning district.

#### Status of Special Use Permit and Map Amendment for project.

A special use permit for a filling station SUP 2019-06 was previously approved in October of 2019. Previously this parcel was split zoned with 465 feet to the north zoned B-4 and 350 feet to the south zoned B-5. In November of 2020 the planning Commission held a public hearing on a request to rezone the entire parcel as B-5. The Planning Commission recommended approval and the Board of Trustees adopted the Zoning Map change in January of 2021.

#### **Site Plan Approval Process**

A preliminary site plan SPR2019-12 was reviewed and approved November 2019 by the Planning Commission. Changes as required have been made and the applicant has submitted a final site plan application.

#### **Final Site Plan Review Comments**

The following comments are based on the standards for final site plan approval and specific elements of the proposed site plan:

- 1. **Section 14.2.P. (Required Site Plan Information).** The final site plan complies with Section14.2.P.
- 2. **Section 6.18 (Filing Stations...).** The proposed site plan complies with Section 6.18 requirements for access, minimum lot size, setbacks, and lighting for a filling station.
- 3. **Section 8.2 (Exterior Lighting).** Photometric plan on page L1 of the plans demonstrates compliance with Section 8.2 requirements.
- 4. Section 10.2.B (General Landscaping Requirements). Site plan complies with the applicable landscaping requirements of the Zoning Ordinance. Details on page LS1.0 of the plans
- 5. **Section 9 (Off-Street Parking).** Parking required per Section 9 for a filling station, convenience store, and restaurant with a drive-through lane. The parking calculations and arrangement of required parking and loading facilities for this project conform to these requirements. A total of 69 parking spots have been provided. Details provided on page C2.1 of the plans.
- 6. **Section 7.10 (Sidewalks and Pathways).** The plan demonstrates a 5-foot-wide proposed sidewalk along S. Isabella Rd. and E. Broomfield Rd. The location of the sidewalk as shown on the plan may need to be adjusted as the applicant works with the Isabella County Road Commission regarding utilities and other improvements within the County's right-of-way.
- 7. **Section 7.14 (Trash Removal and Collection)** The plans comply with the requirements of this Section. See page C3.1 for details.
- 8. **Section 8.1.B.6 (Environmental Performance Standards)** Applicant has submitted paperwork regarding storage tank containment associated with the Marathon filling station.
- 9. **Section 9.6 (Access Management)** Plan demonstrates a proposed future shared access drive on the north of the property with the parcel to the west. No shared access with property to the south is currently proposed.
- 10. **Outside agency approvals.** The applicant has obtained all necessary permits or approvals from applicable outside agencies. This plan has approvals from the Mt. Pleasant Fire Department, Isabella County Road Commission, Storm Water approval from the Isabella County Drain office, Isabella County Transportation Commission, the Township Public Services Department, and the State of Michigan.

#### **Objective**

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

#### **Key Findings**

- 1. The proposed filing station does not conform to the Master Plan's mixed-use goal for the Bluegrass Center Area, but is consistent with the previously approved special use permit for a filling station at this location.
- 2. The final site plan fully conforms to Section 14.2.P. (Required Site Plan Information) and Section 14.2.S. (Standards for Site Plan Approval).

#### **Recommendations**

Based on the above findings, I would ask that the Planning Commission consider taking action to approve the PSPR 20-04 final site plan dated January 19, 2021 for the Dunkin Donuts Convenience Store, Drive-Through Lane, and Marathon Filling Station located on the southwest corner of the E. Broomfield Road and S. Isabella Road intersection in the NW 1/4 of Section 26 and in the B-5 zoning district as presented.

Please contact me at (989) 772-4600 ext. 241, or via email at pgallinat@uniontownshipmi.com, with any questions about this information.

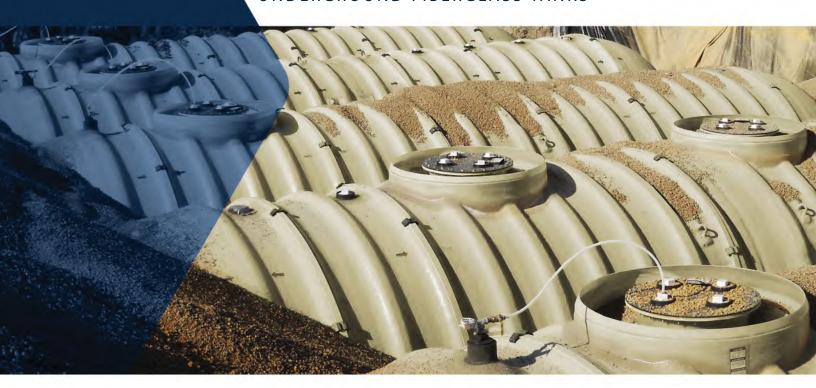
Respectfully submitted,

Peter Gallinat, Zoning Administrator

Community and Economic Development Department

# **PETROLEUM STORAGE**

UNDERGROUND FIBERGLASS TANKS





#### WHY OUR TANKS ARE YOUR BEST INVESTMENT

In the early 1960s, the American Petroleum Institute challenged Containment Solutions, Inc. (CSI) to develop a rustproof underground storage tank that would be safe and strong enough to satisfy the petroleum industry's most stringent long-term storage demands.

Our engineers accepted the challenge and pioneered the underground fiberglass tank technology. Our innovative design work resulted in the UL 1316 specification which governs underground fiberglass tank manufacturing.

Major oil companies have responded to our achievement by specifying fiberglass tanks for approximately 95% of their underground fuel storage installations. Their keen awareness of the limitations of a steel tank in a corrosive environment and their confidence in fiberglass tank technology has helped us earn a reputation for safe, rust-free, long-term underground storage.

50 years and more than 300,000 tank installations later, we continue to improve upon those processes utilizing today's automation to develop new applications and products. What started from petroleum storage needs has expanded into the handling of lubrication oils, water, waste water and alternative biofuels such as ethanol and biodiesel.

Containment Solutions is proud to be the

#### largest American fiberglass tank manufacturer.

**▼ MULTIPLE LOCATIONS ACROSS THE COUNTRY** 

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# WE WILL CONTINUE TO LEAD, FAR INTO THE FUTURE, THANKS TO THE VISION OF EVERYONE ON OUR TEAM

Our success is a direct result of our commitment to offering the highest quality products backed by the highest level of service. You can expect more than just a product from CSI, you can also count on:

- Dedication to research and development. We focus our talents on pushing the limits of what is possible in order to provide you with quality products that meet your needs at a competitive price.
- Technologically superior manufacturing process. We utilize the finest materials and methods to produce high-quality products that have led the industry for over four decades.
- Environmentally focused. We are committed to providing environmentally conscious designs and products. As a member of the U.S. Green Building Council, we promote proper fluid management and sustainable site development.
- Industry-leading support. We have the most knowledgeable sales force and the only national field service organization staffed by full-time company employees. Our technical support group promptly and clearly answers technical questions about our products or services. They, along with our exceptional inside sales department, are committed to supplying "value-added" service that complements our exceptional products.

Containment Solutions invites you to review our state-of-the-art products at three conveniently located manufacturing facilities in Bakersfield, California; Conroe, Texas; and Mt. Union, Pennsylvania.

#### **▼ CONTRACTOR APPROVED**





SIZES AND CAPACITIES TO MEET YOUR NEEDS ▼







#### **AUTOMATED MANUFACTURING PROCESS**

We use steel mandrels (cylindrical molds) to build our tanks from the inside out. The molds provide a firm and consistent surface upon which we apply materials to make our tank. The rotating mandrel and the application of the materials are controlled by a computer, custom designed to manufacture underground tanks. As the mandrel rotates; resin, glass and specially treated silica are precisely metered onto the mandrel from above.

Tank thickness is determined with an instrument that magnetically senses the metal mold surface through the fiberglass reinforced plastic laminate. This method accurately measures the thickness of the laminate using specific points all over the surface of the tank wall and is more exact than the ultrasonic methods used by other manufacturers. The result is a closely controlled process and a very consistent tank wall composition providing uniform integrity.

#### **DIFFERENT PROCESS, BETTER RESULTS**

The inside-out approach to manufacturing tanks is a superior process with unique advantages. Inner Surface: The initial material forming against the steel mold produces an incredibly polished finish, free of surface variations. The smooth inside surface in our process is not exposed to air as it cures thus eliminating air inhibited cure issues. The result is a well cured, high gloss inner surface without the need for interior liners. Other manufacturing methods rely on inferior hand sprayed wax coatings to combat surface cure problems. Outer Surface: Exterior stiffening ribs are applied in optimal locations and constructed of the most efficient reinforcing materials. We can also modify a tank by adding filament winding glass in tension, glass woven roving, glass mat, or any other materials in specific locations on the outside of the tank wall. Our entire shell wall surface is manufactured with the same corrosion resistant resin. With our homogeneous tank shell, you can be assured the exterior surface has the same compatibility properties as the interior surface. We do not use liners or special coatings on any tank surface.

Another important advantage of our inside-out manufacturing process is a consistent inner diameter. Using a mold as a frame insures a set dimension and capacity. If additional tank wall is necessary, we simply add thickness to the outside surface. In contrast, an outside-in process by definition relies upon a fixed outer diameter and variable inner diameter. To add thickness using this process glass, resin and hand sprayed liners are applied to the inner surface sacrificing maximum tank capacity. Simply put, our process allows for a more versatile and dependable product.

#### **EXTENSIVE ANALYSIS** ▼





Containment Solutions' commitment to excellence begins in the Research and Development Center. No other tank manufacturer has invested the amount of time and resources, to not only product development but product enhancement. Our engineers use the latest technology to analyze tank compatibility for alternative fuels and unique fluids like Urea DEF. For our experts, tank testing is a science measured in decades.

We focus our talents on pushing the limits of what is possible.

#### **ENGINEERED AND TESTED CORROSION RESISTANCE**

The Containment Solutions' tank wall is composed of resin, glass and a specially treated silica that together result in a composite matrix compatible with petroleum industry products including:

All Octanes of Gasoline Jet Fuel

AV-Gas Motor Oil

Ultra Low Sulfur Diesel (ULSD) Renewable Diesel and Bio-Diesel Fuel oil Ethanol, all blends up to 100%

Oxygenated Motor Fuels Kerosene

Containment Solutions instituted and perfected the use of a specially treated silica in our laminate matrix. The unique silica is an engineered component enhancing the performance of our laminate. Our exclusive laminate has been thoroughly tested to meet the requirements of UL 1316 and CUL S-615.

Long-term corrosion and material properties testing is done at our Research and Development Center (R&D). Laminate testing includes current fuels, blends and other oxygenates, but we do not stop there. We also test alternative products and blends that could be stored in our tanks in the future; as fuel options change, your storage tank compatibility will not.

Many of the newest industry fuels and biofuels are alcohol based. Alcohol blends, including ethanol, increase the likelihood of water in a storage tank, resulting in rust and microbial-induced corrosion (MIC) in steel tanks. The inherent non-corrosive nature of a fiberglass CSI tank eliminates the possibility of rust on all tank wall surfaces. Extensive corrosion testing allows us to confidently offer an industry leading 30-year warranty while most steel tank manufacturers have reduced their warranties to 10 years.

CSI R&D has authored patents and expert reports introducing cutting-edge products like double-wall sumps and the first independently verified Urea DEF underground tank. Since the first non-corrosive tank was designed back in the 1960s, we have maintained the highest quality standards and have utilized advanced technologies to engineer and build the world's premier fiberglass storage tank.

#### **DOUBLE-WALL TANKS**

CSI's advanced double-wall technology gives storage tank owners, municipalities, counties, provinces, and states proven protection against petroleum contamination of underground water supplies. In addition to our UL listing, our tanks comply with the EPA's recommendation for secondary containment systems wherever underground tanks are located near underground water supplies.

Containment Solutions double-wall tanks give you two levels of protection, so you have twice the assurance and twice the risk management that any single-wall tank can offer. The primary tank is designed to contain your fuel. In the unlikely event that there is a breach in this wall, the secondary wall is designed to contain your product and prevent seepage into the environment.

#### HYDROSTATIC MONITORING

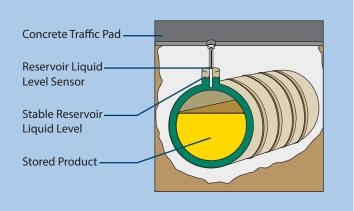
For the most effective double-wall storage tank protection, we recommend hydrostatic monitoring. The cavity between the inner and outer tank walls (interstitial space), as well as a factory mounted reservoir, is filled with a non-toxic colored brine solution. Hydrostatic pressure is continuously applied to the interstitial space, enabling monitoring of the primary and secondary tanks. An electronic sensor in the tank reservoir will send an alarm if the brine level changes beyond a predetermined level.

The CSI Hydrostatic Monitoring System offers a leak detection capability superior to other methods because of our unique tank construction. The independent tank wall design ensures that 100% of the primary and secondary tank walls are in contact with monitoring fluid. This open environment allows brine to move freely through the interstitial space, unimpeded by glass fabric bonded to the tank walls typically used in competitive designs. Since the unblocked interstitial space does not hinder communication, the CSI Hydrostatic Monitoring System is fast and effective.

HYDROSTATIC MONITORING detects leaks in either the primary or secondary tank walls in all installed conditions.

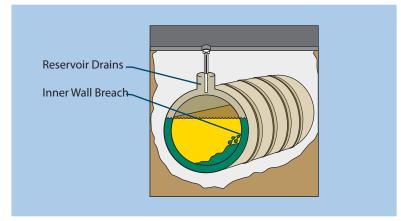
#### **NORMAL CONDITIONS**

The reservoir liquid level will be stable if both the inner and outer tank are tight. The reservoir sensor will activate an alarm if the reservoir drains or overfills.



#### **INNER WALL BREACH**

Monitor fluid drains into the primary tank causing the reservoir to drain. The petroleum product remains safely contained in the primary tank.



#### SUPERIOR PROTECTION WITH HYDROGUARD®

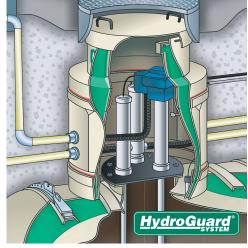
The HydroGuard® System is the most dependable storage system available. HydroGuard combines the UL listed double-wall tank and double-wall tank sumps for a fully integrated hydrostatically monitored storage system. HydroGuard

also comes with a deadman anchoring system, completing the underground storage solution.

As the name suggests, the HydroGuard System utilizes hydrostatic pressure to provide a proven means of monitoring for leaks 24 hours a day, 7 days a week. In fact, our hydrostatic monitoring system has been certified as a continuous leak detection system by the National Work Group on Leak Detection Evaluations, (NWGLDE).

Unlike typical storage systems, HydroGuard provides 360° secondary containment of not only the stored product in the tank but the critical piping components above the tank. CSI's double-wall tank sumps are state-of-the-art including built-in brine reservoirs and street accessible reservoir sensor housing. The turbine and fill/vapor sumps are continuously monitored for the ultimate in underground fuel storage protection.

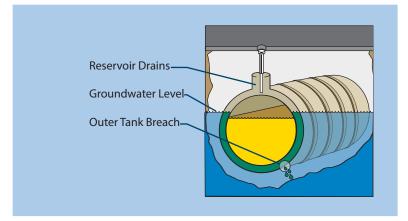
The HydroGuard System was designed to exceed the most stringent regulations and storage requirements, like California's AB 2481; and also comes with our 30-year structural and corrosion warranty.



The HydroGuard System is a complete hydrostatically monitored double-wall storage system.

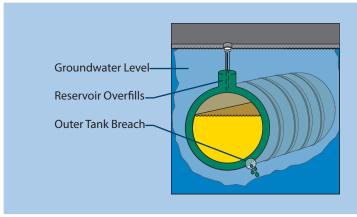
#### **OUTER WALL BREACH**

If the groundwater is below the tank top, the non-toxic monitor fluid drains into the ground causing the reservoir to drain.



#### **HIGH GROUNDWATER**

If the groundwater is over the tank top, the reservoir will overfill with groundwater and activate the high level alarm on the reservoir sensor.



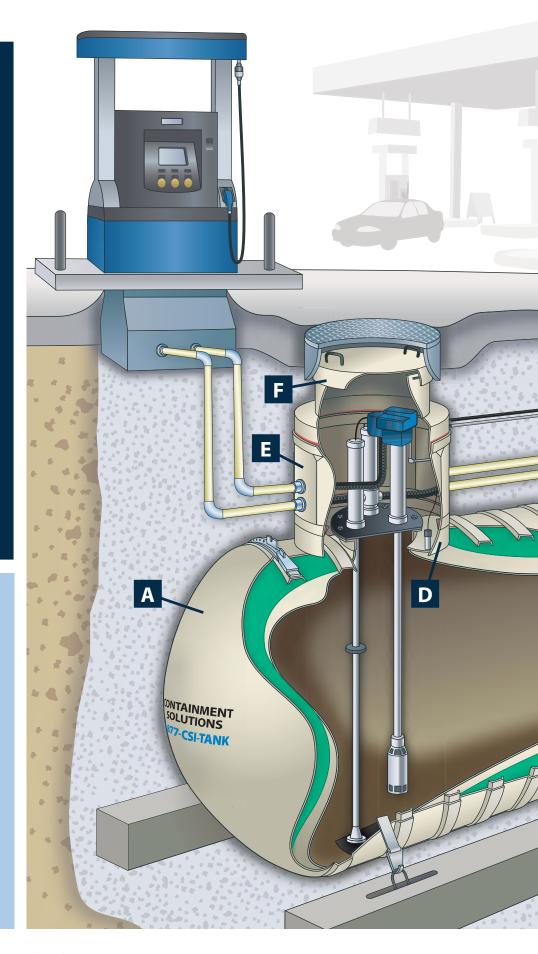
#### **STANDARD FEATURES**

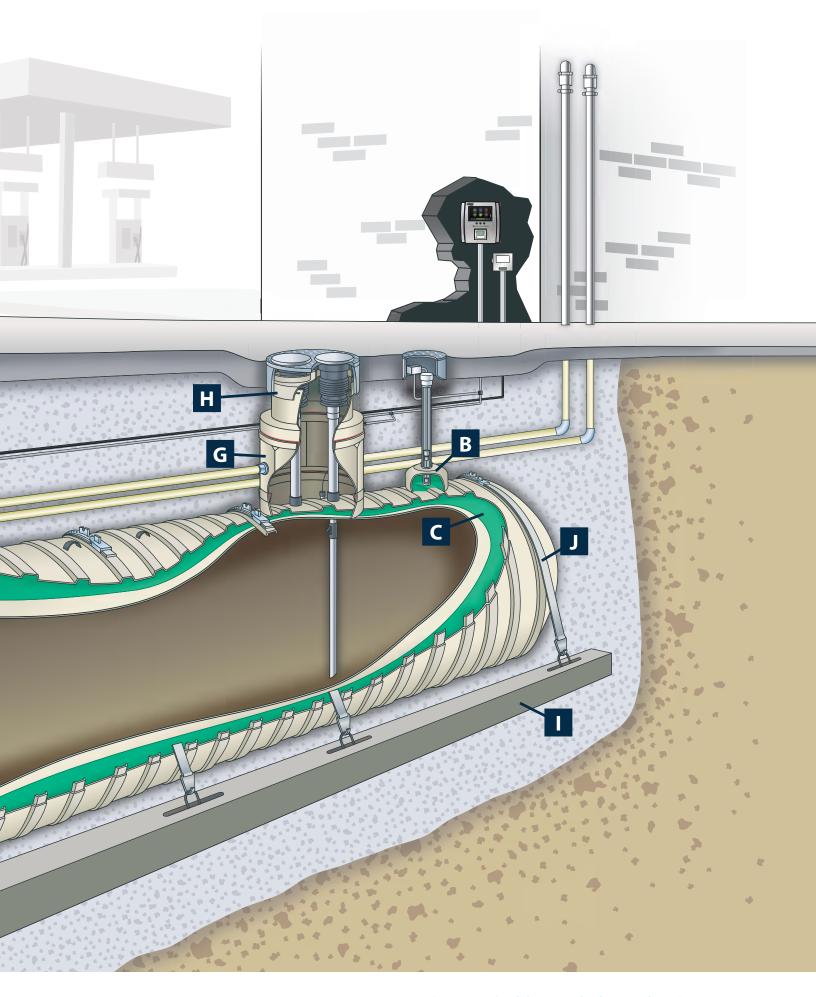
- A. Double-Wall Tank
- B. Hydrostatic Reservoir
- C. Monitoring Fluid
- D. Containment Collars
- E. Turbine Tank Sump
- F. Turbine Sump Lid
- G. Fill / Vapor Tank Sump
- H. Fill / Vapor Sump Lid
- I. Deadman Anchor System
- J. Split-Strap System



Using an automated process, our tank laminate is consistent in thickness and composition and is fabricated with an inner surface that is not air-inhibited. The resulting tank can safely store petroleum fuel products, alcohols and alcohol gasoline mixtures of virtually any blend.

Our proven performance and high quality products have led the industry for 50 years.





#### STANDARD AMERICAN TANK SIZES

The following table represents the most popular tank sizes in the United States at the various tank diameters. Dimensions are based on double-wall brine filled tank designs and gallon capacities.

	Nominal Capacity (US Gallons)	Actual Capacity (US Gallons)	Length (Feet / Inches)	Weight (Pounds)	Number of Straps
	550	548	6' 7"	895	2
4' Dia.	600	676	7' 3"	975	2
4	1,000	1,334	11' 1"	1,235	2
	2,000	2,107	6'	2,200	2
er	2,500	2,689	13' 9"	2,650	2
met	3,000	3,323	16' 9"	3,000	2
6' Diameter	4,000	3,958	19' 9"	3,550	2
,9	5,000	5,068	24' 9"	4,350	4
	6,000	6,179	30' 3"	5,100	4
	4,000	3,998	13'	3,150	2
	5,000	4,947	16' 9"	3,600	2
8' Diameter	6,000	5,897	19' 6"	4,050	2
iam	8,000	7,796	25'	5,000	4
8, D	10,000	9,696	30' 6"	5,950	4
	12,000	11,595	36′	7,050	4
	15,000	14,545	44' 6"	9,350	6
	10,000	10,257	20' 11"	7,500	3
	12,000	11,873	23' 8"	8,600	4
	15,000	15,104	29' 2"	10,500	4
ter	20,000	19,951	37' 5"	13,550	6
ıme	25,000	24,970	46'	17,100	8
10' Diameter	30,000	29,816	54' 3"	20,400	8
10	35,000	34,835	62' 9"	24,350	8
	40,000	39,854	71' 4"	27,750	10
	45,000	44,872	79'10"	31,250	10
	50,000	49,743	88'2"	34,750	12

#### **STANDARD CANADIAN TANK SIZES**

The following table represents the most popular tank sizes in Canada at the various tank diameters. Dimensions are based on double-wall brine filled tank designs and liter capacities.

	Nominal Capacity (Liters)	Actual Capacity (Liters)	Length (Millimeters)	<b>Weight</b> (Kilograms)	Number of Straps
	2,000	2,074	2,007	400	2
4' Dia.	2,500	2,560	2,438	450	2
4' D	5,000	5,050	4,546	600	2
	7,500	7,571	6,147	925	4
÷	10,000	10,111	4,166	1,225	2
6' Dia.	20,000	20,051	7,950	2,075	4
9	25,000	25,623	10,071	2,450	4
	15,000	15,135	4,267	1,450	2
	20,000	20,252	5,461	1,800	2
	25,000	25,479	6,680	2,050	2
	30,000	30,821	7,925	2,400	4
er	35,000	34,849	8,877	2,600	4
8' Diameter	40,000	40,296	10,135	3,000	4
Dia	45,000	45,633	11,379	3,425	6
œ	50,000	50,970	12,623	3,925	6
	55,000	55,059	13,564	4,250	6
	60,000	60,124	14,707	4,825	8
	65,000	65,570	16,026	5,325	8
	75,000	75,155	18,263	6,200	8
	50,000	50,596	8,001	4,275	4
	60,000	60,233	9,322	5,000	4
	65,000	65,980	10,109	5,450	4
<u>.</u>	75,000	75,523	11,404	6,150	6
ıete	80,000	81,269	12,205	6,700	6
Jian	85,000	85,345	12,750	7,000	6
10' Diameter	90,000	90,721	13,487	7,500	8
	95,000	96,744	14,325	8,025	8
	100,000	100,264	14,807	8,250	8
	125,000	125,286	18,186	10,500	8
	150,000	150,863	21,742	12,600	10

#### **ADDITIONAL STORAGE OPTIONS**

Every installation is unique, sometimes involving single-wall tanks, triple-wall tanks, or compartment tanks. Containment Solutions has a complete range of products and accessories to meet our customer's needs.

#### **SINGLE-WALL TANKS**

The very first fiberglass underground petroleum storage tank was a single-wall design and for 45 years single-wall tanks were installed around the world. As petroleum regulations changed single-wall tanks were phased out and although CSI no longer produces single-wall tanks for fuel storage, the original design is still utilized in other applications like water storage and separators / interceptors. Single-wall tanks use the same manufacturing methods and laminate matrix as our double-wall designs.

Functioning legacy single-wall tanks can be upgraded or modified to meet changing standards and storage requirements. For more information on our extensive enhancement services, see the CSI Field Services section of this brochure or contact a sales representative today.

#### **TRIPLE-WALL TANKS**

In 1997, CSI designed the first UL listed triple-wall fiberglass tank for use in environmentally sensitive areas where tertiary containment is required. Triple-wall tanks offer three levels of protection: the proven strength and performance of a primary fiberglass tank, and in the unlikely event that there is a breach, secondary and tertiary walls designed to contain the fuel and prevent any spill into the environment.

Triple-wall petroleum tanks, like double-wall models, come with a standard 30-year structural and corrosion warranty.

**▼ SINGLE-WALL WATER STORAGE INSTALLATION** 



TRIPLE-WALL STORAGE ▼





#### **COMPARTMENT TANKS**

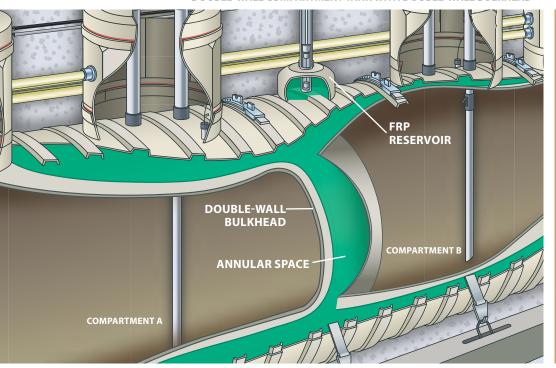
Compartment tanks are built by dividing a storage tank with a single-wall or double-wall bulkhead, creating two or more independent storage areas. They are a popular choice for retail petroleum marketers interested in storing multiple blends of fuel, including diesel. Since compartment tanks can be divided to accommodate two or more grades of fuel, they allow the site designer to plan for any ratio of fuel storage. These tanks are often used for sites where property is limited and installing multiple tanks is difficult. The design versatility of a CSI compartment tank can meet unique customer requests as well as local requirements.

Standard double-wall compartment tanks consist of one bulkhead but complex designs can include additional bulkheads forming multiple storage areas.



This compartment tank includes 2 bulkheads, an alternative in this limited space to installing 3 individual tanks.

#### ▼ DOUBLE-WALL COMPARTMENT TANK WITH DOUBLE-WALL BULKHEAD



# BENEFITS OF COMPARTMENT TANKS

- Reduced shipping costs with fewer tanks
- Fewer labor hours during installation with fewer tanks
- Smaller excavation sites needed for fewer tanks
- Site is more adaptable to changing consumer demands

#### **FIBERGLASS TANK SUMPS**

Protecting your storage system and the surrounding environment includes protecting the components that connect to the tank. Pumps and piping often require annual or semi-annual maintenance and testing. Without a sump, buried components are difficult to access and service.

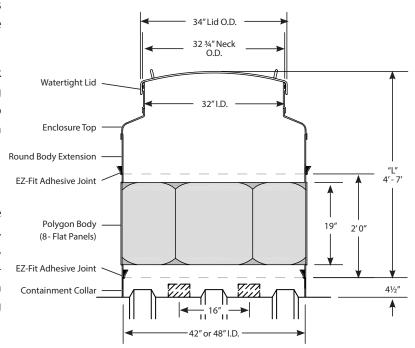
Tank sumps are protective enclosures for pumps, piping and other accessories above the tank top. CSI provides a full line of fiberglass tank sumps in round and polygon designs, available in 42" or 48" diameter. 54" diameter sumps are available

for applications such as backup generators at hospitals or data centers. CSI sumps can be ordered in single or double-wall construction.

For 20 years CSI has been perfecting the tank sump design and installation process, creating the most reliable and contractor friendly sump line available. Our proven technology has been utilized in thousands of installations.

#### **CONTAINMENT COLLARS**

The protection of system components above the tank top begins with the containment collar. CSI collars are factory bonded to the tank wall, and engineered to fit the single or double-wall tank sump specified. The collars feature a built-in adhesive channel making field bonding installation easier than ever.



SINGLE-WALL TANK SUMP WITH WATERTIGHT LID

#### FIBERGLASS TANK SUMPS

CSI tank sumps are manufactured and shipped as individual components such as sump bodies, enclosure tops, lids and adhesive kits. Each sump is then assembled in the field using our unique adhesive channels.

With 42", 48", and 54" sump diameters available and multiple lid configurations; CSI offers the widest range of options for protecting your tank top hardware and piping.

#### **TANK SUMP LIDS**

Turbine tank sump lids are used at the submersible turbine end of the tank when access is infrequent and the area must be watertight. The turbine lid is made of rigid fiberglass and fits into place by simply pushing down on the lid. Comfort grip handles make removal of the lid convenient.

Fill/Vapor tank sump lids are available for the fill-end of the tank when multi-port manholes are used. We offer two access opening options to accommodate the most popular shroud boots and spill containment systems. Both configurations include an observation port allowing easy access for internal sump inspections. Quad fill lids are also available on 48" and 54" tank sumps.







Fill/Vapor Lid w/ 15" Access Openings



Fill/Vapor Lid w/ 13" Access Openings



Quad fill Lid

#### **WATERTIGHT TESTED**

Lid assemblies are tested to 1' of hydrostatic head pressure to ensure a watertight seal. Access and removal of lids is possible through a standard street boxes.

#### **100% SECONDARY CONTAINMENT**

Several competitive products bond the sump walls together using glass fabrics, this can result in triggering false alarms due to poor communication in the monitoring system. CSI Double-wall tank sumps are built with two completely independent walls. This open environment offers the perfect communication pathway for hydrostatic monitoring which means reliable 360° protection.



#### WATERTIGHT DEPENDABILITY

An alternative to the traditional lay-up, the unique CSI EZ-Fit adhesive channel facilitates a permanent and watertight joint which protects against leaks. The no mess installation is an easier and more effective way to ensure a watertight connection.

**DOUBLE-WALL TANK SUMP EZ-FIT JOINT** ▶

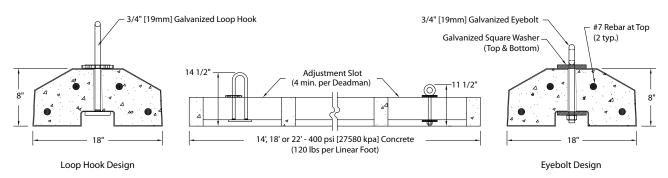
**■ SINGLE-WALL TANK SUMP EZ-FIT JOINT** 



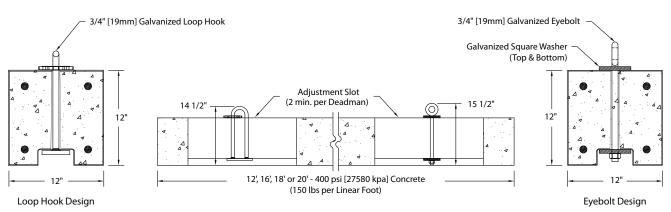
#### **DEADMEN TANK ANCHORS**

Containment Solutions can provide factory deadmen tank anchors, engineered to American Concrete Institute (ACI) standards, for fiberglass storage tanks. Deadmen anchoring systems prevent storage tanks from floating when excessive ground water is present. Ordering a complete CSI deadmen system, with turnbuckles and straps, is a ready-made solution for your tank anchoring needs. Typically the entire package is delivered on the same truck as the tank, saving you construction time and shipping costs. Each anchoring system is sized for your specific tank configuration and arrives ready to install.

#### **LOW-PROFILE 18" X 8" DEADMAN**



#### 12" X 12" DEADMAN





#### **FEATURES & BENEFITS**

- Designed to ACI code
- Adjustable anchor points
- Works with all tank diameters and lengths
- Ships alongside most tanks, reducing freight cost
- Fiberglass split straps available for man-out-of-hole installation



#### **CSI FIELD SERVICES**

We proudly stand behind our products which is why we have an entire division fully staffed by experienced CSI technicians for field services. We are the only major manufacturer of fiberglass storage products with a full time staff and we service not only our products but our competitors' products as well.

#### **RETANK®**

ReTank® is an on-site retrofit system which allows you to turn any Containment Solutions, Owens Corning or other manufacturers' fiberglass single-wall tank into a hydrostatically monitored double-wall tank. The benefits include reducing the costs of tank replacement and using existing tanks for multiple types of fuel.

With CSI's ReTank system, a fiberglass inner tank is constructed in sections and then installed in your existing tank, still in the ground. While in your tank, CSI technicians perform a full inspection, upgrade all fittings to current standards, and install all the safeguards of our newest double-wall tanks. ReTank is UL Listed and includes a new 30-year warranty on the constructed inner tank.

#### **BTU® - BIOFUEL TANK UPGRADE**

The BTU®, Biofuel Tank Upgrade, is a cost-effective solution for upgrading existing fiberglass single-wall tanks to meet new regulations. Many of the earliest generation fiberglass tanks were not tested nor were they warranted for either biodiesel or ethanol blends exceeding 10%.

What makes BTU different from other upgrades? BTU is a tank enhancement, it is not a spray-on liner. Tank liners have an unfortunate history of failure which is why you should only trust a tank manufacturer with future upgrades. The BTU service is completed by CSI field technicians who are experts in fiberglass tank manufacturing techniques. BTU can be applied in combination with other tank modifications like sumps and collars or as a stand-alone service.

#### COMPARTMENT TANK UPGRADES

CSI Field Service can add a bulkhead to an existing underground storage tank creating a multi-compartment tank. Modifying existing tanks can expand the available product offering for a fraction of the cost of tank replacement. A CSI compartment tank upgrade will not affect the tank warranty and minimizes dispenser down time. The multi-compartment tank will be operational in a few days and is fully compatible with the same fuels as all other CSI tanks.

▼ RETANK® PROCESS MANWAY UPGRADE ▼







#### FIBERGLASS UNDERGROUND STORAGE TANK SPECIFICATIONS

#### SHORT FORM SPECIFICATION

The contractor shall provide the appropriate single, double or triple-wall fiberglass storage tank and accessories as indicated on tank drawings. Capacity, dimensions and fitting locations will be indicated on tank drawings. Tanks shall be manufactured by Containment Solutions, Inc. The tank must be tested and installed according to manufacturer's current installation instructions.

#### LONG FORM SPECIFICATION

#### 1. GENERAL

- 1.1. Quality Assurance
- 1.1.1. Acceptable Manufacturers: Containment Solutions, Inc., (CSI), Conroe, Texas
- 1.1.2. Governing Standards, as applicable:
  - 1.1.2.1. Underwriters Laboratories Inc. Standard 1316, Glass-Fiber Reinforced Plastic Underground Storage Tanks for Petroleum Products, Alcohols, and Alcohol-Gasoline Mixtures.
  - 1.1.2.2. Underwriters Laboratories of Canada standard ULC-S615, Reinforced Plastic Underground Tanks for Flammable & Combustible Liquids.
  - 1.1.2.3. National Fire Protection Association codes and standards:
    - NFPA 30 Flammable and Combustible Liquids Code
    - NFPA 30A Motor Fuel Dispensing Facilities and Repair Garages Code
    - NFPA 31 Installation of Oil-Burning Equipment Standard
  - 1.1.2.4. City of New York Department of Buildings M.E.A., 71-85-M
  - 1.1.2.5. American Concrete Institute standard ACI 318, Building Code Requirements for Structural Concrete.

#### 1.2. Submittals

1.2.1. Contractor shall submit \_\_\_\_\_ copies of: shop drawings, manufacturer's product brochures, installation instructions and calibration charts.

#### 2. PRODUCTS

- 2.1. Double-Wall or Triple-Wall Fiberglass Underground Storage Tanks
- 2.1.1. Loading Conditions Tanks shall meet the following design criteria:
  - 2.1.1.1. External hydrostatic pressure: Buried in ground with 7' of over burden over the top of the tank, the excavation fully flooded and a safety factor of 5:1 against general buckling.
  - 2.1.1.2. Surface Loads: When installed according to manufacturer's current installation instructions, tanks shall withstand surface HS-20 axle loads (32,000 lbs/axle).
  - 2.1.1.3. Internal Load: Primary and secondary tanks shall withstand 5 psig (35 kPa) air pressure test with 5:1 safety factor.
  - 2.1.1.4. Tanks shall be designed to support accessory equipment such as heating coils, ladders, drop tubes, etc. when installed according to manufacturer's recommendations and limitations.
- 2.1.2. Product-Storage Requirements
  - 2.1.2.1. All primary tanks must be vented. Tanks are designed for operation at atmospheric pressure only, except for use with vapor recovery systems at a pressure or vacuum not to exceed 1 psig (7 kPa).
  - 2.1.2.2. Tanks shall be capable of storing liquids with specific gravity up to 1.1.

- 2.1.2.3. Tank shall be capable of storing the following products:
  - Diesel fuel oils for oil burning equipment at temperatures not to exceed 150°F.
  - Gasoline, jet fuel, aviation gasoline, motor oil (new or used), kerosene, diesel motor fuel at ambient temperatures.
  - Alcohol-gasoline blend motor fuels at ambient temperatures:
    - Gasoline-ethanol blends with up to 100% ethanol.
    - Gasoline-methanol blends with up to 100% methanol.
  - Oxygenated motor fuels at ambient temperatures with up to 20% (by volume) methyl tertiary butyl ether (MTBE), ethyl tertiary butyl ether (ETBE), di-isopropyl ether (DIPE), tertiary butyl alcohol (TBA), tertiary amyl methyl ether (TAME), or tertiary amyl ethyl ether (TAEE).
  - Biodiesel-diesel blends with up to 100% biodiesel (B100 per ASTM) at ambient temperatures.

#### 2.1.3. Materials

- 2.1.3.1. The tank shall be manufactured as a matrix of premium resin, glass fibers and silane-treated silica that together result in a composite providing improved corrosion protection.
- 2.1.3.2. The tank inner wall shall be fabricated against a mold to produce a non-air inhibited and high gloss laminate to provide a fully cured inner surface without the need of wax coats, a low coefficient of friction and a natural resistance to the build-up of algae or other contamination on the surface. Wax and wax resin coatings cannot be used to achieve full surface cure on tank shells and endcaps.
- 2.1.4. Dimensional Requirements (refer to Containment Solutions literature)
  - 2.1.4.1. Nominal capacity of the tank shall be \_\_\_\_\_ gallons / liters.
  - 2.1.4.2. Nominal outside diameter of the tank shall be \_\_\_\_\_ feet.
  - 2.1.4.3. Nominal overall length of the tank shall be \_\_\_\_\_ feet.
- 2.1.5. Monitoring Capabilities
  - 2.1.5.1. Double and triple-wall tanks shall have a monitoring space between the walls to allow for the free flow and containment of leaked product from the primary tank. The monitoring space shall provide equal communication in all directions.
  - 2.1.5.2. The following continuous monitoring conditions shall be compatible with the cavity between the inner and outer tanks:
    - · Vented to atmosphere
    - Vacuum 5 psig maximum
    - Positive air pressure (5 psig maximum)
    - External hydrostatic pressure 7' maximum groundwater head pressure over tank top
  - 2.1.5.3. Tanks 6' diameter and larger shall have an integrally mounted annular space reservoir installed on the tank for factory-installed brine and continuous hydrostatic monitoring. The reservoir shall be constructed of fiberglass reinforced plastic materials and be included in the tank warranty.
  - 2.1.5.4. The monitoring fitting for the monitoring space shall be a 4"NPT fitting.

- 2.1.5.5. The monitoring system shall be capable of detecting a breach in the inner and outer tank under the following installed conditions:
  - · When the primary tank is empty.
  - When the primary tank is partially or completely full and the ground water table is below tank bottom.
  - When the primary tank is partially or completely full and the tank is partially or completely submerged in groundwater.
- 2.1.5.6. The leak detection performance of the monitoring system shall be listed as a continuous interstitial monitoring method (liquid filled) by the National Work Group on Leak Detection Evaluations (NWGLDE). The system should be capable of detecting leaks in the primary or secondary tank walls as small as 0.10 gallons per hour within one-month.
- 2.1.5.7. The hydrostatic monitoring system shall be capable of a precision tank test that is listed by the National Work Group on Leak Detection Evaluations (NWGLDE).
- 2.1.5.8. If hydrostatically monitored, any solution used in the monitoring space shall be compatible with the tank and be of a contrasting color to the tank.

#### 2.2. Accessories

- 2.2.1. Flanged Manways
  - 2.2.1.1. The standard manway is 22" I.D. and will be furnished with UL listed gaskets and covers (30" and 36" manways are optional).
  - 2.2.1.2. Location see standard tank drawings.
  - 2.2.1.3. Optional manway extensions shall be fiberglass and \_\_\_ feet long.
- 2.2.2. Fill Tubes Fill tubes of appropriate design shall be supplied by contractor.
- 2.2.3. Hydrostatic Monitor Accessories
  - 2.2.3.1. Brine monitoring fluid shall be a calcium chloride solution.
  - 2.2.3.2. Double float reservoir sensor supplied by contractor shall be designed for CSI reservoirs. The components of the sensor shall be compatible with brine and provide two alarm points positioned 10" apart.
- 2.2.4. Secondary Containment Collar
  - 2.2.4.1. UL label shall be affixed to collar.
  - 2.2.4.2. The collar shall be fiberglass reinforced plastic, 42" or 48" in diameter and shall be factory-installed in accordance with drawings.
  - 2.2.4.3. The collar shall include an internal adhesive channel.
  - 2.2.4.4. The collar shall be included in the 30-year tank warranty.
- 2.2.5. Adhesive Kit (Kit AD)
  - 2.2.5.1. UL Listed and alcohol compatible adhesive kit shall provide a watertight seal at the tank sump and containment collar joint to prevent the ingress of water or egress of fuel. The adhesive kit includes resin, catalyst, mixing stick, putty knife, sandpaper, grout bag, and installation instructions.

#### 2.2.6. Tank Sumps

- 2.2.6.1. UL label shall be affixed to tank sump components.
- 2.2.6.2. Tank sumps & collars shall be listed by Underwriters
  Laboratories for petroleum fuels and all blends of alcohol
  (same as tank). Collar and sump shall be tested and listed
  as a complete sump system.

- 2.2.6.3. Tank sump components shall be constructed of fiberglass reinforced plastic. The tank sump shall be 42" or 48" in diameter and must mount to the secondary containment collar. Standard tank sump shall consist of an octagon shaped base (round base is optional), round body extension and enclosure top.
- 2.2.6.4. The octagon base shall be 24" in height and provide 19" high panels for piping entry points. The base must be capable of joining to the collar with an internal adhesive channel.
- 2.2.6.5. A 34"O.D. watertight lid shall be provided at the submersible and fill/vapor end of the tank and provide a watertight seal to the sump enclosure with12" of water above the lid and remain leak free.
- 2.2.6.6. Refer to tank sump drawings for standard models and configurations.

#### 2.2.7. Ladders

2.2.7.1. Ladders shall be supplied by the tank manufacturer (carbon steel, stainless steel, aluminum).

#### 2.2.8. Anchor Straps

- 2.2.8.1. Straps shall be supplied by the tank manufacturer.
- 2.2.8.2. Number and location of straps shall be as specified by manufacturer.
- 2.2.8.3. Each strap shall be capable of withstanding a maximum load of 25,000 lbs.
- 2.2.9. Prefabricated Concrete Deadmen Anchors
  - 2.2.9.1. Design Conditions Deadmen shall meet the following design criteria:
    - Deadman shall be designed to ACI 318
    - · Manufactured with 4,000 psig concrete
    - Manufactured in various lengths
    - Provide adjustable anchor points for hold down straps
- 2.2.10. Liquid Sensor Drawstring
- 2.2.10.1. Galvanized steel drawstring shall be factory installed at the monitoring fitting to facilitate field insertion of sensor.

#### 2.2.11. Fittings Threaded NPT

- 2.2.11.1. All threaded fittings shall be located on a manway cover or within 12" of the tank top center line. Fittings to be supplied with temporary thread protectors or threaded plugs.
- 2.2.11.2. All standard fittings shall be 4" diameter NPT half couplings.
- 2.2.11.3. Internal piping shall be terminated at least 4" from the tank bottom (6" for 12' diameter tanks).

#### 3. EXECUTION

- 3.1. Installation and Testing
- 3.1.1. Fiberglass underground tanks must be tested and installed according to the current installation instructions provided with the tank (refer to Containment Solutions Pub. No. INST 6001). Tanks are installed with pea gravel or crushed stone as specified in current installation instructions. Containment Solutions' tanks are intended for storing products listed in the warranty; any other products not listed in the warranty must be approved in advance by Containment Solutions.

#### 4. LIMITED WARRANTY

- 4.1. Limited Warranty
- 4.1.1. Warranty shall be Containment Solutions limited warranty in effect at time of delivery.

#### **CONTAINMENT SOLUTIONS MANUFACTURES:**

Underground and Aboveground Storage Tanks

Urea DEF Storage Tanks

Automotive Oil and Lubricant Storage Tanks

Oil/Water Separators and Interceptors

Flowtite® Water Tanks

Chemical Storage Tanks
Fiberglass Manholes and Wetwells



# **Charter Township of Union**

#### **APPLICATION FOR SITE PLAN REVIEW**

	ninary Site Plan Final Site Plan
A Completed Application will contain all the information rec	quired per the Zoning Ordinance, Section 14.2 (Site Plan Review).
realite of Froposed Development, Froject	ant Dunkin and Convenience Store
Common Description of Property & Address (if issued) 37	1 ft of N 814.2 ft of NE 1/4 of Sec 26, T14N, R4W
S Isabella Rd	
Applicant's Name(s) Grayling Investors, LLC	
Phone/Fax numbers P-(989) 348-5232	Email Maskowski @ carey-jaskowski.com
Address PO Drawer 665	City: Grayling Zip: 49738
Legal Description: Attached  Included on Site	e Plan Tax Parcel ID Number(s): 14-026-20-001-06
Existing Zoning: B-4 & B-5 Land Acreage: 6.92 E	xisting Use(s): vacant
ATTACHED: Letter describing the project and how it con	forms to Section 14.2.S. (Standards for Site Plan Approval)
Firm(s) or 1. Name: Practical Engine	
Individuals(s) who 2. Address: 9091 Helen Wh	
prepared site plan(s)   City: Lake Ann   Contact Person: Sarah Ross	
Contact reison. Salari 1033	THORE 2012 TO 0010
Legal Owner(s) of 1. Name: Grayling Investor	s, LLC Phone: 989-348-5232
Property. Address: PO Drawer 665	
All persons having City: Grayling	State: MI Zip: 49738
legal interest in the property must sign Signature: William O	Interest in Property: owner/lessee/other
this application. 2. Name:	Phone:
Attach a separate Address:	
sheet if more space City:	State: MI Zip:
is needed.	Interest in Property: owner/lessee/other
Signature	microst in Property.
true and accurate to the best of my knowledge and that	g Ordinance or other applicable codes and ordinances.
Office	e Use Only
Application Received By:	Fee Paid: \$
Date Received:	Escrow Deposit Paid: \$

# **CHARTER TOWNSHIP OF UNION**

# SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

	Name of business:	
	Name of business owner(s	
		Grayling Investors, LLC
	Street and mailing address	S: 2373 S I-75 Bus. Lp , PO Drawer 665 Grayling, MI 49738
	Telephone:	
	Fax: T- 198	9)348-5232
	Email: rjasko	wskie Carey-jaskowski.com
I aff	irm that the information su	bmitted is accurate.
	Owner(s) signature and d	ate: Willia 7 G 10/6/2020
	Information compiled by:	Meller T G 10/6/2020 Managens Menber
		Practical Engineers, Inc

# Types and Quantities of Hazardous Substances and Polluting Materials Used, **Stored or Generated On-Site**

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

				NONE	2021										Diesel		unleaded gas	COMMON NAME
			-	G = pas	S = solids	P.LIQ = pressurized liquid	LiQ. = liquid	KEY:		4					No. a Diesel fuel	gasoline	gasoline	CHEMICAL NAME (components)
															<u>L</u> , e	رزوں	Lig	FORM
															4.500 gallons		18.000 gallons	MAX QUANTITY ON HAND AT ONE TIME
TP = portable tank	container	QV = wooden or composition	CM = metal cylinders	Cy = cylinders	UGT = underground tank	DM	AGT = above ground tank	KEY:							Ten	UGT	UGT	TYPE OF STORAGE CONTAINERS

#### PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

#### Michigan.gov/EGLEpermits

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: Michigan.gov/EHSguide. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

Но	w Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes	No
1)	Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), <u>Permit Section</u>	Y	N⊠
2)	Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, <u>Asbestos Program</u> , 517-284-6777	Υ□	N⊠
3)	Please consult the <u>Permitting at the Land and Water Interface Decision Tree document</u> to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - <u>Joint Permit Application</u> , 517-284-5567:		
	a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Υ□	N⊠
	b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Υ□	N⊠
	c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Υ□	N⊠
	d. Does the project involve construction of a dam, weir or other structure to impound flow?	Υ□	N⊠
4)	Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? Union Township and Isabella County	Y⊠	N
5)	Does the project involve the construction or alteration of a water supply system system? <b>Union Township Public Services Department</b> and <u>Drinking Water &amp; Environmental Health Division</u> (DWEHD), 517-284-6524	Υ□	N⊠
6)	Does the project involve construction or alteration of any sewage collection or treatment facility? <b>Union Township Public Services Department</b> and WRD, Part 41 Construction Permit Program (staff), 906-228-4527, or EGLE District Office	Y	NX
7)	Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? <b>Union Township</b> and Public Swimming Pool Program, 517-284-6541, or EGLE District Office	Y	N⊠
8)	Does the project involve the construction or modification of a campground? <b>Union Township</b> and DWEHD,Campgrounds program, 517-284-6529	Y	N⊠

06

9)	Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), Solid Waste, 517-284-6588, or EGLE District Office	Υ□	N⊠
10)	Y□	N⊠	
Wh	o Regulates My Drinking (Potable) Water Supply?		
11)	I am buying water from the municipal water supply system Contact the Union Township Public Services Dept.	ΥŅ	N
12)	I have a Non-Community Water Supply (Type II) <u>Guide</u> , <u>Contact (District or County) Local</u> <u>Health Department</u> , 517-485-0660	Y□	N⊠
13)	I am a community water supply (Type I) <u>Community Water Supply, DWEHD District Office</u> <u>Community Water Supply Program</u> , 517-284-6512	Υ□	N⊠
14)	Do you desire to develop a <u>withdrawal of over 2,000,000 gallons of water per day</u> from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	Y□	N⊠
Wł	o Regulates My Wastewater Discharge System?		
15)	NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, <u>EGLE District Office</u> , or <u>National Pollutant</u> <u>Discharge Elimination (NPDES) Permit Program</u> , 517-284-5568	Υ□	N⊠
16)	Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, <u>Permits Section</u> , or <u>EGLE</u> <u>District Office</u> , 517-284-5588	Υ□	иД
17	Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, Groundwater Permits Program, 517-290-2570	Υ□	NX
18	Does the project involve the drilling or deepening of wells for waste disposal? Oil, Gas and Minerals Division (OGMD), 517-284-6841	Y□	N⊠
WI	nat Operational Permits Are Relevant to My Operation and Air Emissions?		
19	Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, Permit Section, 517-284-6634	Y	N⊠
20	Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, Acid Rain Permit Program, 517-780-7843	Y□	N⊠
W	hat Operational Permits Are Relevant to My Waste Management?		
21	) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? <a href="MMD">MMD</a> , 517-284-6588 or <a href="EGLE District Office">EGLE District Office</a>	Y	N⊠
22	) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? MMD, <u>Hazardous and Liquid Waste</u> , 517-284-6562	Y	N⊠
23	) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (Hazardous Waste Program Forms & License Applications) MMD, EGLE District Office, 517-284-6562	Y	N⊠

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, Radioactive Material and Standards Unit, 517-284-6581	Υ□	N⊠
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD <u>Radioactive Material and Standards Unit</u> , 517-284-6581	Υ□	N⊠
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, <u>Medical Waste Regulatory Program</u> , 517-284-6594	Y	N⊠
What Sector-Specific Permits May be Relevant to My Business?		
<u>Transporters</u>	Y	N⊠
27) Does the project involve the transport of some other facility's non-hazardous liquid waste? MMD, <u>Transporter Program</u> , 517-284-6562		
28) Does the project involve the <i>transport</i> of hazardous waste? MMD, <u>Transporter Program</u> , 517-284-6562	Y	N⊠
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, Water Hauler Information, 517-284-6527	Y	N⊠
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, <u>Septage Program</u> , 517-284-6535	Y□	N⊠
31) Do you store, haul, shred or process scrap tires? MMD, Scrap Tire Program, 517-284-6586	Υ□	N⊠
<u>Sectors</u>		
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, <u>Dry Cleaning Program</u> , 517-284-6780	Υ□	NX
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? <u>Laboratory Services Certifications</u> , 517-284-5424	Υ□	N⊠
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, <u>Public Swimming Pools Program</u> , 517-284-6529	Υ□	N⊠
35) Does the project involve the operation of a campground? Union Township and DWEHD, Campgrounds, 517-284-6529	Y	NX
What Permits Do I Need to Add Chemicals to Lakes and Streams?		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control		
(pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, Aquatic Nuisance Control , 517-284-5593	Y	NX
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, <a href="Surface Water Assessment Section">Surface Water Assessment Section</a> , 517-331-5228	Υ□	N⊠,

Why would I be subject to Oil, Gas and Mineral Permitting?							
38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, Petroleum Geology and Production Unit, 517-284-6826	Υ□	ΝX					
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, Sand Dune Mining Program, 517-284-6826	Y	ΝØ					
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, Radioactive Protection Programs, 517-284-6581	Y	N⊠					
Petroleum & Mining, OGMD, 517-284-6826							
41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Υ□	NK					
42) Does the project involve the surface or open-pit mining of metallic mineral deposits?	Υ□						
43) Does the project involve the mining of nonferrous mineral deposits at the surface or in	Y	N⊠					
underground mines?	Y	NA					
44) Does the project involve mining coal?	10						
45) Does the project involve changing the status or plugging of a mineral well?	Υ□	NK					
46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Υ□	N⊠					

Contact Union Township and EGLE Permits & Bonding, OGMD, 517-284-6841

#### **Preliminary Site Plan Review Procedure**

Each preliminary site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

#### **Effect of Preliminary Site Plan Approval**

Approval of a preliminary site plan by the Planning Commission shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas in accordance with the standards for preliminary site plan approval specified in subsection 14.2(S). The Planning Commission may, at its discretion and with appropriate conditions attached, authorize limited work to begin for soils exploration, incidental site clearing, and other preliminary site work as specified in the authorization.

#### **Outside Agency Approvals**

The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval.



## Final Site Plan Review Procedure

Each final site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

#### Effect of Final Site Plan Approval

Approval of a final site plan by the Planning Commission constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met.

#### Minor Site Plan Review Procedure

A minor site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee, and two (2) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and site plans, at a maximum sheet size of 11 inches by 17 inches, at the Township Hall. The Zoning Administrator shall review the application materials and site plan for completeness, accuracy, and compliance with all applicable requirements and standards of this Ordinance and other Township ordinances.

The minor site plan shall be approved by the Zoning Administrator upon determination that all required information for the type of site plan has been provided per subsection 14.2(P), the site plan satisfies the applicable standards for site plan approval per subsection 14.2(S); and the site plan conforms to all other applicable requirements and standards of this Ordinance and other Township ordinances.



To: Union Township Planning Office

From: Sarah Ross, P.E., Practical Engineers, Inc.

RE: PSPR20-14 Gas Station Dunkin Donuts Convenience Store/ Restaurant.

On 10/07/2020 we received the following site plan review comments from Peter Gallinat, the Zoning Administrator for Union Township. At that point the project changed directions for a short time to apply for and change the site zoning. The re-zoning is still in process but thus far the response has been positive so we are looking forward to proceeding with the approval of our site plan and moving forward with the project.

The responses for the below comments are noted after each comment in italics.

#### **Review Comments**

**Site Plan Information Requirements** 

#### The following details are missing from or need to be clarified on the site plan:

- 1. Add a label for the right-of-way lines and add the right-of-way line symbol to the legend. *The right-of-way lines are present and labeled on the plans.*
- 2. Add the required landscape plan and maintenance/installation details. *The Landscape Plan sheet LS1.0 has been added to the set of plans.*
- 3. Add locations and dimensions for all planned outdoor display areas on the lot, which will need to conform to Section 6.32 (Outdoor Temporary Retail Sales) standards. Please note that outdoor displays cannot reduce the sidewalk width in front of the building. At this time there is no plans for outdoor storage at this location. If there is in the future, the display information will conform to Section 6.32 and a plan will be presented to the Planning Office for review.

#### Section 6.18 Filling Stations for the Sale of Gasoline, Oil, Propane, and Vehicle Accessories

- A. **Access**. Curb cuts for access to a filling station shall be located no closer than twenty-five (25) feet to a street intersection (measured from the road right-of-way) or from an adjacent residential district. In the interest of traffic safety, the Planning Commission may limit the number of curb cuts. Project complies.
- B. **Minimum Lot Size**. The minimum lot size for filling stations is fifteen thousand (15,000) square feet, unless the filling station is intended solely for the sale of gasoline, oil, and minor accessories (no facilities for repair or servicing), in which case the minimum lot size shall be as specified for the district in which the filling station is located. Project complies.
- C. **Setbacks**. Buildings shall be set back a minimum distance of fifty (50) feet from any residentially zoned property and a minimum of one hundred (100) feet from any existing residential dwellings located on adjacent property. Project complies.
- E. **Parking [Setbacks]**. Driveways and off-street parking shall comply with the regulations in Section 9, except that driveways and parking shall be located a minimum of fifty (50) feet

from adjacent property lines and a minimum of two hundred (200) feet from any existing residential dwelling located on adjacent property. Project complies with parking and driveway setbacks.

- F. Lighting. Exterior lighting shall comply with Section 8.2, except that the maximum light level under the pump island canopy structure is twenty (20) foot candles. Maximum level of illumination cannot exceed 10 foot-candles elsewhere around the site and 0.5 foot-candles at the property line and road rights-of-way. The original site lighting plan included with the site plan package was partially illegible. Based on a review of the revised lighting plan submitted by the project engineer via email, the following lighting-related details need to be addressed by the applicant on a revised plan:
  - 1. Extend the photometric plan spot measurements of anticipated light intensity further towards the lot boundaries and road right-of-way lines, at least until the measurement drops below 0.5 foot candles. The lighting plan has been revised past the property lines.
  - 2. Revise the spot intensity measurements under the canopy to improve legibility the numbers run together on the revised plan. A detail of that plan area has been provided on the plans.
  - 3. Add an elevation sketch of the proposed pole light fixture from foundation to the top of the fixture and add a height measurement from grade level to the light source. *That detail has been added to the plans. The cut sheet is ATTACHED.*
  - 4. Revise or replace the All Green "Venus 2" with a fully recessed under-canopy fixture. These have been revised to be an SCM canopy series. It is placed so the face is flush with the canopy soffit. Detail is ATTACHED.
  - 5. Provide manufacturer's specification sheets for each fixture with the revised plan. *These have been provided separately to the township. Fixture cut sheets are ATTACHED.*

#### **Convenience Store and Dunkin Donuts Drive-Through**

- 1. Section 3.13 and 3.14 (Principal Permitted Uses, Required Dimensions). The parcel is split zoned between B-4 and B-5. A convenience store is a permitted use by right in both the B-4/B-5 district, but a restaurant with a drive-through is only a permitted use in the B-5 district. The project complies with lot and setback standards for a B-4/B-5 district, but the location of the drive-through restaurant within the B-4 District boundaries does not conform to Zoning Ordinance requirements. While it appears that the vacant parcel proposed for future development at the south end of the site meets the minimum standards of the B-5 District, it may not have sufficient width to be practical for future commercial development in the District. The following options are available to the applicant to resolve these deficiencies:
  - a. Submit a separate application to rezone the entire parcel to the B-5 District. We have applied for rezoning and it is currently almost through the process.

- b. Consider adjusting the location of the proposed development to the south so that the drive-through restaurant facilities are entirely within the B-5 portion of the lot. With the lot zoned B-5 it will not be necessary to revise the location of the drive-through.
- c. Consider adjustments to the site layout to maximize use of the available land and the viability of any future development area. The owners have developed several properties and prefer the building setback from the street with landscaping and the canopy area in the front of the building.
- 2. Section 7.10 (Sidewalks and Pathways). The plan demonstrates a 5-foot-wide sidewalk along S. Isabella Rd. and E. Broomfield Rd. The following sidewalk-related details need to be addressed by the applicant on a revised site plan:
  - a. Add proposed public sidewalk easement details to the plan (since the proposed public sidewalks are located outside of the existing road rights-of-way). A copy of the asrecorded easement document will be required to be submitted to the Zoning Administrator prior to issuance of any certificate of occupancy for this project. An easement will be provided for the sidewalk for the project as soon as it is installed and prior to the certificate of occupancy. The sidewalk may need to vary slightly from the plan location due to unforeseen landscape or utility conflicts. The easement will include the final location of the sidewalk.
  - b. Add a cross-section sidewalk construction detail showing the base and pavement depth, pavement width, and description of base and paving materials. *The sidewalk, thickened edge walk and pavement details are on plan sheet C3.1.*
  - c. Add a pedestrian access connector sidewalk and striped crossing from the public sidewalk into the site to the building entrance. The best location for this connection appears to be from S. Isabella Rd. at a point lined up with the front building sidewalk. A connector sidewalk and striped crosswalk have been added between the front of the building corner and S. Isabella Road.
- 3. Section 7.14 (Trash Removal and Collection) The plan demonstrates a screened dumpster with a 6-foot-high concrete block wall. Dumpster will be located on 15' by 15' concrete pad. The following dumpster-related detail needs to be addressed by the applicant on a revised site plan:
  - a. Revise the Dumpster Screen Wall Detail to verify that the dumpster is screened on 3 sides and that the concrete pad extends at least 10 feet in front of the enclosure. The dumpster screen detail has been revised and the entire lot is concrete, so there will be a concrete apron in this location.
- 4. **Section 9 (Parking, Loading, and Access Management).** Plan demonstrates one loading space over 12 feet in width and over 50 feet in length as required. The parking calculations listed on the site plan are out of date and inaccurate. Here are the correct calculations, based on Section 9.2 (Schedule of Required Parking) standards and the proposed uses: Gas

station 1.5 per fueling station 6 pumps x 1.5 = 9 spaces. Convenience store 1 space per 200SF of UFA (usable non-residential floor area) 7,200SF x 80% = 5,760 / 200SF = 29 spaces. Restaurant with Drive-Through 12.41 spaces per 1,000SF GLA (Gross Leasable Area) 7,200SF, 7.2 x 12.41 = 89 spaces. Per the "shared parking factors" in Section 9.1.B., a total of 120 spaces are required (95% of 127).

A total of 62 parking spaces are depicted on the site plan (12-under-canopy filling station spaces, 3-truck/RV spaces, 4-barrier-free spaces, 10 stacking spaces within the drive-through lane, 3 electric vehicle spaces, and 30 standard spaces). Parking spaces are 20 feet deep and 10 feet wide, which complies with 90-degree parking requirements of 18.5 feet deep and 9 feet wide. The following parking-related details need to be addressed on a revised site plan:

- a. Add the details for the open short-term bicycle parking facilities required per Section 9.1.C.5. [at a minimum rate of 1 space for the general retail and 5% of the (indoor seating) capacity for the restaurant] per the applicable location requirements. *The location of a bike rack is shown on plan sheet C2.0. The cut sheet detail is ATTACHED.*
- b. Add the remaining required parking spaces (58 spaces) to the revised site plan. All or part of this additional parking can be depicted and proposed as "banked parking" per the requirements of Section 9.1.C.4. A parking plan was proposed an approved by the township planning department with a revised parking amount. The parking plan is sheet C2.1.
- c. Revise the barrier-free parking as needed to conform to Section 9.1.C.6. standards. *The barrier-free parking spaces have been revised to meet the code requirements.*
- 5. **8.1.B.6 (Environmental Performance Standards)** Applicant has submitted paperwork regarding storage tank containment associated with the Marathon gas station.
- 6. **Section 9.6 (Access Management)** Plan demonstrates a proposed future shared access drive on the north of the property with the parcel to the west. No shared access with property to the south currently proposed.
- 7. **Outside agency approvals.** Despite outside agency approval from preliminary site plan reviewed with approval of Special use in 2019, new review and approvals for this project will be required form the Mt. Pleasant Fire Department, Isabella County Drain Commissioner's Office (for stormwater management), Isabella County Transportation Commission, Isabella County Road Commission, and the Township's Public Services Department. If these items remaining outstanding when the revised site plans are received, the Planning Commission may consider an approval subject to a condition that the documentation be provided prior to the issuance of any building or grading permit for the project. The following approvals have been granted for the project based on these plans:

- The Mt. Pleasant Fire Department has issued a letter approving the most current site plan. ATTACHED
- The Isabella County Drain Commissioner's office has issued a letter approving the revised plans. ATTACHED
- The Isabella County Transportation Commission has issued an email regarding no issues with the project.-ATTACHED
- The Isabella County Road Commission has contacted the Township office regarding having no issues with the project, as it uses the curb cuts already in place that were designed and constructed per the Road Commission.
- The Township Public Services department has been consistently working to ensure that the plans are revised to reflect their requirements for connection to the public sewer and water main. This final set of plans should reflect their final comments and change requests.
- The Isabella County Soil Erosion Control office has issued and Erosion Control permit for this project ATTACHED

The submittal for site plan approval has been prepared while working in conjunction with the Township Planning department.

If you have any additional questions or concerns regarding this plan, please contact me at any time.

Respectfully Submitted,

Sarah K. Ross, P.E.

### MT. PLEASANT FIRE DEPARTMENT

### INSPECTION REPORT 4000 S ISABELLA RD, MT PLEASANT MI 48858



### **DETAILS**

Inspection Date: 01/20/2021 | Inspection Type: PLAN REVIEW UNION TOWNSHIP - Site | Inspection Number: 1953 | Shift: Lieutenant | Station: Mt. Pleasant Fire Department | Unit: N/A | Lead Inspector: RANDY KEELER | Other Inspectors: N/A

STATUS	CODE	DESCRIPTION
FAIL	1 PROPERTY - Identification	No Code Description  Inspector: RANDY KEELER - Comments: Proposed Gas Station Convenience Store Southwest Corner of Broomfield & Isabella
FAIL	503.2.3 - Surface.	Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all- weather driving capabilities.  Inspector: RANDY KEELER - Comments:
FAIL	ACCESS ROAD 150 FT - Buildings within 150ft of Access Road	All portions of a building are required to be within 150 feet of an approved Fire Department access road, in accordance with Chapter 5, Section 503.1.1 of the 2012 Edition of the International Fire Code.  Inspector: RANDY KEELER - Comments: Site Plan meets the above requirements.
FAIL	ACCESS ROAD LOAD - Designed and Maintained to Support the Load	All fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all- weather driving capabilities in accordance with Chapter 5, Sections 503.2.3 and 503.4 of the 2012 Edition of the International Fire Code.  Inspector: RANDY KEELER - Comments:
FAIL	ACCESS ROAD OBSTRUCTED - Dimensions and Clearances	All fire apparatus access roads, including parking lots, shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches in accordance with Chapter 5, Sections 503.2.1, 503.2.2, 503.3 and 503.4 of the 2012 Edition of the International Fire Code. Fire Prevention Ordinance 93.02(D)  Inspector: RANDY KEELER - Comments:

STATUS	CODE	DESCRIPTION
FAIL	ACCESS ROAD W/HYDRANT - Width of Road with a Fire Hydrant	Where a fire hydrant is located on a fire department apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders as in accordance with Appendix D, Section D103.1 of the 2012 Edition of the International Fire Code.  Inspector: RANDY KEELER - Comments: Site Plan meets the above requirements.
FAIL	BUILDING IDENTIFICATION - Buildings Shall Have Address Numbers	Provide address identification numbers in accordance with Chapter 5, Sections 505.1 of the 2012 Edition of the International Fire Code or applicable to the City of Mt. Pleasant code of ordinances 150.01 Land Usage.  Inspector: RANDY KEELER - Comments: Will verify on final inspection
FAIL	HYDRANT DISTANCE - Hydrant maximum distance from buildings	Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exceptions: 1. For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet (183 m). 2. For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet (183 m).  Inspector: RANDY KEELER - Comments: Site Plan meets the above requirements.
FAIL	KNOX BOX - Knox Box Requirements and Location	Provide a Knox Key entry device and install it in approved location by the Fire Code Official, as in accordance with Chapter 5, Section 506.1, 506.1.1 and 506.2 of the 2012 Edition of the International Fire Code. (Go to Knoxbox.com and search by fire department or zip code - select "Mt. Pleasant Fire Department" and place order for the type of Knox box desired.)  Inspector: RANDY KEELER - Comments: Provide knoxbox if hours of operation are not 24/7
FAIL	WATER SUPPLY (GPM) - Capable of Supplying the Required Fire Flow	Provide fire hydrants capable of supplying the required fire flow in accordance with Chapter 5, Section 507 of the 2012 Edition of the International Fire Code. The number and spacing of fire hydrants is based on the construction type and square footage of the building in accordance with Appendix B and C and tables B105.1 and C105.1 of the 2012 Edition of the International Fire Code. (Contact Fire Department to verify locations.)  Inspector: RANDY KEELER - Comments: Total sq. ft. 7200 Type IIB/IIIB construction requires 1,750gpm. One hydrant required. New hydrant located on site plan meets above requirements.

### **NEXT INSPECTION DATE**

No Inspection Scheduled

### **CONTACT SIGNATURE**

Peter Gallinat

Contact Refused Refusal Reason: N/A

### **INSPECTOR SIGNATURE**

RANDY KEELER Signed on: 01/20/2021 @ 09:43 L +

### **QUESTIONS ABOUT YOUR INSPECTION?**

RANDY KEELER rkeeler@mt-pleasant.org 9897795122

### Sam Ber Engineering

Bruce E. Rohrer, P.E. 1216 E Gaylord St. Mt. Pleasant, Michigan 48858 (989) 330-2150

January 8, 2021

Peter Galliant Charter Township of Union 2010 South Lincoln Road Mt. Pleasant, Michigan 48858

Re: Storm Water Management Plan for Gas Station/Dunkin Donuts;

Mr. Galliant:

I reviewed the Storm Water Management Plan prepared by Practical Engineers, INC for the above captioned project located in part of the Northeast ¼ of Section 26, Union Township. The proposed storm water plan, per amended plans dated 12-17-20, is consistent with the Union Township Storm Water Ordinance.

If you have any questions or need further information, please feel free to contact me.

Sincerely,

Bruce E. Rohrer, P.E. Consulting Engineer Isabella County

Burn & Rohres

BER/taw

cc: Practical Engineers, INC.; peinc@centurytel.net

From: <u>Practical Engineers Inc</u>

To: "Pat Gaffney"

Cc: Peter Gallinat; Rodney Nanney

Subject: RE: Approval

**Date:** Thursday, February 4, 2021 12:09:00 PM

### Peter,

The road commission approved the plans (you were copied) and they sent me the latest corner upgrade plans for the SW corner of Broomfield & Isabella. They are replacing some curb and sidewalk ramps, and adjusting some storm. (Pat and I had already discussed the project). He would like to hold off on our final placement of the sidewalk and sign until they are done with their improvements. He also said they have a few things that may be on our property, so we may need to include that section in the easement. Can we make the sidewalk easement and final sign location conditions of the site plan approval? I just want to make sure we are taking into consideration the RC improvements when we do our final construction.

Thanks, Sarah

Practical Engineers, Inc. 9091 Helen White Dr. Lake Ann, MI 49650 (231) 275-5066 (Office) (231) 275-5076 (Fax) (231) 218-0810 (Sarah Cell) (231) 218-0688 (Brian Cell)

**From:** Pat Gaffney [mailto:PGaffney@isabellaroads.com]

**Sent:** Thursday, February 4, 2021 11:54 AM

**To:** Practical Engineers Inc

**Cc:** Peter Gallinat **Subject:** RE: Approval

Sara,

See attached approved site plan. Drive openings are existing. Need to coordinate contractors with proposed Isabella / Broomfield intersection improvements. Signal Work is 99% complete, need to complete minor drainage and grading work along with Sidewalk ramps and curb and gutter radius to meet ADA requirements. ROW is only 33' along south side of Broomfield, and easement will be required for sidewalk in this area.

If you have any question please give me a call.

Patrick J. Gaffney, PE Engineer Superintendent Isabella CRC 989-773-7131 x115 989-772-2371 fax **From:** Practical Engineers Inc <peinc@centurytel.net>

Sent: Wednesday, January 20, 2021 1:58 PM

To: Pat Gaffney <PGaffney@isabellaroads.com>; 'Peter Gallinat' <pgallinat@uniontownshipmi.com>

**Cc:** Mickie Olson <molson@isabellaroads.com>

**Subject:** Approval

### Pat.

Good afternoon! My name is Sarah Ross and a little over a year ago I met with you regarding the site at the SW corner of Isabella Road and Broomfield Road. We are doing a Gas station/Dunkin Donuts project. We are using the curb cut openings that are already in place for the two lots that we own.

At the time I came in the township had requested a letter or email saying that using those existing openings was fine with your office. At that time I think you gave me a letter, I just can't seem to find it. We are on our final step of site plan approval and I wondered if you could possibly re-issue that approval, either via letter to me or to Union Township. The zoning administrator is Peter Gallinat, pgallinat@uniontownshipmi.com.

I attached the original survey and our site plan to remind you of the location of the project.

Thanks so much and please let me know if you have any questions. Sarah Ross, P.E.

Practical Engineers, Inc. 9091 Helen White Dr. Lake Ann, MI 49650 (231) 275-5066 (Office) (231) 275-5076 (Fax) (231) 218-0810 (Sarah Cell) (231) 218-0688 (Brian Cell)

### **Practical Engineers Inc**

From: Rick Collins <rcollins@ictcbus.com>
Sent: Friday, January 8, 2021 2:46 PM

**To:** Practical Engineers Inc

Cc: 'Rodney Nanney'; 'Peter Gallinat'; 'Rich Jaskowski'

**Subject:** RE: Marathon/Dunkin Donuts

I have no issue with the plans.



### **Rick Collins | Executive Director**

2100 E. Transportation Dr|Mt. Pleasant, MI 48858 Phone 989.773.6766 |Fax 989.773.1873

rcollins@ictcbus.com

Visit our website at ictcbus.com

From: Practical Engineers Inc <peinc@centurytel.net<>

**Sent:** Tuesday, January 5, 2021 11:45 AM **To:** Rick Collins <<u>rcollins@ictcbus.com</u>>

Cc: 'Rodney Nanney' < RNanney@uniontownshipmi.com >; 'Peter Gallinat' < pgallinat@uniontownshipmi.com >; 'Rich

Jaskowski' <<u>rjaskowski@carey-jaskowski.com</u>>

Subject: Marathon/Dunkin Donuts

### Rick,

Good morning. My name is Sarah Ross and I am the civil engineer for a project (Marathon/Dunkin Donuts) on the southwest corner of Isabella and Broomfield in Union Township. Last week I was contacted by Rodney Nanney, the head of development at Union Township. He mentioned that we need to get a site plan to your agency for your files. I have attached a pdf of the cover sheet, the existing survey and the site plan. The curb openings are ones that are already in place per the road commission.

If you have any questions or concerns, please let me know.

Thanks for your time and have a wonderful 2021, Sarah Ross, P.E.

Practical Engineers, Inc.

9091 Helen White Dr.

Lake Ann, MI 49650

(231) 275-5066 (Office)

(231) 275-5076 (Fax)

(231) 218-0810 (Sarah Cell)

(231) 218-0688 (Brian Cell)

### **Isabella County**

### **Soil Erosion**

**Permit No:** 

Community Development Dept.

200 North Main Street

Mt. Pleasant, Michigan 48858

Phone: (989) 772-0911, ext. 227

Fax: (989) 775-6681

Hours: Monday-Friday 8 am - 4:30 pm

Location

Parcel #: 14-026-20-001-06

> ISABELLA RD MT PLEASANT

MI 48858

Township: UNION Section:

Subdivision:

Address:

Lot #:

	•	nsible Perso	on on Site
GRAYLING INVESTORS LLC			Permitee
GRAYLING	MI	49738	
PO BOX 665			
GRAYLING INVESTORS LLC			Owner

**GRAYLING INVESTORS LLC** 

CHAD HAMING

Phone #:

- Permit Conditions: 1. The permited activity shall be completed in accordance with the approved plans and specifications, and the attached general and specific conditions.
  - 2. Permittee shall notify the permitting agency within one week after completing the permitted activity or one week prior to the permit expiration date, whichever comes first.

General Conditions: In accordance with Rule 1709 promulgated under the authority of Part 91, Soil Erosion and Sedimentation Control, of the Natural Resources and Environment Protection Act, 1994 PA 451, as amended, and in addition to the information on the attached plan(s) and special conditions apply to the earth change authorized by this permit:

> \*Design, construct, and complete the earth change in a manner that limits the exposed area of disturbed land for the shortest period of time.

\*Remove sediment caused by accelerated soil erosion from runoff water before it leaves the site of the earth change.

\*Temporary or permanent control measures shall be designed and installed to convey water around, through, or from the earth change at a non-erosive velocity.

\*Install temporary soil erosion and sedimentation control measures before or upon commencement of the earth change activity and maintain the measures on a daily basis. Remove temporary soil erosion and sedimentation control measures after permanent soil erosion measures are in place and the area is stabilized. ("Stabilized" means the establishment of vegetation or the proper placement, grading, or covering of soil to ensure its resistance to soil erosion, sliding, or other earth movement.)

\*Complete permanent soil erosion control measures for the earth change within five calendars days after final grading upon completion of the final earth change. If it is not possible to permanently stabilize the earth change, then maintain temporary soil erosion and sedimentation control measures until permanent soil erosion control measures are in place and the area is stabilized.

Permit Item	Project Type	Fee Basis	Item Total
Application Fee - Non Residential	Application Fee	1.00	\$50.00
Indus/Comm 1st Acre + Add'l up to 10	Indust/Comm Dev.	5.00	\$375.00
General Grading up to 1 acre	Waterways/lots	3.00	\$400.00

Fee Total: \$825.00 **Amount Paid:** \$825.00 **Balance Due:** 

I (we) affirm that the above information is accurate and that I (we) will conduct the above described earth change in accordance with Part 91, Soil Erosion and Sedimentation control, of the Natural Resource and Environmental Protection Act, 1994 PA 451, as amended, applicaple local ordinances, and the documents accompanying this application. I hereby authorize the Soil Erosion Control Agent to inspect this project site for conformance. I understand that payment of the fee does not guarantee a permit will be issued.

Payment of permit fee constitutes acceptance of the above terms.

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# 5-Loop Wave Style Bike Rack - 7 Bike Capacity, Black



Upscale stylish look for downtown shopping and business districts.

- For stadiums, parks and athletic fields.
- 10-gauge steel with attractive powder coating.
- 23/8" diameter bar.
- Bike rack mounting hardware included.

SPECIFY COLOR:

IN STOCK SHIPS TODAY

SHIPS VIA MOTOR FREIGHT ADD Black COLOR \$430 **PRICE EACH** <del>က</del>် \$450 WT. 8 BIKE CAP. 68 x 2 1/2 x 39" L×M×H SIZE DESCRIPTION 5-Loop

H-2544BL

MODEL 9

A More Images

+ Additional Info

+ Parts

+ Shopping Lists

Request a Catalog

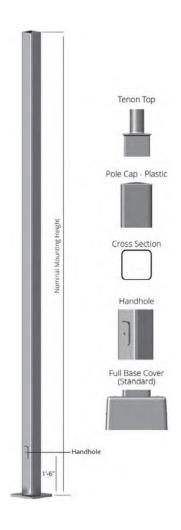
1/2



### Square Straight Steel Light Poles, Anchor Base

### **Product Overview**

- Pole Shaft The pole shaft is fabricated from hot rolled welded steel tubing of one-piece construction with a minimum yield strength of 55 KSI.
- Pole Top A removable top cap is provided for poles receiving drilling patterns for side-mount luminaire arm assemblies. Other pole top options include Tenon Top, Top Cap Only or Open Top which is typical when the pole top diameter matches the necessary slip-fit dimensions.
- Hand Hole A reinforced hand hole with grounding provision is provided at 1'-6" from the base end of the pole assembly. Each hand hole includes a cover and cover attachment hardware. All pole assemblies are provided with a 2.5" x 5" rectangular hand hole (dimensions are nominal).
- Base Cover A two-piece full base cover fabricated from ABS plastic is provided with each pole assembly. Additional base cover options, including a cast aluminum and fabricated steel cover, are available upon request.
- Anchor Bolts Anchor bolts conform to ASTM F1554 Grade 55 and are provided with two hex nuts and two flat washers. Bolts have an "L" bend on one end and are galvanized a minimum of 12" on the threaded end.
- Hardware All structural fasteners are galvanized high strength carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.
- Finish Standard finishes are either Galvanized or Finish Painted. Additional finish options including Finish Paint over Galvanizing are available upon request.
- Design Criteria Standard EPA (Effective Projected Area) and weight values are based on Standard Commercial Criteria (with 1.3 gust factor) for side mounted fixtures only. Consult the factory on loading criteria for pole top mounted luminaires and/or brackets. Satisfactory performance of light poles is dependent upon the pole being properly attached to a supporting foundation of adequate design.











### **EPA Load Information**

	80 MPH	w/1.3 GUST	90 MPH	w/1.3 GUST	100 MPH	w/1.3 GUST
BASE MODEL	MAX EPA (SQFT)	MAX WEIGHT (LBS)	MAX EPA (SQFT)	MAX WEIGHT (LBS)	MAX EPA (SQFT)	MAX WEIGHT (LBS)
VS-SSSA-10-4040-11-AB-FP	30.6	765	23.8	595	18.9	473
VS-SSSA-12-4040-11-AB-FP	24.4	610	18.8	470	14.8	370
VS-SSSA-14-4040-11-AB-FP	19.9	498	15.1	378	11.7	293
VS-SSSA-15-4040-11-AB-FP	15.9	398	11.8	295	8.9	223
VS-SSSA-16-4040-11-AB-FP	15.9	398	11.8	295	8.9	223
VS-SSSA-18-4040-11-AB-FP	12.6	315	9.2	230	6.7	168
VS-SSSA-20-4040-11-AB-FP	9.6	240	6.7	167	4.5	150
VS-SSSA-20-4040-07-AB-FP	15.8	240	12.7	167	9	150
VS-SSSA-20-5050-11-AB-FP	17.7	443	12.7	343	9.4	235
VS-SSSA-20-5050-07-AB-FP	28.1	703	21.4	535	16.2	405
VS-SSSA-25-4040-11-AB-FP	4.8	150	2.6	100	1	50
VS-SSSA-25-4040-07-AB-FP	10.8	270	7.7	188	5.4	135
VS-SSSA-25-5050-11-AB-FP	9.8	245	6.3	157	3.7	150
VS-SSSA-25-5050-07-AB-FP	18.5	463	13.3	333	9.5	238
VS-SSSA-30-4040-07-AB-FP	6.7	168	4.4	110	2.6	65
VS-SSSA-30-5050-11-AB-FP	4.7	150	2	50	N/A	N/A
VS-SSSA-30-5050-07-AB-FP	10.7	267	6.7	167	3.9	100
VS-SSSA-30-6060-07-AB-FP	19	475	13.2	330	9	225
VS-SSSA-35-5050-07-AB-FP	5.9	150	2.5	100	N/A	N/A
VS-SSSA-35-6060-07-AB-FP	12.4	310	7.6	190	4.2	105
VS-SSSA-40-6060-07-AB-FP	7.2	180	3	75	N/A	N/A

### **Designation & Dimensional Information**

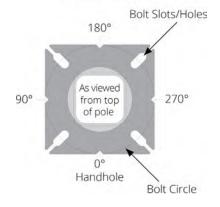
		POLE	DIMENSIO	NS		BASE	PLATE	ANCHOR B	OLTS
BASE MODEL	NOMINAL MOUNTING HEIGHT	TOP SQ (IN)	BASE SQ (IN)	WALL THK (GA)	STRUCTURE WEIGHT (LBS)	BOLTCIRCLE DIA (IN)	SQ (IN) x THICK (IN)	DIA x LENGTH x HOOK (IN)	PROJECTION (IN)
VS-SSSA-10-4040-11-AB-FP	10'-0"	4	4	11	75	8.0 - 9.0	8.25 x 0.75	0.75 x 17.00 x 3.00	3.25 - 3.75
VS-SSSA-12-4040-11-AB-FP	12'-0"	4	4	11	90	8.0 - 9.0	8.25 x 0.75	0.75 x 17.00 x 3.00	3.25 - 3.75
VS-SSSA-14-4040-11-AB-FP	14'-0"	4	4	11	100	8.0 - 9.0	8.25 x 0.75	0.75 x 17.00 x 3.00	3.25 - 3.75
VS-SSSA-15-4040-11-AB-FP	15'-0"	4	4	11	110	8.0 - 9.0	8.25 x 0.75	0.75 x 17.00 x 3.00	3.25 - 3.75
VS-SSSA-16-4040-11-AB-FP	16'-0"	4	4	11	115	8.0 - 9.0	8.25 x 0.75	0.75 x 17.00 x 3.00	3.25 - 3.75
VS-SSSA-18-4040-11-AB-FP	18'-0"	4	4	11	125	8.0 - 9.0	8.25 x 0.75	0.75 x 17.00 x 3.00	3.25 - 3.75
VS-SSSA-20-4040-11-AB-FP	20'-0"	4	4	11	140	8.0 - 9.0	8.25 x 0.75	0.75 x 17.00 x 3.00	3.25 - 3.75
VS-SSSA-20-4040-07-AB-FP	20'-0"	4	4	7	200	8.0 - 9.0	8.25 x 0.875	0.75 x 17.00 x 3.00	3.38 - 3.88
VS-SSSA-20-5050-11-AB-FP	20'-0"	5	5	11	185	10.0 - 12.0	11 x 1	0.75 x 17.00 x 3.00	3.5 - 4
VS-SSSA-20-5050-07-AB-FP	20'-0"	5	5	7	265	10.0 - 12.0	11 x 1	0.75 x 17.00 x 3.00	3.5 - 4
VS-SSSA-25-4040-11-AB-FP	25'-0"	4	4	11	170	8.0 - 9.0	8.25 x 0.75	0.75 x 17.00 x 3.00	3.25 - 3.75
VS-SSSA-25-4040-07-AB-FP	25'-0"	4	4	7	245	8.0 - 9.0	8.25 x 0.875	0.75 x 17.00 x 3.00	3.38 - 3.88
VS-SSSA-25-5050-11-AB-FP	25'-0"	5	5	11	225	10.0 - 12.0	11 x 1	0.75 x 17.00 x 3.00	3.5 - 4
VS-SSSA-25-5050-07-AB-FP	25'-0"	5	5	7	360	10.0 - 12.0	11 x 1	0.75 x 17.00 x 3.00	3.5 - 4
VS-SSSA-30-4040-07-AB-FP	30'-0"	4	4	7	291	8.0 - 9.0	8.25 x 0.875	0.75 x 17.00 x 3.00	3.38 - 3.88
VS-SSSA-30-5050-11-AB-FP	30'-0"	5	5	11	265	10.0 - 12.0	11 x 1	0.75 x 17.00 x 3.00	3.5 - 4
VS-SSSA-30-5050-07-AB-FP	30'-0"	5	5	7	380	10.0 - 12.0	11 x 1	0.75 x 17.00 x 3.00	3.5 - 4
VS-SSSA-30-6060-07-AB-FP	30'-0"	6	6	7	520	11.0 - 13.0	12.5 x 1	1.00 x 36.00 x 4.00	4 - 4.5
VS-SSSA-35-5050-07-AB-FP	35'-0"	5	5	7	440	10.0 - 12.0	11 x 1	0.75 x 17.00 x 3.00	3.5 - 4
VS-SSSA-35-6060-07-AB-FP	35'-0"	6	6	7	540	11.0 - 13.0	12.5 x 1	1.00 x 36.00 x 4.00	4 - 4.5
VS-SSSA-40-6060-07-AB-FP	40'-0"	6	6	7	605	11.0 - 13.0	12.5 x 1	1.00 x 36.00 x 4.00	4 - 4.5

- 1. The total combined EPA and weight of all fixtures, brackets and attachments mounting to a light pole cannot exceed the EPA and weight rating for a specified pole.
- Standard EPA (Effective Projected Area) and weight values are based on Standard Commercial Criteria (with 1.3 gust factor) for side mounted fixtures only. Consult the factory on loading criteria for pole top mounted luminaires and/or brackets.
- Satisfactory performance of light poles is dependent upon the pole being properly attached to a supporting foundation of adequate

Note: Additional sizes and configurations are available upon request.

"+" Indicates a vibration dampener is standard

### Anchor Base Detail

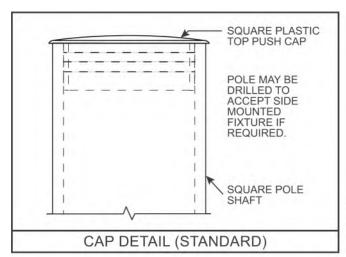


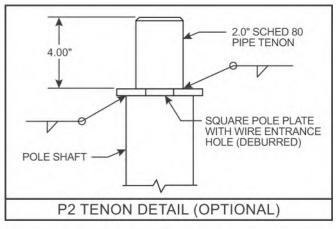


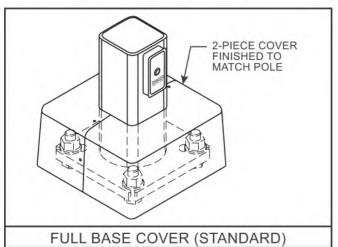


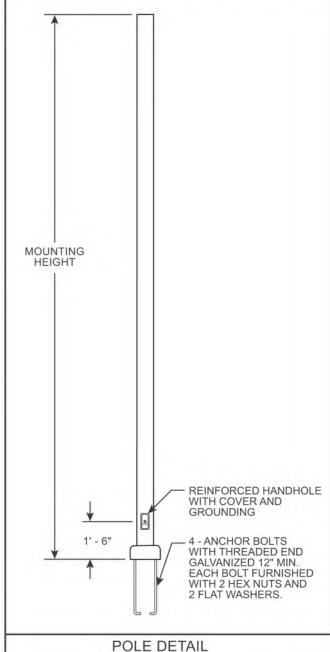


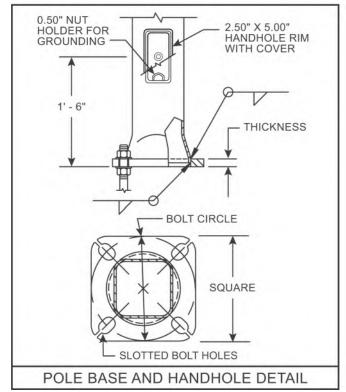
Rev. V08282020















## Ordering Information

Designation	ı	Length*	1
Square		10 to 40	
Straight			
VS-SSSA = Steel			
Anchor			
Base			

Base OD* Top OD* — Thickness*	4" <b>40</b> = 4" <b>07</b> = 7ga	<b>50</b> = 5" <b>11</b> = 11ga	9 = 09   9	
ř Ž	4" 4(	5" <b>5</b> (	9 <u>(</u> 9	
Base 0	40 =	= 09	= 09	
_				

Thickness\*

Finis	<b>GV</b> = Ge	FP = Fir	Fir FPGV = Pa	5
			Œ.	
Ī				
Anchor Bolts	Includes <b>AB</b> = Anchor	Bolts	Less <b>B</b> = Anchor Bolts	
٩	⋖		LAB	

	虚	Finish Type	I
ĠΛ	П	Galvanzied Only (No Paint)	
단	Ш	Finish Painted	
		Finish	
FPGV	П	Paint over	
		Galvanizing	

= 97

= 9Q = 9S

MB =

Paint

DB =

ounting (inclu	D1 = Single	= 2@180 deg.	<b>D4</b> = 4@90 deg.	<b>D5</b> = 2@90 deg.	3@90 deg.	Tenon Mount	D x 5" Long Te	" OD x 4" Long	" OD x 6" Long	D x 6" Long Te	1 " 4 00 "	UD X 4 LOILE
udes cap)						ting	none	g Tenon	g Tenon	none	ı Tenon	)
	Drill Mounting (includes cap)	ounting (includes cap)	nunting (includes cap)	ounting (includes cap)	bunting (includes cap)  o deg.  deg.	bunting (includes cap)  O deg.  deg.	le (includes cap) le 80 deg. 0 deg. 0 deg. Tenon Mounting	Drill Mounting (includes cap)  D1 = Single  D2 = 2@180 deg.  D4 = 4@90 deg.  D5 = 2@90 deg.  D6 = 3@90 deg.  Tenon Mounting  P1 = 4" OD x 5" Long Tenon	rill Mounting (includes cap) Single 2@180 deg. 4@90 deg. 2@90 deg. 3@90 deg. Tenon Mounting 4" OD x 5" Long Tenon	rill Mounting (includes cap) Single 2@180 deg. 4@90 deg. 2@90 deg. 3@90 deg. 4" OD x 5" Long Tenon 2.38" OD x 4" Long Tenon 3.50" OD x 6" Long Tenon	Drill Mounting (includes cap)  D1 = Single  D2 = 2@180 deg.  D4 = 4@90 deg.  D5 = 2@90 deg.  D6 = 3@90 deg.  Tenon Mounting  P1 = 4" OD x 5" Long Tenon  P3 = 3.50" OD x 6" Long Tenon  P4 = 4" OD x 6" Long Tenon  P4 = 4" OD x 6" Long Tenon	Single 2@180 deg. 4@90 deg. 2@90 deg. 3@90 deg.  Tenon Mounting 4" OD x 5" Long Tenon 3.50" OD x 6" Long Tenon 4" OD x 6" Long Tenon 3.50" OD x 6" Long Tenon 3.50" OD x 6" Long Tenon 4" OD x 6" Long Tenon 5.88" OD x 4" Long Tenon 5.88" OD x 4" Long Tenon

BK = = HM SI = SI = OS

sories	
<b>lcces</b>	
ns & ⊿	

\* See previous pages for base model configurations.

Consult factory or your sales rep for deviations from base models.

Additional sizes and configurations available upon request.

Output

The provided sizes and configurations available upon request.

Additional sizes and configurations.

The provided sizes are configurations.

Additional sizes and configurations.

The provided sizes are configurat

PL = Open Top, No Cap or Side Drilling

PC = Cap Only, No Side Drilling

Other Options

**P7** = 2.38" OD x 5" Long Tenon **PQ** = 2.38" OD x 12" Long Tenon

**PD** = 3'' OD x 3'' Long Tenon

P9 = Custom Size Tenon

# Option

g		Description
346	1	Special Cut Length (Frease Special) Special Base Plate to Match Existing Bolt Circle (May
BCSPCL		<ul> <li>Add 2 Weeks to Production Lead Time, May Require Special Base Cover)</li> </ul>
VDA	11	VDA = Internal Vibration Dampener, Factory Installed
VDF	Ш	VDF = Internal Vibration Dampener, Field Installable
FBCS	Ш	FBCS = Steel Full Base Cover
FBCP	Ш	FBCP = ABS Plastic Full Base Cover

ULHH = UL Compliant Hand Hole  NECHH = NEC 410.30 Compliant H  Additional Hand Hole Op  EHH = Assembly (Specify Pole Height & Or  FST = (Specify Pole Height & Or  CPL = (Specify Pole Height & Or  CPL = (Specify Pole Height & Or  Specify Pole Height & Or  CPL = (Specify Pole Height Orie	Description
HECHH = NEC 410.3  Additional EHH = Assembly (Specify Pc (Specify Pc (Specify Pc CPL = NPT Pipe C CPL = Side Drill + PXDX = Constern Pc	ompliant Hand Hole
-   -   -   -	NECHH = NEC 410.30 Compliant Hand Hole & Cover
-   -   -   -	Additional Hand Hole Opening w/ Cover
	Assembly (Specifv Pole Height & Orientation)
	Festoon Provision, Electrical by Others
	(Specify Pole Height & Orientation)
	NPT Pipe Coupling
	(Specify Pole Height, Orientation & NPT Size)
	Side Drill + Tenon w/ Additional Hand Hole
(Specify Le	(Specify Tenon OD & Length)

STAMPCA = Engineering Services, CA Signed & Sealed Calcs

STAMP = Engineering Services, Signed & Sealed Calcs

**PRE100** = Pre-Ship Anchor Bolts -  $1.0^{\circ} \times 36^{\circ} \times 4^{\circ}$ **PRE750** = Pre-Ship Anchor Bolts - 0.75" x 17" x 3"

Note: Please consult factory or your sales representative to verify options and accessories will work with your light pole part number.



888-791-1463 quotes@lightpolesplus.com LightPolesPlus.com





## Scaled data based on original data using LM-79-08 Approved Method: Electrical and Photometric Measurements of SolidState Lighting Products

**Test Report Prepared for** 

**Cooper Lighting Solutions** 

(formerly Eaton)

Brand: LUMARK

Report Number: P286959

Luminaire Tested: PRV-C25-D-UNV-T3-BZ

Issue Date: 3/3/2020

### Scaled Data Report



### **Test Information**

Test Method: LM-79-08 Report Number: P286959

TEST IS SCALED FROM IESNA LM-79-08 TEST DATA (G2-1810-004-6)

Test Lab: INNOVATION CENTER(G2)

Issue Date: 3/3/2020

Manufacturer: COOPER LIGHTING SOLUTIONS (FORMERLY EATON)

Product Line: LUMARK

Catalog Number: PRV-C25-D-UNV-T3-BZ

Description: PREVAIL AREA AND ROADWAY LUMINAIRE

(2) 70 CRI, 4000K LEDS AND TYPE III OPTICS, BRONZE PAINTED FINISH

Light Source: -

Ballast/Driver: ELECTRONIC DRIVER

### Summary

Lumens per Lamp: N/A

Luminaire Lumens: 13183 lumens

Efficiency: N/A

Efficacy: 137.3 lumens/watt

Luminous Opening: Rectangular (W 1.12' x L: 1.1' x H: 0') IES Classification: Type III - Medium - Non-Cutoff

BUG Rating: B2 - U0 - G3

Input Watts (W): 96 Input Voltage (V): NR Input Current (Ain): NR Voltage Rise (V): NR Power Factor: NR

Total Harmonic Distortion (THDi): NR Frequency (hertz): 60

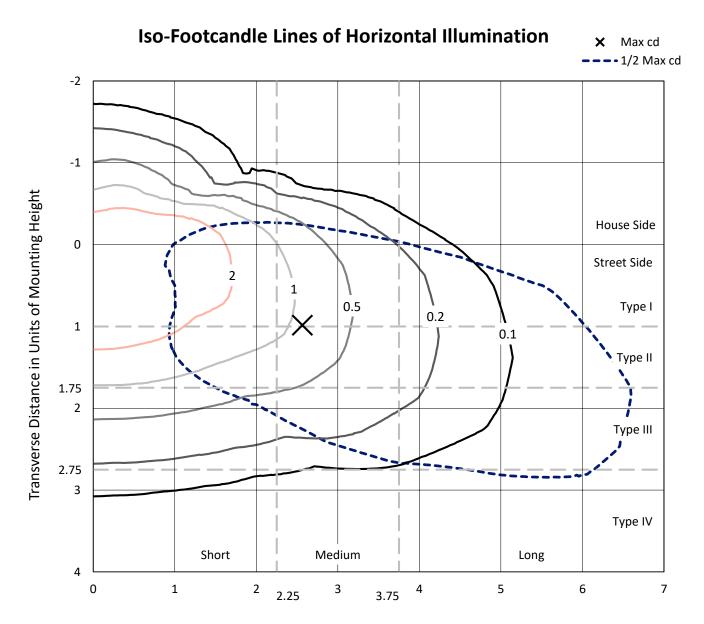
Stabilization Time: NR Operation Time: NR

Ambient Temperature (°C): NR Test Distance: 25 FT





CATALOG NUMBER: PRV-C25-D-UNV-T3-BZ



Longitudinal Distance in Units of Mounting Height

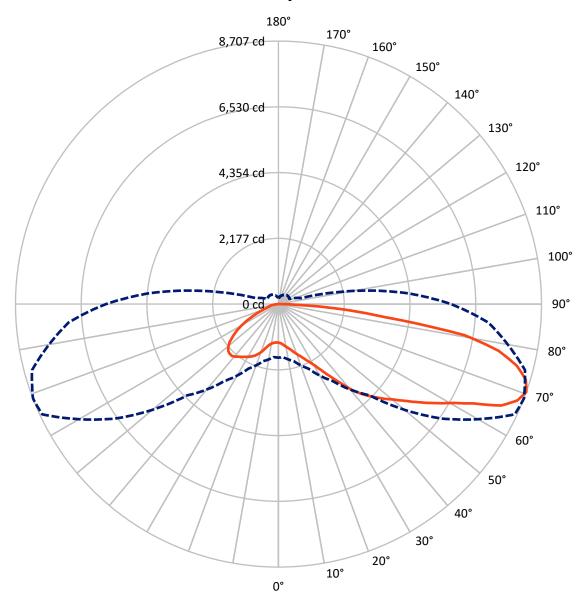
Based on 20 foot mounting height. Maximum calculated value = 4.6 fc

Type III - Medium - Non-Cutoff



CATALOG NUMBER: PRV-C25-D-UNV-T3-BZ

### **Luminous Intensity Polar Plot**



- Vertical Plane Through 69-Deg Lateral --- Horizontal Cone Through 70-Deg Vertical



CATALOG NUMBER: PRV-C25-D-UNV-T3-BZ

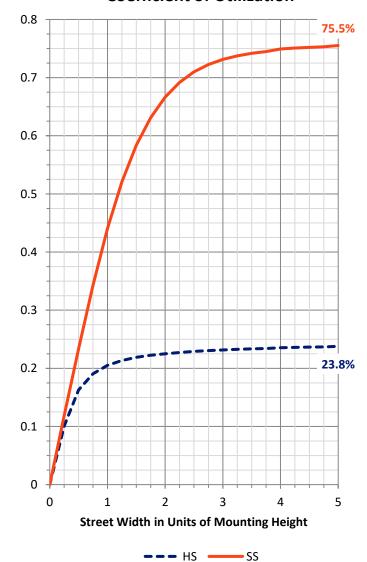
### **FLUX DISTRIBUTION:**

		Downward	Upward	Total
<b>House Side</b>	Lumens	3197.5	0.0	3197.5
	% Fixture	24.3	0.0	24.3
Street Side	Lumens	9985.5	0.0	9985.5
	% Fixture	75.7	0.0	75.7
Total	Lumens	13183.0	0.0	13183.0
	% Fixture	100.0	0.0	100.0

### **ZONAL LUMENS:**

Zone	Lumens	% Fixture
0°-10°	126.8	1.0
10°-20°	416.9	3.2
20°-30°	784.0	5.9
30°-40°	1342.2	10.2
40°-50°	2050.0	15.6
50°-60°	2651.1	20.1
60°-70°	3015.6	22.9
70°-80°	2297.8	17.4
80°-90°	498.5	3.8
90°-100°	0.0	0.0
100°-110°	0.0	0.0
110°-120°	0.0	0.0
120°-130°	0.0	0.0
130°-140°	0.0	0.0
140°-150°	0.0	0.0
150°-160°	0.0	0.0
160°-170°	0.0	0.0
170°-180°	0.0	0.0
0°-90°	13183.0	100.0
0°-180°	13183.0	100.0

### **Coefficient of Utilization**





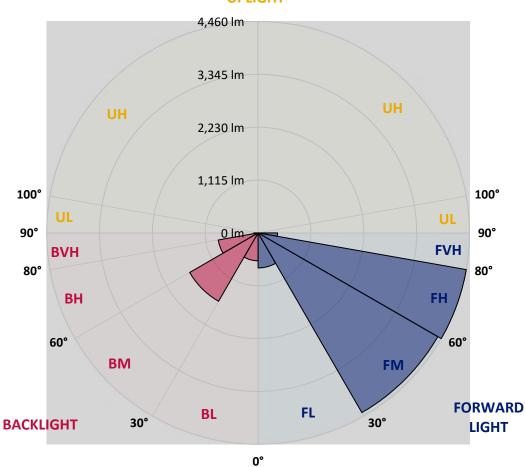
CATALOG NUMBER: PRV-C25-D-UNV-T3-BZ

### **LUMINAIRE CLASSIFICATION SYSTEM LUMEN TABLE AND BUG RATING:**

				Zone Rating/Lumen Limit			
Zone		Lumens	% Fixture	В	U	G	
FL	(0°-30°)	739.0	5.6			_	
FM	(30°-60°)	4377.1	33.2				
FH	(60°-80°)	4459.6	33.8			G2/5000	
FVH	(80°-90°)	409.7	3.1			G3/500	
BL	(0°-30°)	588.7	4.5	B2/1000			
BM	(30°-60°)	1666.3	12.6	B2/2500			
ВН	(60°-80°)	853.8	6.5	B2/1000		G2/1000	
BVH	(80°-90°)	88.7	0.7			G1/100	
UL	(90°-100°)	0.0	0.0	U	0/0		
UH	(100°-180°)	0.0	0.0	U	0/0		

**BUG Rating: B2-U0-G3**Type III Medium

### **UPLIGHT**



### Scaled Data Report



REPORT NUMBER: P286959

CATALOG NUMBER: PRV-C25-D-UNV-T3-BZ

### **CANDELA DISTRIBUTION (FULL):**

ANDELA	0°	5°	15°	25°	35°	45°	55°	65°	69°	75°	85°
0°	1280.5	1280.5	1280.5	1280.5	1280.5	1280.5	1280.5	1280.5	1280.5	1280.5	1280.5
2.5°	1358.5	1349.5	1350.1	1326.9	1327.6	1318.5	1313.4	1305.7	1292.8	1297.3	1276.0
2.5 5°	1424.2	1412.0	1415.9	1388.1	1386.9	1374.6	1313.4	1338.5	1332.7	1330.1	1311.5
7.5°	1424.2	1464.8	1462.9	1448.7	1447.4	1433.3	1421.0	1395.9	1386.2	1374.6	1350.8
7.5 10°	1509.3	1511.2	1513.2	1448.7	1504.1	1433.3 1487.4	1421.0	1453.2	1386.2 1440.3	1436.5	1350.8
											1463.5
12.5° 15°	1530.6	1532.5 1554.4	1542.8 1571.8	1535.7 1577.6	1544.7 1593.7	1553.8 1601.5	1540.2	1519.0 1598.2	1506.1 1578.9	1506.1 1575.7	1463.5 1540.2
	1549.3						1611.8				
17.5° 20°	1580.8	1578.3	1593.7 1634.3	1619.5	1638.2 1674.3	1653.0	1682.0	1678.1	1676.9	1668.5	1642.7 1749.7
	1623.4	1618.9		1645.3		1718.7	1758.1	1778.0	1776.8	1772.2	
22.5°	1669.8	1665.3	1665.9	1674.3	1713.6	1780.6	1841.2	1879.2	1879.9	1882.4	1903.1
25°	1749.0	1730.4	1724.5	1731.6	1778.7	1860.5	1938.5	2001.0	2013.3	2028.1	2093.8
27.5°	1941.1	1950.1	1871.5	1820.6	1859.9	1960.4	2051.9	2144.1	2163.4	2207.9	2339.4
30°	2239.5	2224.6	2184.7	2073.8	1984.3	2073.8	2202.7	2316.8	2353.5	2467.0	2585.5
32.5°	2465.0	2465.7	2446.3	2352.2	2228.5	2206.6	2352.2	2541.1	2613.9	2824.6	2931.0
35°	2693.8	2684.1	2700.9	2612.0	2502.4	2424.4	2515.3	2764.7	2931.6	3243.5	3300.9
37.5°	2908.4	2911.6	2915.5	2829.8	2777.6	2750.5	2740.2	3054.1	3293.8	3632.8	3668.9
40°	3067.6	3085.0	3097.2	3050.2	3031.5	3032.8	2988.3	3397.5	3729.4	4063.3	4022.0
42.5°	3194.5	3214.5	3303.5	3240.3	3267.4	3321.5	3313.8	3669.5	4082.6	4393.2	4345.5
45°	3300.9	3301.5	3363.4	3388.5	3485.2	3587.7	3596.0	3959.5	4375.2	4691.0	4599.4
47.5°	3374.3	3361.5	3409.8	3512.3	3690.1	3810.6	3890.5	4287.5	4677.4	4957.8	4859.2
50°	3396.9	3414.9	3495.5	3625.7	3862.8	4053.0	4221.2	4703.2	4971.9	5218.8	5069.9
52.5°	3438.8	3446.5	3559.3	3729.4	4038.1	4291.4	4459.0	5132.4	5334.1	5486.2	5327.7
55°	3474.2	3496.1	3603.8	3784.2	4149.0	4484.7	4710.9	5523.6	5751.1	5780.7	5597.7
57.5°	3347.3	3368.5	3559.9	3799.7	4241.1	4640.7	4987.4	5903.8	6186.7	6136.5	5833.6
60°	3112.7	3137.2	3366.6	3757.1	4256.0	4814.7	5349.6	6409.1	6646.9	6586.3	6099.1
62.5°	2900.0	2901.3	3149.4	3574.8	4185.7	4933.9	5789.7	7062.5	7241.7	7135.4	6393.6
65°	2619.7	2617.1	2841.4	3281.5	3987.2	4897.2	6133.2	7860.4	8097.5	7795.9	6675.2
67.5°	2240.8	2233.0	2459.9	2867.8	3618.6	4708.4	6424.5	8403.0	8525.4	8278.0	6900.1
70°	1771.6	1763.2	1955.3	2360.0	3105.0	4277.2	6608.2	8635.0	8707.2	8448.7	6971.0
72.5°	1242.5	1237.3	1352.1	1672.3	2375.4	3598.6	6568.9	8519.0	8564.7	8270.2	6762.9
75°	735.3	733.4	840.4	1023.4	1404.3	2681.6	6124.9	8093.7	8148.4	7881.0	6251.8
77.5°	283.6	262.9	410.5	498.2	798.5	1256.0	4685.2	7330.0	7456.9	7205.6	5508.1
80°	92.8	96.0	288.1	351.9	463.4	562.6	2506.9	5948.9	6249.9	6088.8	4172.2
82.5°	67.7	69.6	179.2	237.8	306.8	381.5	948.6	3233.9	3550.9	3496.1	2048.1
85°	44.5	44.5	61.2	84.4	114.7	152.7	266.2	1641.4	2012.0	1952.0	887.4
87.5°	23.8	24.5	35.4	50.9	69.0	80.6	85.1	335.8	458.2	398.9	177.2
90°	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0

### Scaled Data Report



REPORT NUMBER: P286959

CATALOG NUMBER: PRV-C25-D-UNV-T3-BZ

### **CANDELA DISTRIBUTION (continued):**

ANDELA DISTRIBUTION (continued):											
	90°	95°	105°	115°	125°	135°	145°	155°	165°	175°	180°
0°	1280.5	1280.5	1280.5	1280.5	1280.5	1280.5	1280.5	1280.5	1280.5	1280.5	1280.5
2.5°	1269.6	1282.5	1272.8	1265.1	1252.2	1245.1	1247.0	1240.6	1234.8	1249.6	1242.5
5°	1305.0	1313.4	1288.3	1273.4	1252.8	1235.4	1234.1	1219.9	1212.9	1218.7	1221.2
7.5°	1335.3	1341.7	1308.2	1281.8	1261.2	1240.6	1226.4	1201.9	1192.2	1202.5	1206.4
10°	1387.5	1379.8	1339.2	1309.5	1279.2	1254.1	1230.3	1207.1	1189.7	1190.3	1191.6
12.5°	1446.8	1425.5	1389.4	1347.5	1314.7	1289.5	1256.7	1217.4	1189.7	1189.0	1193.5
15°	1529.3	1503.5	1471.9	1422.3	1385.6	1349.5	1296.6	1228.3	1184.5	1169.0	1162.6
17.5°	1632.4	1598.2	1587.3	1529.9	1469.3	1400.4	1316.0	1232.8	1155.5	1126.5	1127.8
20°	1756.1	1745.2	1731.0	1636.9	1549.9	1433.9	1325.0	1212.2	1108.5	1057.5	1052.4
22.5°	1930.1	1925.0	1858.0	1729.1	1595.7	1455.8	1317.3	1168.4	1043.4	980.2	967.3
25°	2131.2	2089.3	1964.9	1807.0	1631.7	1461.6	1286.3	1104.6	966.7	888.1	884.2
27.5°	2331.0	2256.9	2073.8	1856.0	1635.0	1439.1	1221.2	1017.6	890.6	817.2	807.5
30°	2563.6	2463.7	2184.0	1891.5	1627.9	1382.3	1130.4	944.8	840.4	767.5	756.6
32.5°	2857.5	2688.0	2293.0	1907.6	1580.2	1306.3	1033.7	913.2	803.6	719.9	707.0
35°	3209.4	2983.8	2440.5	1906.9	1517.7	1188.4	984.7	895.1	777.9	674.7	655.4
37.5°	3546.4	3315.1	2607.4	1899.2	1417.8	1065.3	950.6	866.1	760.5	665.7	654.8
40°	3857.0	3587.0	2809.8	1885.0	1300.5	990.5	912.5	821.0	739.8	674.1	661.9
42.5°	4146.4	3843.5	2990.9	1849.6	1171.6	937.7	861.0	790.7	717.9	634.8	616.1
45°	4408.0	4060.0	3115.9	1765.8	1030.5	879.0	803.0	750.1	678.0	592.9	578.1
47.5°	4626.5	4257.2	3204.2	1653.0	916.4	817.2	736.0	692.8	629.0	551.0	531.7
50°	4817.9	4452.5	3264.1	1461.0	816.5	754.0	669.6	622.5	565.2	509.8	496.2
52.5°	5004.8	4650.4	3333.7	1204.5	722.4	680.5	593.5	541.3	498.2	472.4	463.4
55°	5251.6	4902.3	3333.7	882.9	636.1	621.9	527.8	458.8	428.6	410.5	415.0
57.5°	5474.6	5057.0	3193.3	657.3	581.3	561.3	456.3	388.6	356.4	360.9	374.4
60°	5721.4	5204.6	2801.4	543.9	534.9	478.2	389.2	341.6	324.8	308.7	306.8
62.5°	5890.9	5225.9	2298.1	480.1	488.5	422.1	364.1	314.5	295.8	272.6	267.4
65°	6080.4	5111.8	1729.1	450.5	447.2	400.8	359.0	310.6	284.8	246.8	240.4
67.5°	6010.8	4774.7	1227.7	417.0	418.2	403.4	367.3	310.0	279.0	237.8	233.3
70°	<i>5708.5</i>	4228.9	769.5	401.5	412.4	408.6	382.2	326.1	277.1	215.9	209.4
72.5°	5282.6	3526.4	430.5	372.5	409.2	411.8	400.2	340.9	253.9	176.6	172.7
75°	4584.0	2691.2	308.0	344.8	393.8	411.2	392.5	328.0	232.6	166.3	161.1
77.5°	3583.8	1577.6	271.3	317.7	364.8	367.3	389.2	340.9	241.7	168.8	163.0
80°	1937.9	652.8	228.1	279.7	299.7	347.4	377.6	318.4	223.6	136.0	127.6
82.5°	786.2	184.3	132.8	177.9	243.0	286.8	336.4	281.6	204.9	113.4	107.0
85°	201.1	63.2	61.9	90.9	145.6	214.6	273.2	241.0	166.9	50.3	3.2
87.5°	25.1	20.6	24.5	50.3	94.7	154.0	200.4	174.0	118.6	0.6	0.0
90°	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0

(END OF REPORT)



## Scaled data based on original data using LM-79-08 Approved Method: Electrical and Photometric Measurements of SolidState Lighting Products

**Test Report Prepared for** 

**Cooper Lighting Solutions** 

(formerly Eaton)

Brand: LUMARK

Report Number: P286975

Luminaire Tested: PRV-C25-D-UNV-T4-BZ

Issue Date: 3/3/2020

### Scaled Data Report



### **Test Information**

Test Method: LM-79-08 Report Number: P286975

TEST IS SCALED FROM IESNA LM-79-08 TEST DATA (G2-1810-004-8)

Test Lab: INNOVATION CENTER(G2)

Issue Date: 3/3/2020

Manufacturer: COOPER LIGHTING SOLUTIONS (FORMERLY EATON)

Product Line: LUMARK

Catalog Number: PRV-C25-D-UNV-T4-BZ

Description: PREVAIL AREA AND ROADWAY LUMINAIRE

(2) 70 CRI, 4000K LEDS AND TYPE IV OPTICS, BRONZE PAINTED FINISH

Light Source: -

Ballast/Driver: ELECTRONIC DRIVER

### Summary

Lumens per Lamp: N/A

Luminaire Lumens: 13140 lumens

Efficiency: N/A

Efficacy: 136.9 lumens/watt

Luminous Opening: Rectangular (W 1.12' x L: 1.1' x H: 0')

IES Classification: Type IV - Short - Non-Cutoff

BUG Rating: B2 - U0 - G4

Input Watts (W): 96
Input Voltage (V): NR
Input Current (Ain): NR
Voltage Rise (V): NR
Power Factor: NR

Total Harmonic Distortion (THDi): NR

Frequency (hertz): 60
Stabilization Time: NR

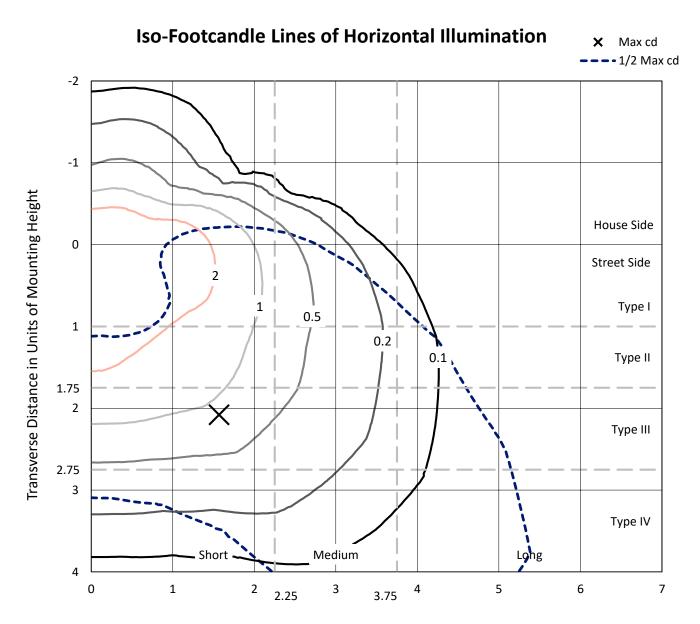
Operation Time: NR
Operation Time: NR
Ambient Temperature (°C): NR

Test Distance: 25 FT





CATALOG NUMBER: PRV-C25-D-UNV-T4-BZ



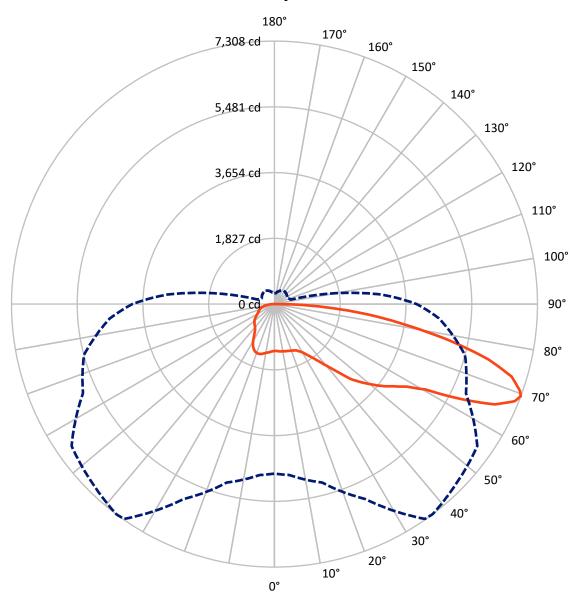
Longitudinal Distance in Units of Mounting Height

Based on 20 foot mounting height. Maximum calculated value = 3.9 fcType IV - Short - Non-Cutoff



CATALOG NUMBER: PRV-C25-D-UNV-T4-BZ

### **Luminous Intensity Polar Plot**



- Vertical Plane Through 37-Deg Lateral --- Horizontal Cone Through 69-Deg Vertical



CATALOG NUMBER: PRV-C25-D-UNV-T4-BZ

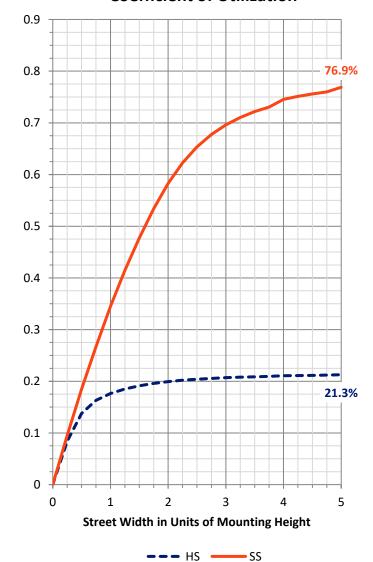
### **FLUX DISTRIBUTION:**

		Downward	Upward	Total
<b>House Side</b>	Lumens	2833.4	0.0	2833.4
	% Fixture	21.6	0.0	21.6
Street Side	Lumens	10306.6	0.0	10306.6
	% Fixture	78.4	0.0	78.4
Total	Lumens	13140.0	0.0	13140.0
	% Fixture	100.0	0.0	100.0

### **ZONAL LUMENS:**

Zone	Lumens	% Fixture
0°-10°	127.0	1.0
10°-20°	397.0	3.0
20°-30°	678.4	5.2
30°-40°	1075.4	8.2
40°-50°	1827.4	13.9
50°-60°	2590.8	19.7
60°-70°	3297.0	25.1
70°-80°	2530.2	19.3
80°-90°	616.7	4.7
90°-100°	0.0	0.0
100°-110°	0.0	0.0
110°-120°	0.0	0.0
120°-130°	0.0	0.0
130°-140°	0.0	0.0
140°-150°	0.0	0.0
150°-160°	0.0	0.0
160°-170°	0.0	0.0
170°-180°	0.0	0.0
0°-90°	13140.0	100.0
0°-180°	13140.0	100.0

### **Coefficient of Utilization**





CATALOG NUMBER: PRV-C25-D-UNV-T4-BZ

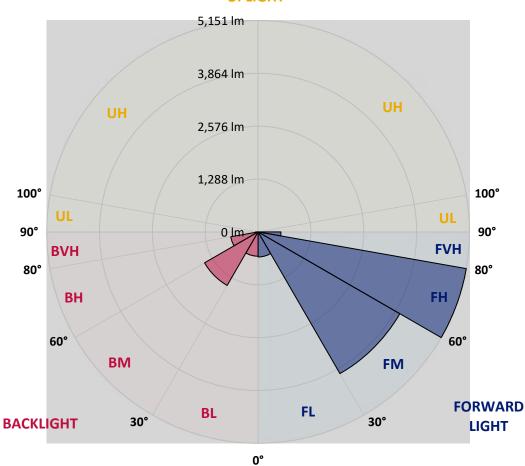
### **LUMINAIRE CLASSIFICATION SYSTEM LUMEN TABLE AND BUG RATING:**

				Zone Rating/Lumen Limit			
Zone		Lumens	% Fixture	В	U	G	
FL	(0°-30°)	609.9	4.6				
FM	(30°-60°)	3987.8	30.3				
FH	(60°-80°)	5151.4	39.2			G3/7500	
FVH	(80°-90°)	557.5	4.2			G4/750	
BL	(0°-30°)	592.5	4.5	B2/1000			
BM	(30°-60°)	1505.8	11.5	B2/2500			
ВН	(60°-80°)	675.8	5.1	B2/1000		G2/1000	
BVH	(80°-90°)	59.3	0.5			G1/100	
UL	(90°-100°)	0.0	0.0	U	0/0		
UH	(100°-180°)	0.0	0.0	U	0/0		

BUG Rating: B2-U0-G4

Type IV Short

### **UPLIGHT**



### Scaled Data Report



REPORT NUMBER: P286975

CATALOG NUMBER: PRV-C25-D-UNV-T4-BZ

### **CANDELA DISTRIBUTION (FULL):**

ANDELA	ANDELA DISTRIBUTION (FULL):										
	0°	5°	15°	25°	35°	37°	45°	55°	65°	75°	85°
0°	1301.2	1301.2	1301.2	1301.2	1301.2	1301.2	1301.2	1301.2	1301.2	1301.2	1301.2
2.5°	1326.3	1319.2	1319.2	1304.4	1304.4	1303.1	1306.4	1298.6	1297.3	1296.0	1291.5
5°	1343.1	1340.5	1331.5	1320.5	1325.7	1318.6	1318.6	1308.3	1308.9	1307.6	1300.6
7.5°	1339.2	1343.7	1343.1	1330.2	1326.3	1328.3	1328.9	1329.6	1323.1	1322.5	1317.3
10°	1351.5	1347.0	1348.9	1328.9	1334.1	1329.6	1336.6	1336.0	1336.0	1336.0	1330.2
12.5°	1325.7	1330.8	1332.8	1336.0	1345.7	1345.7	1357.3	1361.8	1371.4	1377.9	1370.2
15°	1318.6	1314.1	1332.8	1330.8	1353.4	1351.5	1370.2	1395.3	1403.7	1421.1	1425.6
17.5°	1314.7	1323.8	1337.9	1337.3	1359.2	1363.7	1389.5	1417.9	1441.7	1470.7	1481.0
20°	1325.7	1325.7	1340.5	1347.0	1380.5	1380.5	1407.5	1443.0	1480.4	1522.9	1544.8
22.5°	1360.5	1361.8	1375.3	1368.2	1389.5	1397.2	1420.4	1460.4	1518.4	1564.8	1609.9
25°	1380.5	1388.2	1404.3	1402.4	1423.0	1428.8	1456.5	1508.1	1570.6	1631.8	1707.2
27.5°	1426.9	1427.5	1440.4	1436.5	1485.5	1488.1	1513.2	1552.5	1643.4	1713.7	1819.4
30°	1493.9	1497.8	1506.1	1517.7	1568.7	1566.1	1582.8	1635.0	1722.7	1817.4	1961.1
32.5°	1639.6	1631.2	1620.9	1622.8	1673.1	1687.2	1719.5	1781.3	1889.6	2004.3	2159.6
35°	1887.7	1882.5	1845.1	1801.3	1818.7	1835.5	1888.3	2006.9	2173.8	2443.2	2581.8
37.5°	2211.8	2227.3	2157.1	2063.6	2025.6	2029.5	2078.4	2238.9	2511.5	3020.7	3108.3
40°	2622.4	2599.2	2512.8	2387.8	2291.8	2271.8	2287.3	2492.8	2889.2	3529.8	3546.6
42.5°	2922.1	2925.3	2827.3	2736.5	2610.8	2573.4	2547.6	2742.3	3279.7	3922.3	3863.0
45°	3269.4	3294.6	3187.6	3094.1	3005.8	2967.2	2928.5	3047.7	3683.8	4234.2	4132.4
47.5°	3564.0	3568.5	3430.6	3361.0	3263.0	3245.6	3208.2	3322.9	4012.5	4479.1	4339.9
50°	3837.2	3884.3	3705.1	3605.9	3524.0	3513.0	3526.6	3634.9	4332.8	4691.2	4507.5
52.5°	4306.4	4234.2	4024.8	3837.9	3787.0	3787.6	3785.0	3961.6	4664.1	4869.7	4645.4
55°	4738.8	4598.3	4367.0	4156.9	4032.5	4033.8	4055.7	4271.6	4938.6	5041.7	4739.5
57.5°	5009.5	5086.9	4874.8	4559.7	4324.4	4328.3	4327.7	4561.6	5174.5	5193.2	4812.3
60°	5404.6	5496.8	5441.3	5204.8	4889.0	4819.4	4643.5	4889.0	5416.8	5338.2	4889.7
62.5°	5693.3	5761.6	5915.7	5783.5	5801.6	5808.7	5255.7	5262.2	5590.2	5458.1	4906.4
65°	5694.0	5692.7	6050.4	6215.3	6645.2	6720.0	6487.3	5777.7	5754.5	5477.4	4842.0
67.5°	5150.0	5183.5	5559.9	6172.8	7145.3	7201.4	7052.5	6593.0	5839.6	5499.3	4737.6
69°	4710.5	4769.8	5133.9	5976.9	7287.1	7307.7	7106.7	6880.4	5870.5	5480.6	4591.9
70°	4419.8	4422.4	4793.6	5735.2	7215.6	7238.8	7102.8	6929.4	5844.1	5427.8	4477.2
72.5°	3487.9	3524.6	3853.3	4872.3	6864.3	6886.9	6839.8	6800.5	5806.1	5193.8	3850.8
75°	2550.2	2574.7	2875.0	3816.6	6002.7	6138.7	6344.9	6565.3	5410.4	4466.2	2898.9
77.5°	1788.4	1820.6	2130.0	2896.9	4889.0	5075.9	5540.6	5746.8	4584.2	3498.2	1616.4
80°	1194.2	1234.2	1515.2	2157.7	3721.9	3912.6	4450.1	4539.1	3506.6	2098.4	320.3
82.5°	759.8	770.2	993.8	1524.8	2768.0	2877.6	3072.2	2886.0	1858.7	478.2	94.7
85°	443.4	462.1	601.3	957.0	1706.6	1831.6	1916.7	1432.0	449.2	64.4	50.9
87.5°	166.9	174.7	243.6	413.8	798.5	786.3	763.1	483.4	80.6	29.6	23.2
90°	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0

### Scaled Data Report



REPORT NUMBER: P286975

CATALOG NUMBER: PRV-C25-D-UNV-T4-BZ

### **CANDELA DISTRIBUTION (continued):**

ANDELA DISTRIBUTION (continued):											
	90°	95°	105°	115°	125°	135°	145°	155°	165°	175°	180°
0°	1301.2	1301.2	1301.2	1301.2	1301.2	1301.2	1301.2	1301.2	1301.2	1301.2	1301.2
2.5°	1290.9	1302.5	1296.7	1294.1	1292.8	1299.3	1311.5	1308.3	1306.4	1327.6	1329.6
5°	1300.6	1316.7	1316.0	1318.6	1314.7	1322.5	1328.3	1330.2	1332.1	1354.7	1357.9
7.5°	1318.6	1325.7	1328.3	1338.6	1332.8	1345.0	1355.3	1345.0	1354.7	1370.8	1374.0
10°	1334.7	1345.7	1346.3	1362.4	1356.6	1368.2	1370.8	1370.8	1378.5	1397.2	1394.0
12.5°	1373.4	1374.0	1396.6	1397.9	1405.6	1405.0	1399.8	1385.0	1377.9	1403.0	1405.0
15°	1429.5	1436.5	1465.5	1463.6	1453.9	1448.8	1426.9	1390.1	1368.9	1365.0	1365.0
17.5°	1497.1	1499.1	1536.4	1528.7	1513.2	1479.7	1443.6	1378.5	1318.6	1299.3	1287.7
20°	1552.5	1568.7	1614.4	1588.0	1560.9	1506.8	1427.5	1337.9	1245.1	1198.1	1185.8
22.5°	1628.0	1659.5	1686.0	1647.3	1590.6	1511.9	1407.5	1278.6	1156.8	1083.4	1070.5
25°	1734.9	1753.0	1751.7	1684.7	1595.1	1495.8	1350.2	1194.9	1046.0	965.4	941.6
27.5°	1845.1	1858.0	1803.9	1713.0	1579.6	1450.1	1275.4	1085.3	933.8	861.7	843.6
30°	1970.2	1957.3	1844.5	1700.8	1539.0	1369.5	1170.4	964.8	836.5	772.7	763.1
32.5°	2162.9	2096.5	1880.6	1672.4	1465.5	1258.7	1042.1	878.4	773.4	698.6	685.7
35°	2497.4	2356.9	1945.0	1647.3	1376.6	1134.3	931.9	818.5	717.3	629.0	612.3
37.5°	2929.8	2706.2	2066.2	1604.1	1271.6	1013.1	861.7	768.2	674.8	576.8	558.1
40°	3353.9	3071.6	2229.2	1560.9	1172.3	930.6	821.7	748.2	658.0	557.5	537.5
42.5°	3663.2	3364.2	2407.1	1519.7	1076.3	866.2	801.7	742.4	658.7	560.7	542.0
45°	3896.5	3596.2	2587.6	1463.0	964.1	816.6	783.0	736.6	658.0	563.9	540.7
47.5°	4102.1	3748.3	2712.0	1388.2	857.8	777.9	760.5	714.7	641.9	550.4	530.4
50°	4247.1	3892.6	2793.2	1323.1	776.0	743.7	728.9	679.3	603.9	524.0	500.8
52.5°	4349.6	3986.1	2802.8	1307.0	714.1	714.1	690.9	639.3	566.5	485.9	463.4
55°	4457.2	4039.6	2760.9	1247.1	649.0	665.1	650.3	612.3	542.0	459.5	445.3
57.5°	4452.7	4012.5	2677.2	1002.2	576.2	592.9	598.7	588.4	533.0	466.0	452.4
60°	4482.3	3984.8	2538.0	696.7	507.2	533.0	557.5	557.5	504.6	425.4	411.2
62.5°	4466.9	3921.0	2240.8	491.1	452.4	493.7	524.6	500.8	449.2	382.2	373.2
65°	4366.3	3739.3	1680.8	417.0	433.1	471.1	499.5	462.7	409.9	345.4	339.0
67.5°	4182.7	3404.8	893.9	389.9	424.7	455.6	471.1	431.2	379.0	313.9	306.8
69°	3948.7	3000.0	479.5	386.0	423.4	442.8	453.7	412.5	355.8	298.4	298.4
70°	3706.4	2679.7	310.0	388.0	418.3	435.0	441.5	399.6	342.2	282.3	279.7
72.5°	2904.0	1723.3	259.1	368.6	402.8	410.5	409.9	365.4	300.3	214.6	218.5
75°	1762.6	525.9	247.5	337.1	377.0	393.1	382.8	306.8	233.9	179.8	179.8
77.5°	479.5	184.3	234.6	307.4	344.2	348.7	345.4	285.5	208.8	148.9	150.2
80°	143.1	143.1	218.5	256.5	291.9	312.6	296.5	250.7	167.6	78.6	81.2
82.5°	82.5	92.8	183.0	180.5	235.9	235.2	235.2	179.2	113.4	51.6	41.9
85°	43.8	65.7	99.2	103.8	110.9	125.0	169.5	154.7	85.7	23.2	5.2
87.5°	25.1	37.4	27.1	19.3	40.6	74.1	109.6	105.0	71.5	0.6	0.0
90°	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0

(END OF REPORT)



Catalog #:	Project :
Prenared Rv :	Date:

### Scottsdale® SCM

### Petroleum Canopy Series

















OVERVIEW						
Lumen Package	8,000 - 20,000					
Wattage Range	56 - 147					
Efficacy Range (LPW)	122 - 145					
Weight lbs(kg)	17.5 (7.9)					

### **QUICK LINKS**

**Ordering Guide Performance Photometrics Dimensions** 

### **FEATURES & SPECIFICATIONS**

### Construction

- Rugged low-profile die-cast aluminum housing.
- · Low profile 2" luminaire height and lightweight design target a broad range of applications and allow for easy installations.
- Below canopy access to optical chamber and driver housing for serviceability
- · Fixtures are finished with a polyester powder coat to withstand extreme weather changes without cracking or peeling.
- Shipping weight: 17.5 lbs in carton.
- · Suitable for wet locations.

### **Optical System**

- Symmetrical distribution directs uniform light through a clear tempered glass lens with a diamond pattern on one side and smooth on the other for a soft focus effect.
- Available in 5000K, 4000K and 3000K color temperatures per ANSI C78.377.
- Minimum CRI of 70.

### **Electrical**

- High-performance factory programmable driver features over-voltage, under voltage, short-circuit and over temperature protection with integral surge protection that meets IEEE C62.41.2 and ANSI C82.77 -5 Location Category C Low standards. Optional 10kV surge protection meets Category C Medium location as per IEEE.
- 0-10 volt dimming (10% 100%) standard.
- Standard Universal Voltage (120-277 VAC)

Input 50/60 Hz or optional High Voltage (347-480V).

- LM80 Calculated Life: >100k Hours (See Lumen Maintenance chart)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F) when mounted to Steel/ Aluminum surfaces. If mounted to a nonmetallic surface, reduce ambient by 10°C.
- Power factor: >0.90
- · Input power stays constant over life.
- High-efficacy LEDs with integrated circuit board mount to the housing to maximize heat dissipation and promote long life.
- Driver components are fully encased in potting material for moisture resistance. Driver complies with FCC standards.

### **Hazardous Locaiton**

- Designed for lighter than air fuel applications. Product is suitable for Class 1, Division 2 with all lumen packages and distributions only when properly installed per LSI installation instructions. Models with optional controls are not approved for Class 1, Division 2 applications.
- T5 Temperature Classification The surface temperature of this product will not rise above 100°C., within a 40°C ambient.
- Gas Groups A, B, C and D Group A: Acetylene / Group B: Hydrogen / Group: Propane and Ethylene / Group D: Benzene, Butane, Methane and Propane.

### Installation

- Installs in a 12" or 16" deck pan.
- Deck penetration consists of a minimum 3" hole and four suitable fasteners, creating a simple installation. Four fasteners are provided with the fixture for use in single deck, metallic canopy substrates only when classified as suitable for use by installing professional. Otherwise, suitable fasteners should be provided by others.
- Unit is designed to quickly retrofit into existing Scottsdale (4") hole.
- · Aluminum locking collar, stem kit and gasket are included and required for complete seal and support of canopy deck.
- · Retrofit panels are available for existing Encore, Richmond, 2x2 Universal, and more (see accessories section).

### Warranty

• LSI LED Fixtures carry a 5-year Warranty.

### Listing

- Listed to UL 1598 and UL 8750.
- · RoHS Compliant.
- IP66 Rated Luminaire
- Title 24 Compliant with IMSBT option.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www. designlights.org/QPL to confirm which versions are qualified.





### Scottsdale® Petroleum Canopy Series

Back to Quick Links **ORDERING GUIDE** 

TYPICAL ORDER EXAMPLE:

### SCM LED 13L SC UNV DIM 50 WHT

Prefix	Mounting	Source	Light Package	Distribution	Voltage	Driver	Color Temp	Finish	Controls
SCM - Petroleum Canopy Series	Blank - Canopy	LED	8L - 8,000 13L - 13,000 20L - 20,000	SC - Standard Symmetric	<b>UNV</b> - 120 - 277V <b>HV</b> - 347-480V	DIM - Standard 0-10V	<b>50</b> - 5000K <b>40</b> - 4000K <b>30</b> - 3000K		Blank - None  IMSBT1*- Integral Bluetooth™ Motion and Photocell Sensor max 8-24' mounting height  IMSBT2* - Integral Bluetooth™ Motion and Photocell Sensor max 25-40' mounting height  SP1 - Surge Protection 10kV

<sup>\*</sup>Consult factory for 347/480V availability. IMSBT is field configurable via the LSI app that can be downloaded from your smartphone's native app store. IMSBT not available in Hazardous Locations.

### Accessory Ordering Information

Description	Part Number
Retrofit Panel Kit - EC / ECTA / SCF to SCM, for 16" Deck Panel with larger openings <sup>1</sup>	731039
Retrofit Panel Kit - EC / ECTA / SCF to SCM, for 12" Deck Panel with larger openings <sup>2</sup>	731040
Retrofit Panel Kit - RECU Richmond to SCM	731041
Retrofit Panel Kit - UNV Universal 2x2 to SCM	731042
Retrofit 2x2 Cover Panel Blank (no holes)	357282
Retrofit RIC Cover Panel Blank (no holes)	354702

Description	Part Number
Junction Box	687461
Kit - Hole Plugs and Sealant (enough for 25 retrofits)	1320540
26" X 32" Beauty Plate Kit (with 4" Center hole)	564160WHT
26" X 26" Beauty Plate Kit (with 4" Center hole)	557193WHT
Rectangular Hole Kit (includes top plate and sealant)	731044WHT
Surface Mount Box	731043

### FOOTNOTES:

1. Ideal for 9" to 12" openings. 2. Ideal for 9" openings.

### **PERFORMANCE** Back to Quick Links

DELIVERED LUMENS*											
		3000K			4000K			5000K			
Lumen Level	Distribution	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Avg. Wattage
8L	SC	7010	125	B2-U0-G1	7983	145	B3-U0-G1	7983	145	B3-U0-G1	56
13L	SC	11758	137	B3-U0-G1	13039	153	B3-U0-G1	13039	153	B3-U0-G1	86
20L	SC	17968	122	B4-U0-G1	19989	137	B4-U0-G2	19989	137	B4-U0-G2	147

<sup>\*</sup>LED Chips are frequently updated therefore values are nominal.

ELECTRICAL DATA - Current Draw AMPS*							
Lumen Level	Wattage	120V	208V	240V	277V	347V	480V
8L	56	0.47	0.27	0.23	0.20	0.16	0.12
13L	86	0.72	0.41	0.36	0.31	0.25	0.18
20L	147	1.23	0.71	0.61	0.53	0.42	0.31

<sup>\*</sup>Electrical data at 25°C (77°F). Actual wattage may differ by +/-10%.

RECOMMENDED LUMEN MAINTENANCE - SCM 20L <sup>1</sup>							
Ambient Temperature	Initial <sup>2</sup>	25K hrs.²	50K hrs.²	75K hrs. <sup>3</sup>	100K hrs. <sup>3</sup>		
25	100%	95%	90%	85%	80%		
30	100%	95%	89%	84%	79%		
35	100%	94%	89%	83%	78%		
40	100%	94%	88%	83%	77%		
45	100%	94%	87%	82%	76%		
50	100%	93%	87%	81%	75%		

### FOOTNOTES:

- 1 Lumen maintenance values at 25°C are calculated per TM-21 based on LM-80 data and in-situ luminaire testing.
- 2 In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip).
- 3 Lumen maintenance values at 25°C are calculated per TM-21 based on LM-80 data and in-situ testing times the IESNA LM-80-08 total test duration for the device under testing



### **Scottsdale® Petroleum Canopy Series**

PHOTOMETRICS

Back to Quick Links

Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

See http://www.lsi-industries.com/products/led-lighting-solutions.aspx for detailed photometric data.

### SCM-LED-13L-SC-50

### Luminaire Data

Wide Distribution					
Description	5000 Kelvin, 70 CRI				
Delivered Lumens	13,039				
Watts	84.7				
Efficacy	154				
IES Type	Type VS - Very Short				
BUG Rating	B3-U0-G1				

### **Zonal Lumen Summary**

Zone	Lumens	%Luminaire
Low (0-30°)	3479.6	26.7%
Medium (30-60°)	7109.8	54.5%
High (60-80°)	2334.8	17.9%
Very High (80-90°)	114.4	0.9%
Uplight (90-180°)	0.0	0.0%
Total Flux	13038.6	100%

### PRODUCT DIMENSIONS

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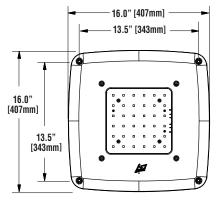
### **CONTROLS**

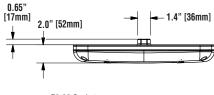
### Integral Bluetooth™ Motion and Photocell Sensor (IMSBT)

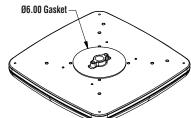
Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is rated for cold and wet locations (-30° C to 70° C). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

Click the link below to learn more details about IMSBT.

https://www.lsi-industries.com/documents/datasheets/imsbt-specsheet.pdf





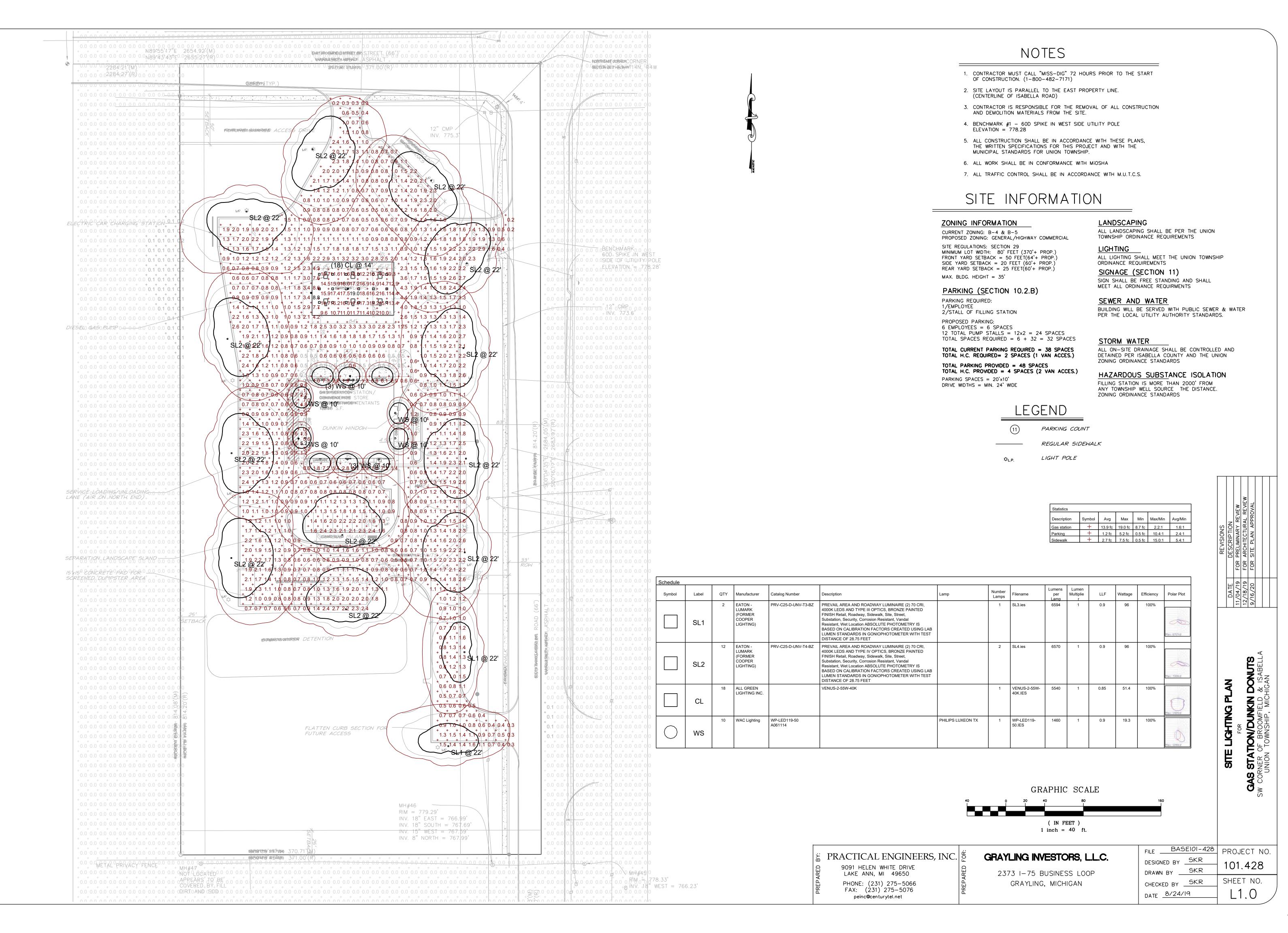


### **RETROFIT KITS**

LSI Industries offers a full line of Retrofit Kits for existing Encore, Richmond, 2x2 Universal and many more older canopy luminaires.

Click the link below to see more details on all our Retrofit Kits.

https://www.lsi-industries.com/documents/datasheets/scm-petro-retrofit-specsheet.pdf



# PLANS FOR CONSTRUCTION OF

# GAS STATION/DUNKIN DONUTS CONVENIENCE STORE/RESTAURANT

SW CORNER OF BROOMFIELD AND ISABELLA RD. UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

#### NOTES

- 1. CONTRACTOR MUST CALL "MISS-DIG" 72 HOURS PRIOR TO THE START OF CONSTRUCTION. (1-800-482-7171)
- 2. SITE LAYOUT IS PARALLEL AND PERPENDICULAR TO CENTERLINE OF ISABELLA ROAD
- 3. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION
- 4. BENCHMARK #1 SPIKE IN WEST SIDE OF UTILITY POLE LOCATED SOUTH OF NORTH ISABELLA ROAD ENTRANCE ELEVATION - 778.28
- 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS, THE WRITTEN SPECIFICATIONS FOR THIS PROJECT AND WITH THE
- MUNICIPAL STANDARDS FOR UNION TOWNSHIP.

7. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH M.U.T.C.S.

6. ALL WORK SHALL BE IN CONFORMANCE WITH MIOSHA

AND DEMOLITION MATERIALS FROM THE SITE.

# NOTES

#### **GENERAL:**

- Control Benchmark Flange on hydrant located
- across the street from the Northwest corner of the site.
- 2. The contractor shall call "MISS DIG" at 1-800-482-7171 at least 3 working days (excluding weekends and holidays) prior to construction 3. All work shall be done in accordance with the applicable

codes, ordinances, design standards and standard

- specifications of the following agencies which have the responsibility of reviewing plans and specifications for construction of all items included in these plans: a). Union Townshp b). Isabella County c). EGLE
- 4. The engineer shall apply for and obtain the following permits & approvals. a). Site plan approval from Union Township Union Township Storm water Permit
  - Union Township SEC Permit/EGLE NOC permit d). Union Township Township sewer and water
- 5. The contractor/owner shall apply for and obtain the following SITE LAYOUT:
- a). Building Permit Driveway/ROW permits(curb cuts are existing)
- Local SEC permit w/ engineer 6. The contractor agrees that in accordance with generally accepted construction practices, the responsibility for job site conditions during the course of construction of the project, including the safety of all persons and property. This requirement shall be made to apply continuously and not be limited
- 7. The locations and dimensions shown on the plans for existing facilities are in accordance with all available information. The engineer does not guarantee the accuracy of this information or that all existing underground facilities are shown.

to normal working hours.

- 8. Private utility installation shall be coordinated by the general contractor. These utilities include electric, cable phone and gas services.
- 9. The contractor is to verify that the plans and specifications that he/she is building from are the very latest plans and specifications have been approved by all applicable permit—issuing agencies and the owner. All items constructed by the contractor prior to receiving the final approval and permits having to be adjusted or redone, shall be done at the contractor's expense.
- 10. Should the contractor encounter conflict between these plans and specifications, either among themselves or with the requirements of any and all reviewing and permit—issuing agencies, he/she shall seek clarification in writing from this engineer before commencement of construction. Failure to do so shall be at the sole expense to the contractor.
- 11. The contractor shall furnish as—built drawings indicating all changes and deviations from approved
- 12. All signs and traffic control measures during construction and maintenance activities shall be per the latest edition of the Michigan Manual of Uniform Traffic Control Devices (M.M.U.T.C.D.)-2009 edition
- 13. Practical Engineers, Inc. will not be responsible for field design changes made by the contractor or the contractor's surveyor where these design changes have not been approved by Practical Engineers, Inc.

#### GRADING AND SITE WORK

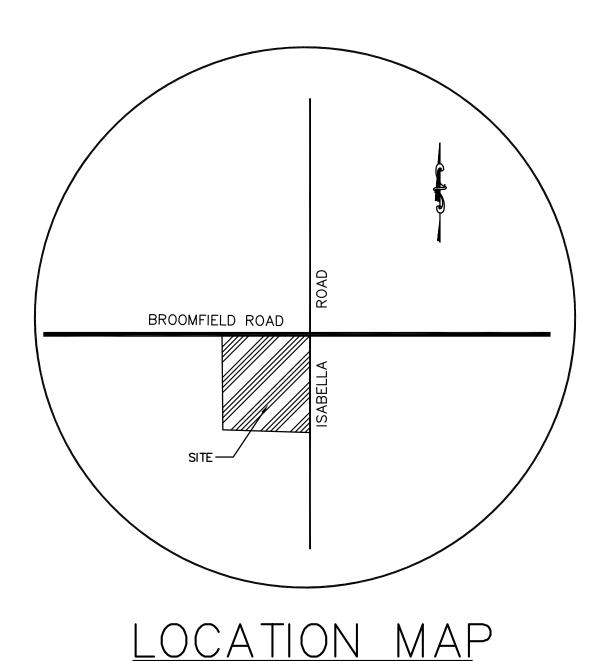
- Prior to grading, cutting and filling the contractor shall remove all topsoil, debris, vegetation, etc. from the site. Acceptable material excavated from the cut areas shall be used for fill. Fill shall be placed in layers not exceeding depths of 9 inches and shall be compacted to 95% of its maximum unit weight.
- The contractor shall proof—roll the existing subgrade to determine its suitability. If, in the opinion of the engineer, the subgrade is unsuitable, that portion of the subgrade shall be excavated and replaced with a minimum of 12" M.D.O.T. Class II granular material.
- All site grading must be performed to insure positive drainage across the entire site. Throughout the period of construction and after project completion.
- 4. All sedimentation and soil erosion control measures shall be constructed prior to the commencement of site grading and must conform to Part 91 of Act 451 of the Public Acts of 1994. All applicable permits shall be on—site before implementing these measures. The contractor shall be responsible for maintaining the soil erosion control measures.

- It is recommended that all site layout be done by a registered land surveyor. Recommended local surveyor (performed the topo/boundary and is familiar with the site)
- 2. Layout shall include vertical and horizontal control of all slopes, utilites, concrete, asphalt and subgrade elevations. Verifications shall be performed on final concrete forms, storm/sanitary structures and asphalt subgrade.

#### INSPECTION:

- Density tests are recommended on all backfill areas on site. This includes all areas under pavement and buildings.
- 2. Testing may be performed on concrete and asphalt.
- Contractor shall coordinate testing times and dates with

4. Inspectors, site and SEC, will be contracted by owner.



CONTRACTOR SHALL CALL "MISS DIG" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. 1-800-482-7171

# <u>INDEX</u>

$\boxtimes$	С	COVER
	C1.0	TOPOGRAPHICAL SURVEY (BRAND LAND SURVEYING, L.L.C.)
$\boxtimes$	C2.0	SITE PLAN
	C2.1	PARKING PLAN
	C3.0	GRADING AND STORM SEWER PLAN
	C3.1	SITE AND STORM DETAILS
$\boxtimes$	C4.0	WATER AND SEWER PLAN & PROFILE
$\boxtimes$	C4.1	SEWER AND WATER DETAILS
$\boxtimes$	C5.0	SOIL EROSION CONTROL PLAN
$\boxtimes$	C6.0	DRAINAGE PLAN
$\boxtimes$	L1.0	LIGHTING PLAN (CLASSIC ENGINEERING)
$\boxtimes$	A100	OVERALL FLOOR PLAN (jeffery a. scott, architects p.c.)
$\boxtimes$	A200	EXTERIOR ELEVATIONS
$\boxtimes$	A201	EXTERIOR ELEVATIONS
$\boxtimes$	LS1.0	LANDSCAPE PLAN(Cox Landscape & Garden Design)

#### UTILITY CONTACT INFORMATION

OWNER & GENERAL CONTRACTOR: GRAYLING INVESTORS, L.L.C. CONTACT NAME: CHAD HAMINA PHONE: (989)745-3947

SITE DESIGN - PRACTICAL ENGINEERS, INC. CONTACT NAME: SARAH ROSS, P.E. PHONE: (231) 275-5066

SURVEYORS - BRAND LAND SURVEYING, L.L.C. CONTACT NAME: RON BRAND, P.S. PHONE: (989) 732-8077

PLANNING & ZONING - UNION TOWNSHIP CONTACT NAME: PETER GALLINAT PHONE: (989)772-4600 EXT:241

ROAD ENTRANCES - ISABELLA COUNTY CONTACT NAME: PAT GAFFNEY, P.E. PHONE: (989) 773-7131, EXT:115

SEWER # WATER - UNION TOWNSHIP CONTACT NAME: KIM SMITH PHONE: (989) 772-4600 EXT:224

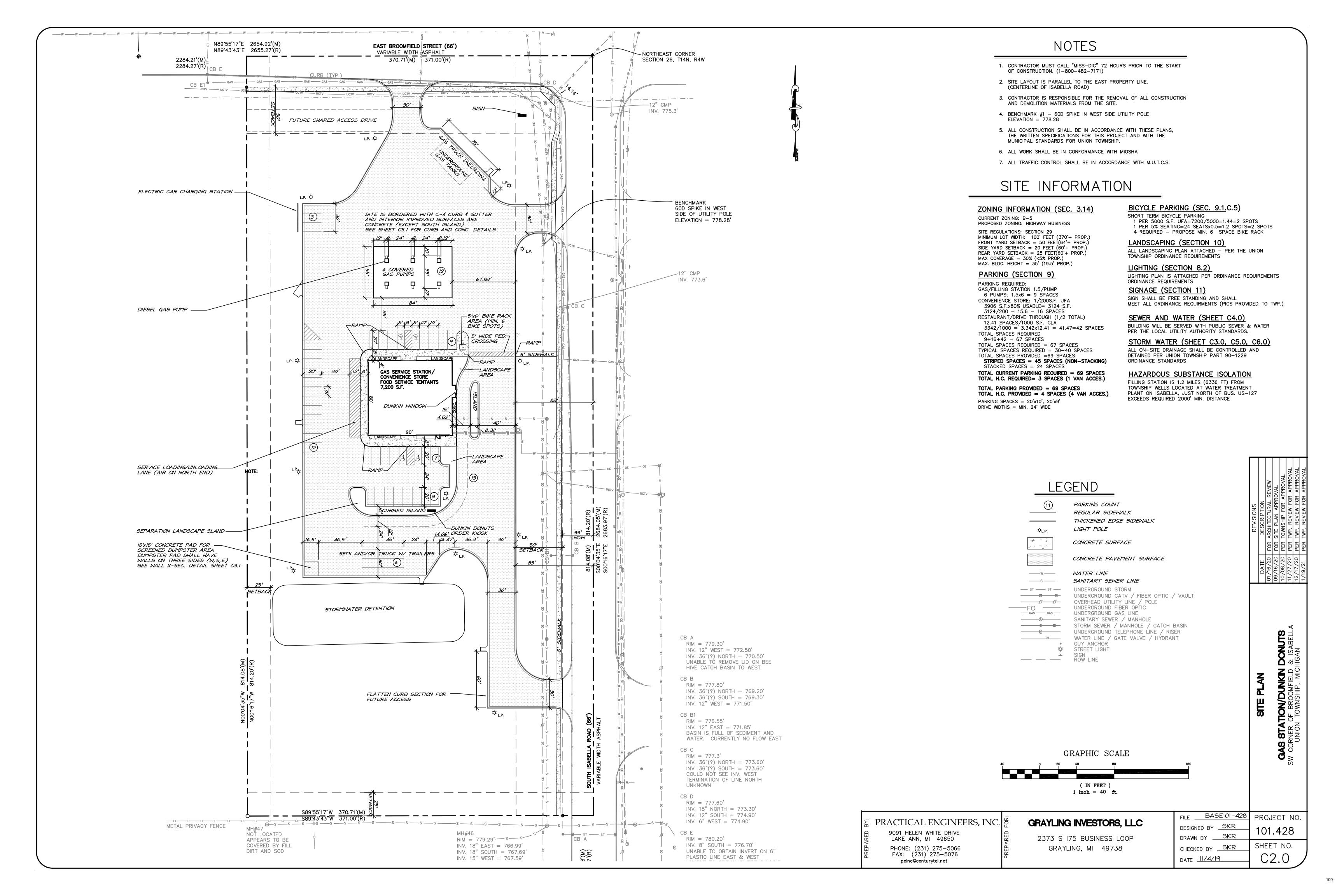
STORM DESIGN - UNION TOWNSHIP/ISABELLA COUNTY CONTACT NAME: BRUCE ROHER PHONE: (989) 772-0911 EXT:231

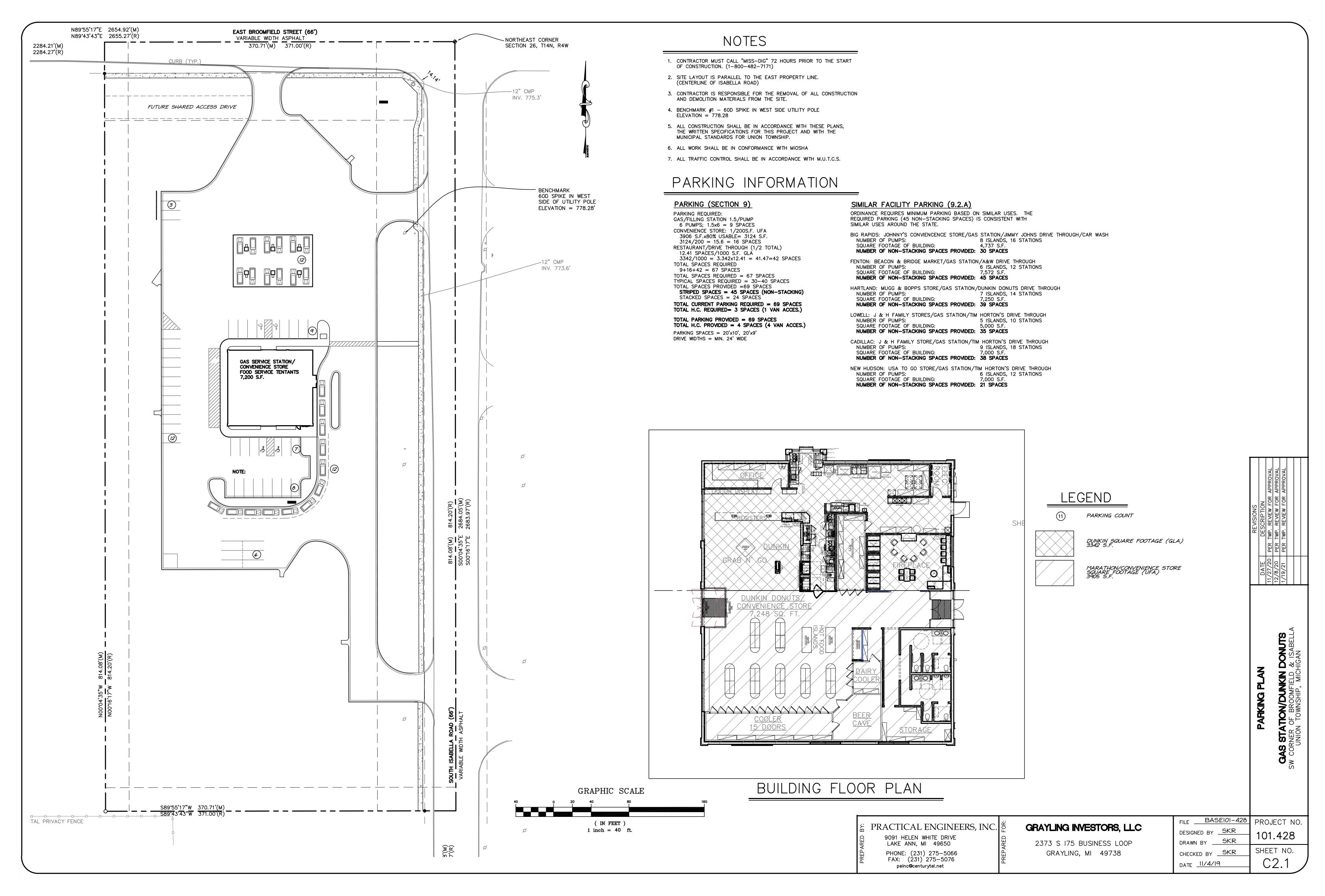


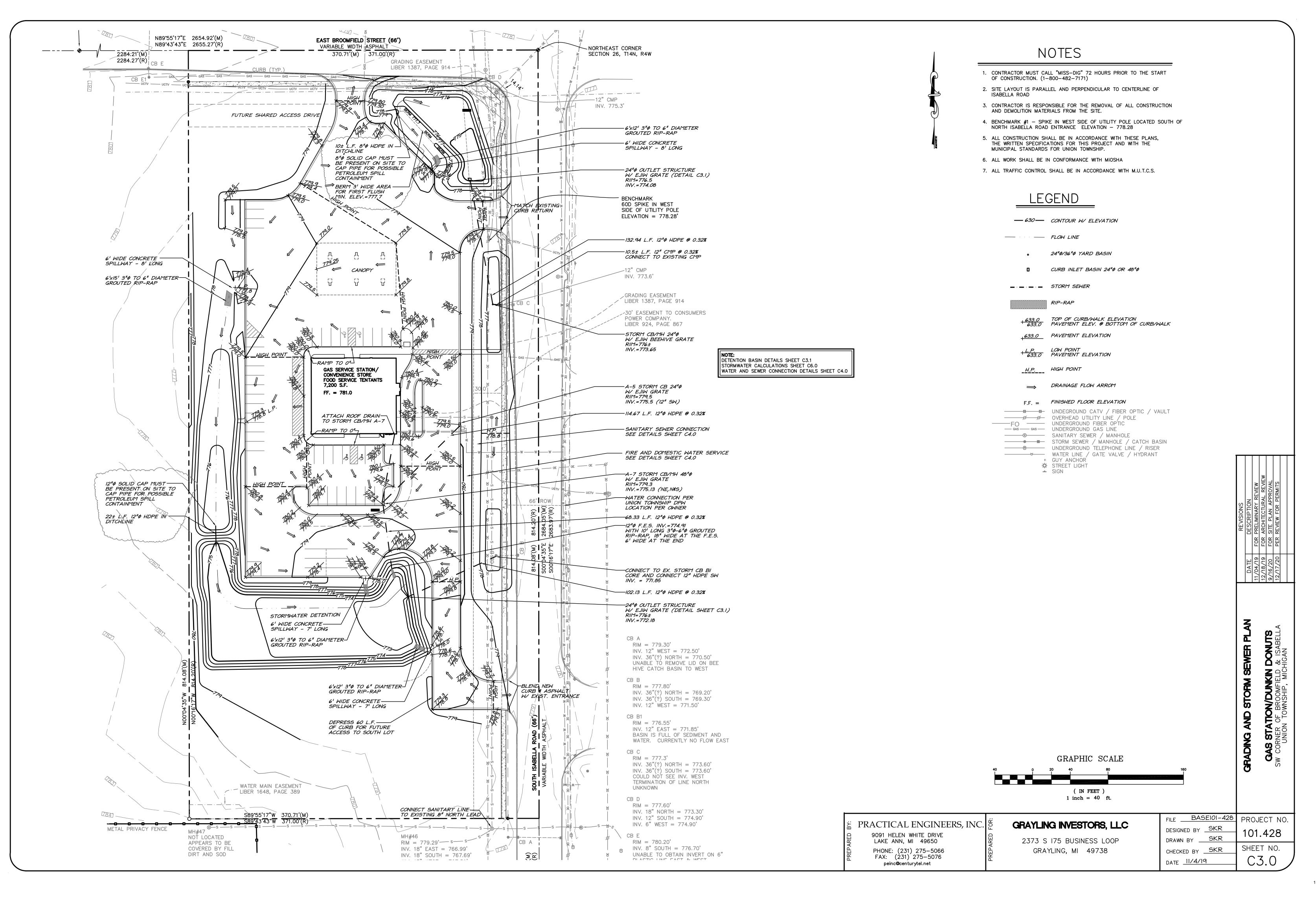
PRACTICAL ENGINEERS, INC.	FOR:
9091 HELEN WHITE DRIVE LAKE ANN, MI 49650	PARED
PHONE: (231) 275-5066	EP/

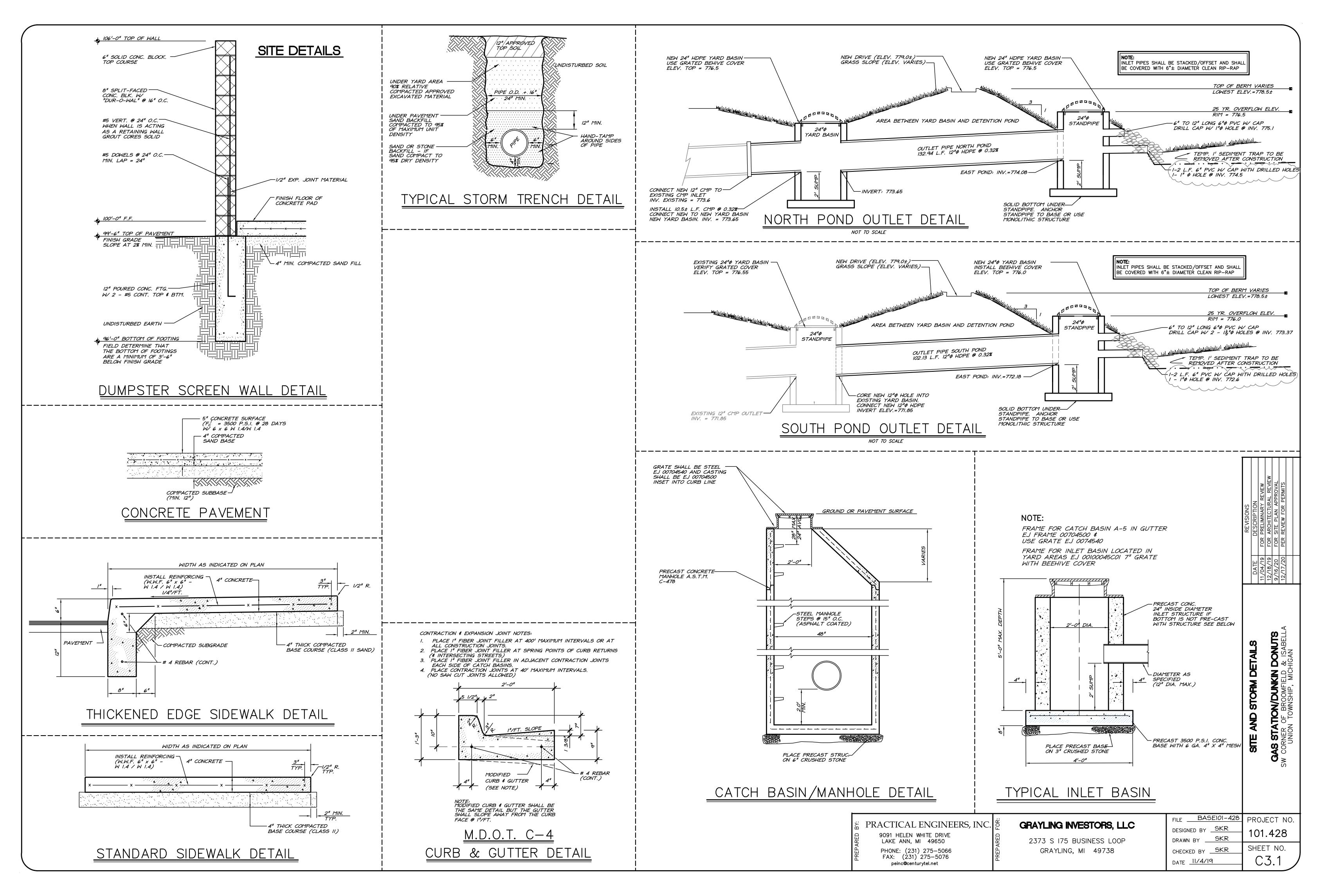
FAX: (231) 275-5076 peinc@centurytel.net

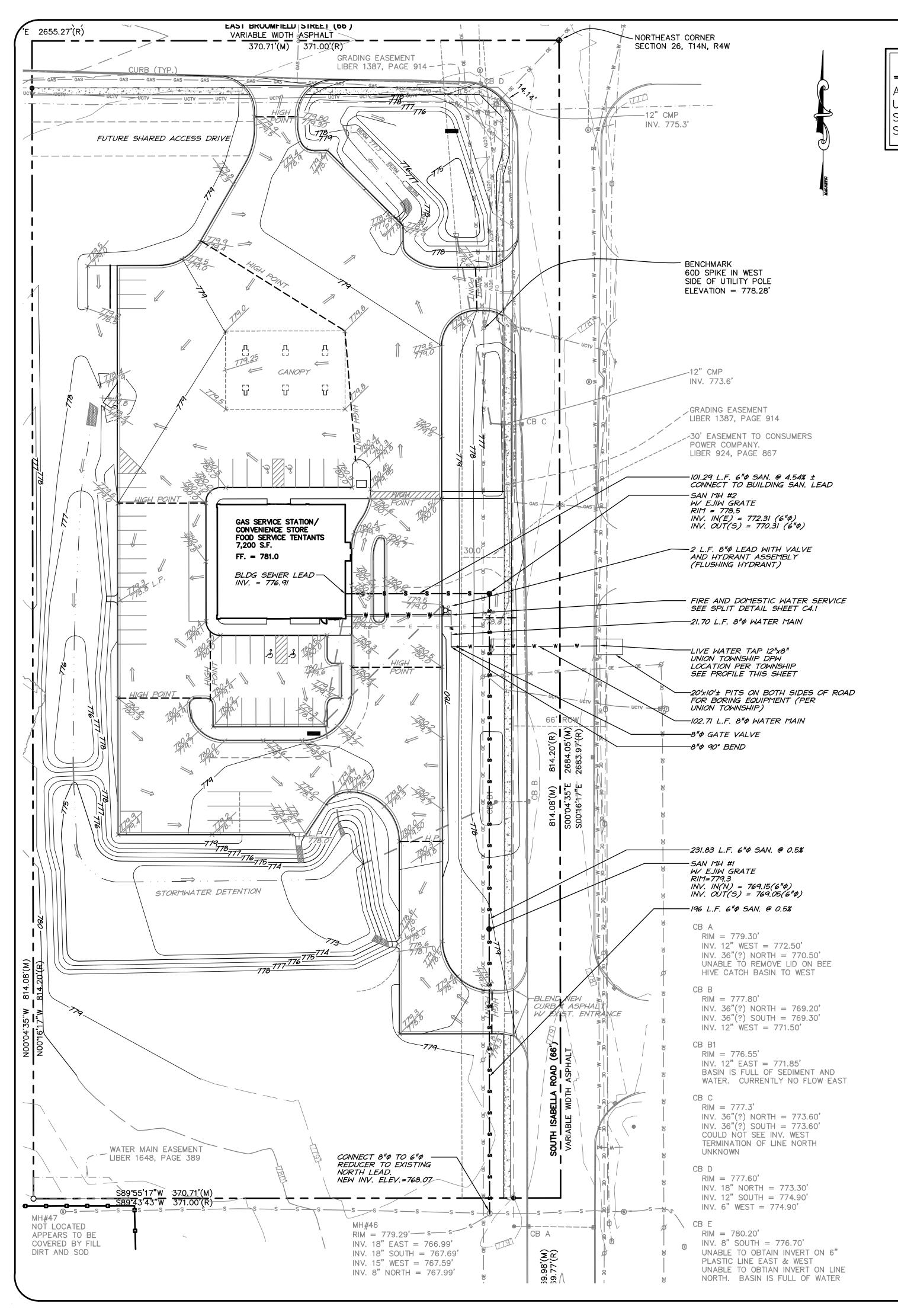
	FILE BASE101-428	PROJECT NO
GRAYLING INVESTORS, LLC	DESIGNED BY SKR DRAWN BY SKR	101.428
2373 S 175 BUSINESS LOOP GRAYLING, MI 49738	CHECKED BY SKR	SHEET NO.
	DATE 11/4/19	С











# NOTES

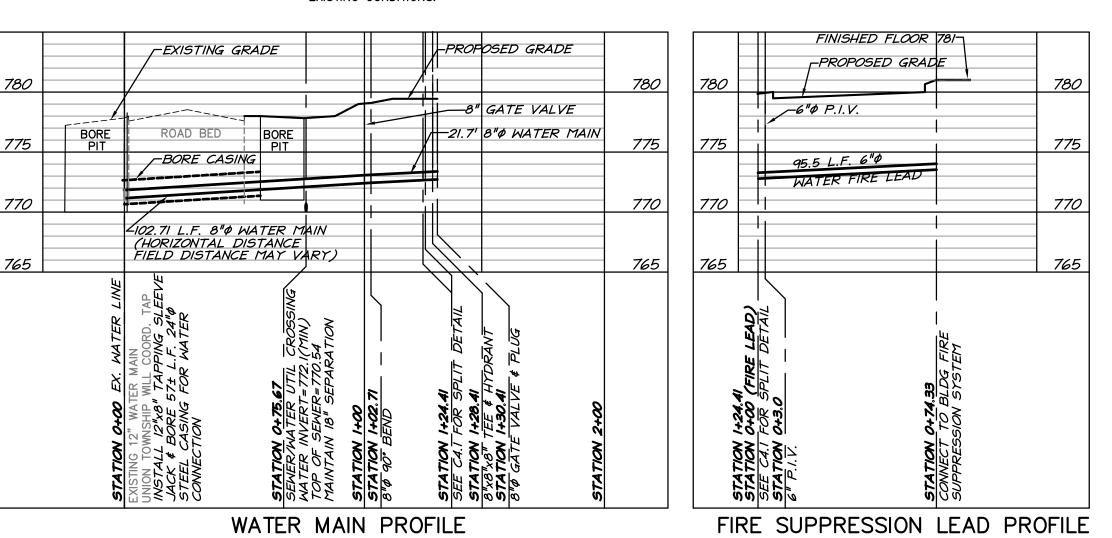
ALL CONSTRUCTION WILL BE PER THE UNION TOWNSHIP "WATER AND SEWER DESIGN REQUIREMENTS AND SPECIFICATIONS",

# SEWER/WATER SYSTEM NOTES

- 1. ALL PRIVATE SANITARY SEWER SHALL BE SDR-21 RUBBER GASKETED PIPE AND FITTINGS
- 2. ALL SEWER & WATER CONSTRUCTION, MATERIALS AND FITTINGS AND TESTING SHALL BE PER THE UNION TOWNSHIP WEBSITE: "WATER AND SEWER DESIGN REQUIREMENTS AND SPECIFICATIONS"
- 3. ALL SEWER SHALL BE MIN. 4.5' BURY DEPTH
- 4. ALL WATER CONSTRUCTION, MATERIALS AND FITTINGS SHALL BE PER THE UNION TOWNSHIP WATERMAIN SPECIFICATIONS.
- 5. ALL WATER MAIN SHALL BE MIN. 5.5' BURY DEPTH.
- 6. ALL WATERMAIN SHALL BE C900 AWWA APPROVED AND ALL PIPE AND FITTINGS SHALL BE IN ACCORDANCE WITH THE UNION TOWNSHIP WATERMAIN SPECIFICATIONS.
- 7. ALL WATER MAIN SHALL HAVE MINIMUM 10' HORIZONTAL SEPARATION AND MINIMUM 18" VERTICAL SEPARATION BETWEEN SANITARY AND STORM SEWER.
- 8. FIELD VERIFY CONSTRUCTED DEPTH OF ALL SEWER AND WATER LEADS. THIS PLAN DOES REFLECT EXACT LOCATION AND ELEVATIONS.
- 9. WATER MAIN CONNECTION (DIRECTIONAL BORE AND LIVE TAP) SHOWN ON PLANS WILL BE COORDINATED THROUGH UNION TOWNSHIP DPW. SITE CONTRACTOR SHALL WORK WITH UNION TOWNSHIP DURING CONSTRUCTION.
- 10. ALL SEWER AND WATER MAIN TESTING SHALL BE PER UNION TOWNSHIP STANDARDS AND SPECIFICATIONS. COORDINATE WITH UNION TOWNSHIP DPW.
- 11. ALL DISTURBED AREAS SHALL BE RESTORED TO EXISTING OR BETTER THAN EXISTING CONDITIONS.

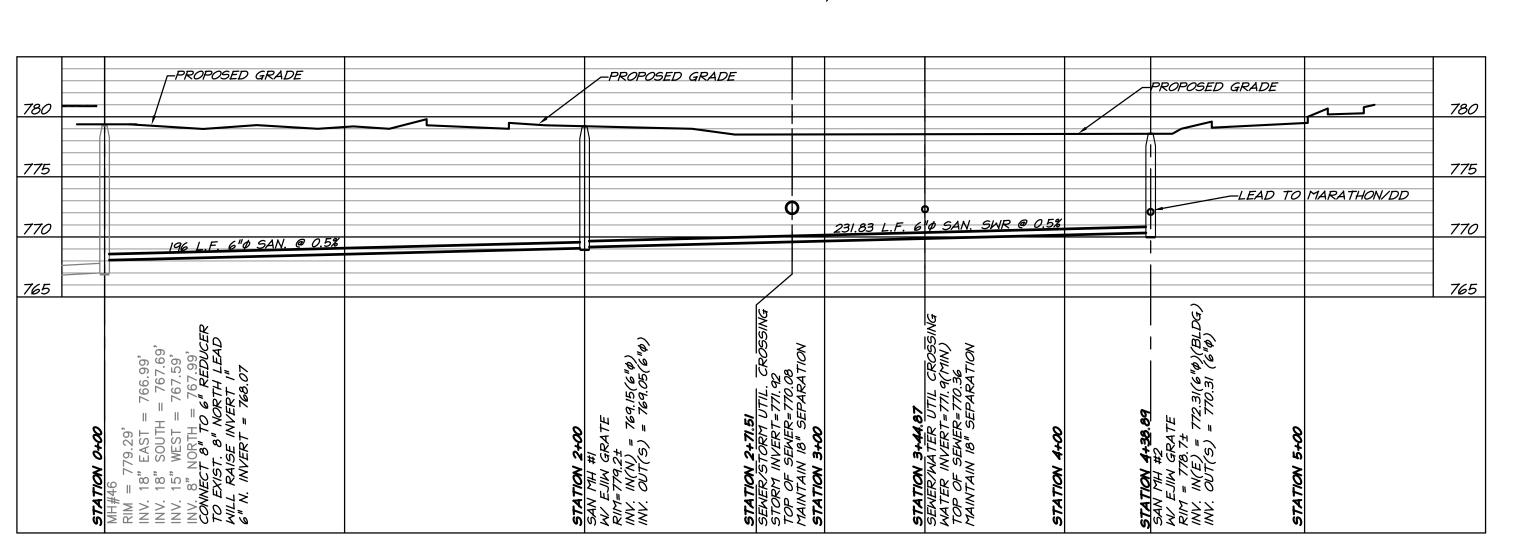
# NOTES

- 1. CONTRACTOR MUST CALL "MISS-DIG" 72 HOURS PRIOR TO THE START OF CONSTRUCTION. (1-800-482-7171)
- 2. SITE LAYOUT IS PARALLEL AND PERPENDICULAR TO CENTERLINE OF
- ISABELLA ROAD 3. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION
- AND DEMOLITION MATERIALS FROM THE SITE. 4. BENCHMARK #1 - SPIKE IN WEST SIDE OF UTILITY POLE LOCATED SOUTH OF
- NORTH ISABELLA ROAD ENTRANCE ELEVATION 778.28
- 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS, THE WRITTEN SPECIFICATIONS FOR THIS PROJECT AND WITH THE MUNICIPAL STANDARDS FOR UNION TOWNSHIP.
- 6. ALL WORK SHALL BE IN CONFORMANCE WITH MIOSHA
- 7. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH M.U.T.C.S.



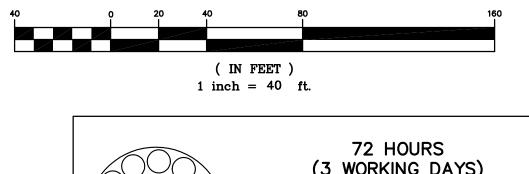
# WATER MAIN PROFILE

HORIZONTAL SCALE: 1"=40', VERTICAL SCALE: 1"=5'



# SANITARY SEWER PROFILE

HORIZONTAL SCALE: 1"=40', VERTICAL SCALE: 1"=5'



GRAPHIC SCALE

# (3 WORKING DAYS) 1-800-482-717(TOLL FREE)

SEE SHEET C4.1 FOR WATER AND SEWER DETAILS. WATER LEAD SPLIT DETAIL IS ALSO ON SHEET C4.1 BORE IS PER UNION TWP. DPW

PRACTICAL ENGINEERS, INC. 9091 HELEN WHITE DRIVE LAKE ANN, MI 49650 PHONE: (231) 275-5066

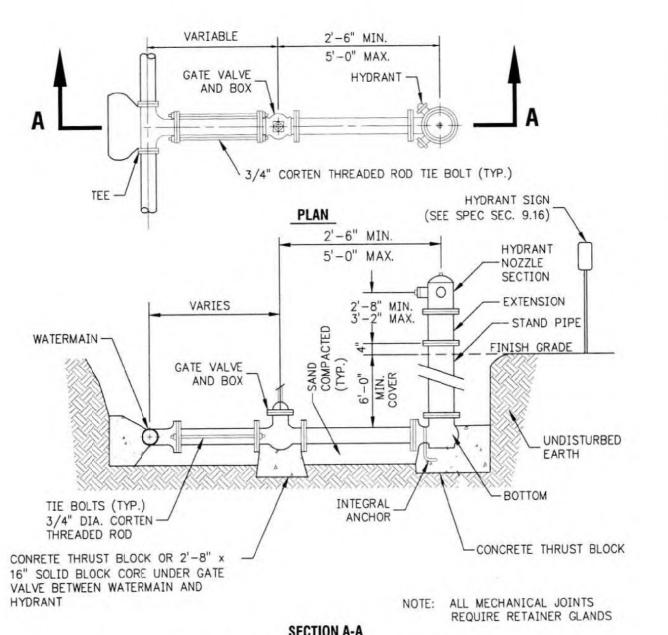
FAX: (231) 275-5076 peinc@centurytel.net

**GRAYLI** 2373

NOTES

INO INVESTORS LLO	FILE BASEI01-428	PROJECT NO.
ING INVESTORS, LLC	DESIGNED BY SKR	101.428
S 175 BUSINESS LOOP	DRAWN BY SKR	
RAYLING, MI 49738	CHECKED BY SKR	SHEET NO.
	DATE 11/4/19	C4.0 /

9



HYDRANT ASSEMBLY DETAIL

WATER TRENCH

# WHITE OAK SKIDS WIRED TO SEWER-SKIDS WILL BE NOTCHED TO PREVENT WIRE FROM RIDING AGAINST CASING PIPE DIA. OF MIN. ROAD RAILROAD SEWER PIPE MAIN "A" CROSSING CROSSING MIN. "B" MN. "B" 6" 16" 3.75 3.75 12" 2.4" 3.75 5.00 10" & 12" 16" 2.4" 3.75 5.00 CASING PIPE SHALL BE WELDED STEEL PIPE A.S.T.M. A-252, GR 2 UNLESS OTHERWISE SPECIFIED. NOTES: 1. THE ENDS OF THE CASING SHALL BE SUITABLY PROTECTED AGAINST THE ENTRANCE OF FOREIGN MATERIAL, BUT SHALL NOT BE TIGHTLY SEALED. 2. WHEN BORING ALL VOIDS OUTSIDE OF CASING PIPE SHALL BE FILLED BY MEANS

- WHEN BORING ALL VOIDS OUTSIDE OF CASING PIPE SHALL BE FILLED BY MEANS
  OF PRESSURE GROUTING WITH 1:3 CEMENT—SAND MORTAR, THIS WORK MUST BE
  ACCOMPLISHED WITHIN 24 HOURS AFTER THE CROSSING HAS BEEN COMPLETED.
  BORING SHALL EXTEND A MINIMUM OF 10 FEET OUTSIDE THE EDGES OF THE
  PAVEMENT.
- 3. SKIDS ARE TO BE A MINIMUM OF 80% OF PIPE LENGTH.
- 4. VOIDS BETWEEN CASING & CARRIER PIPE SHALL BE FILLED BY MEANS OF PRESSURE GROUTING WITH 1:3 CEMENT-SAND MORTAR

STANDARD CASING SECTION

# JACK & BORE DETAIL

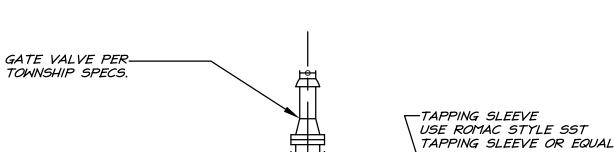
#### NOTES

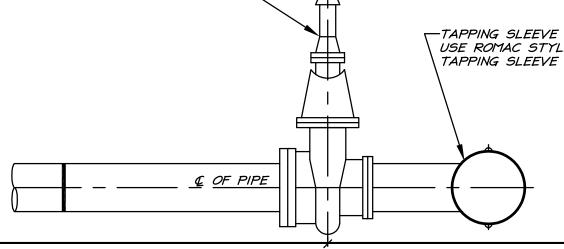
ALL CONSTRUCTION WILL BE PER THE UNION TOWNSHIP "WATER AND SEWER DESIGN REQUIREMENTS AND SPECIFICATIONS",

- FIT THE TAPPING SLEEVE IN PLACE ON THE WATER MAIN AND SECURE.
   INSTALL GATE VALVE AND LEAVE WIDE OPEN.
- 3. OPPOSITE THE MAIN ON THE VALVE, ATTACH TAPPING MACHINE WITH A CUTTING HEAD AND WATERTIGHT HOUSING.
- 4. ADVANCE THE CUTTING HEAD TO CUT THROUGH THE MAIN.

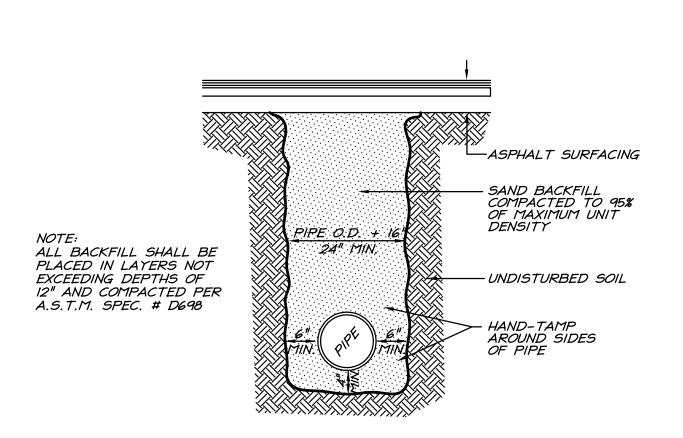
CLOSE THE VALVE.

5. WITHDRAW THE CUTTING HEAD INTO THE TAPPING MACHINE AND

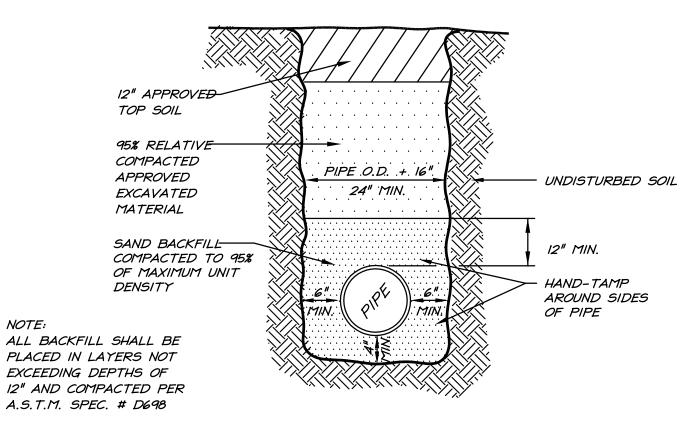




# WET TAP DETAIL



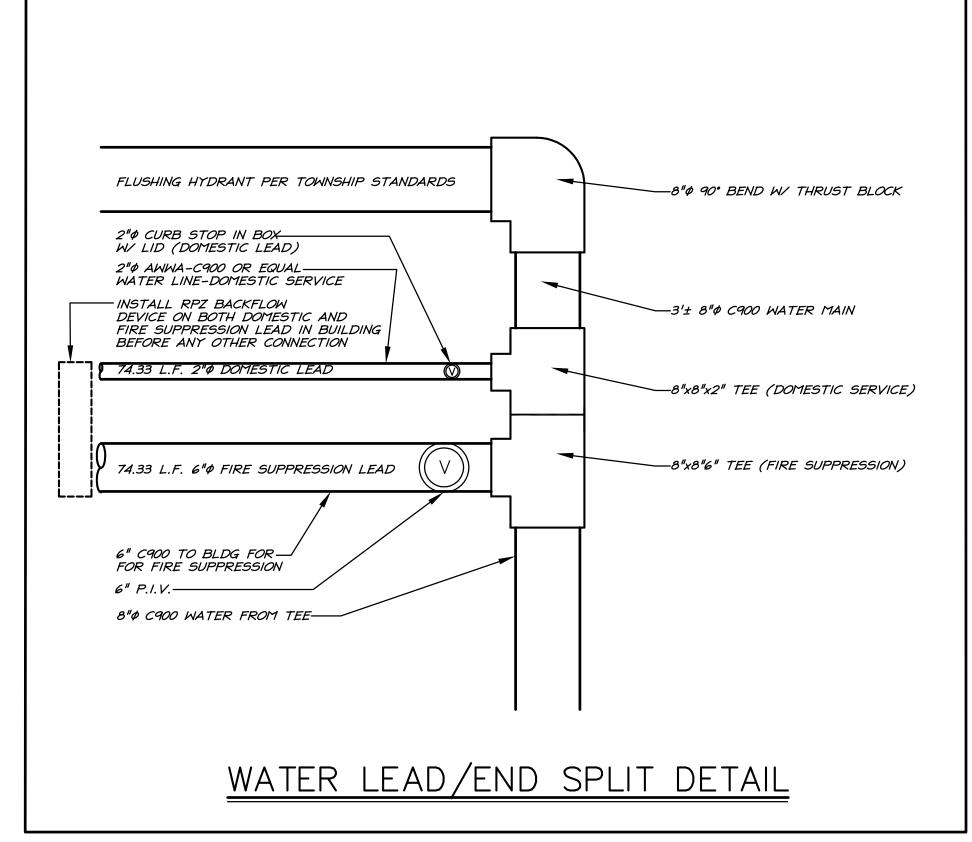
WATER TRENCH
DETAIL

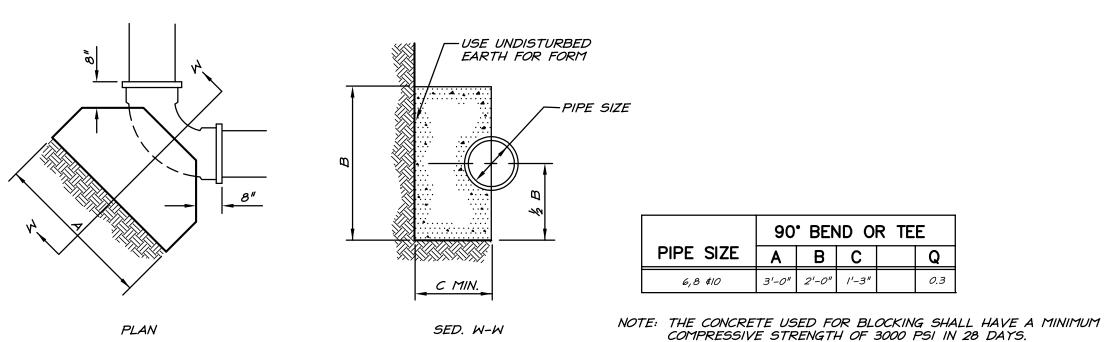


WATER TRENCH

DETAIL

UNDER YARD AREAS





# DETAIL OF BLOCK FOR 90° BEND OR TEE

Q - MIN. CU. YD. CONCRETE PER BLOCK

## SEWER/WATER SYSTEM NOTES

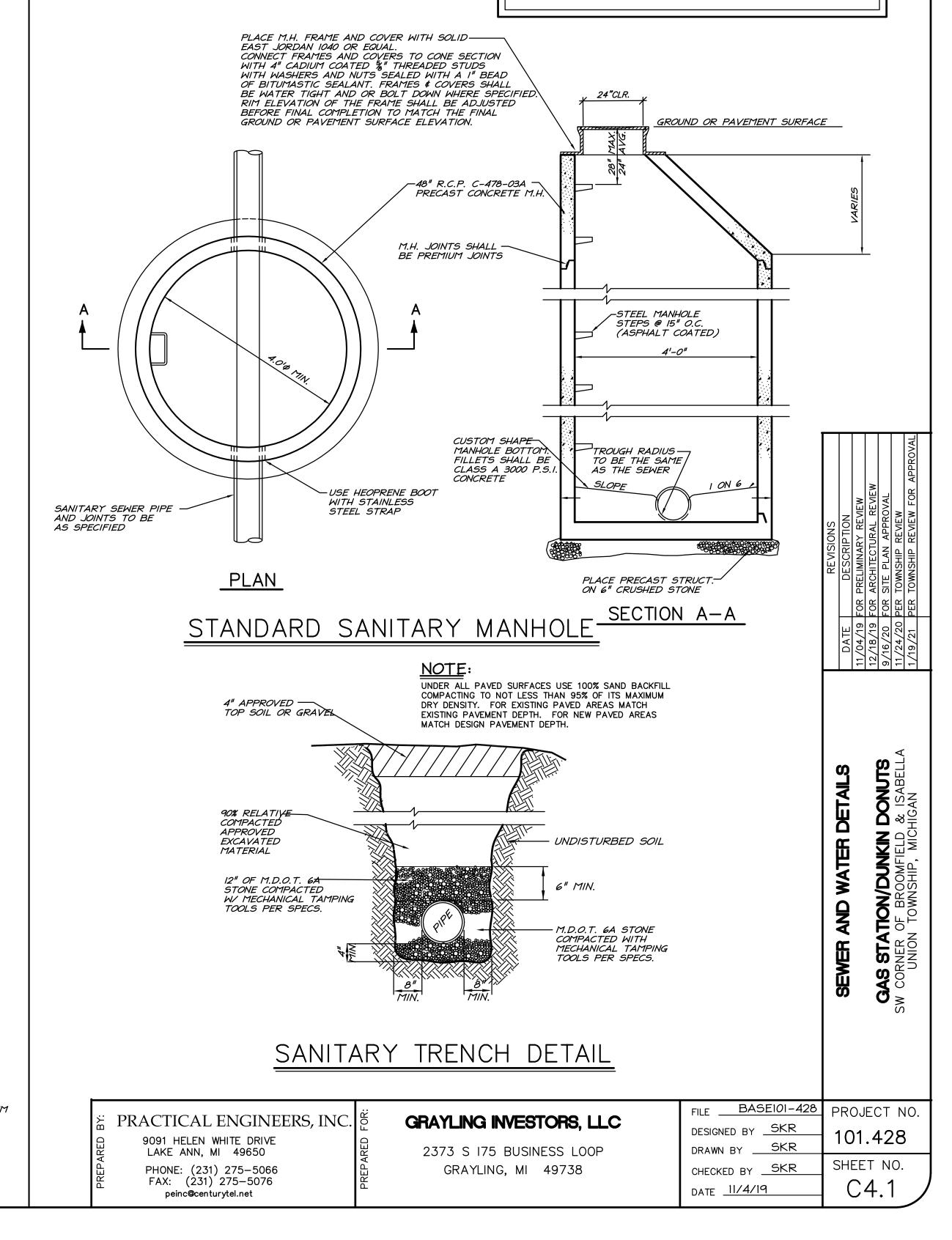
- 1. ALL PRIVATE SANITARY SEWER SHALL BE SDR-21 RUBBER GASKETED PIPE AND FITTINGS
- 2. ALL SEWER CONSTRUCTION, MATERIALS AND FITTINGS AND TESTING SHALL BE PER THE UNION TOWNSHIP SPECIFICATIONS
- 3. ALL SEWER SHALL BE MIN. 4.5' BURY DEPTH
- 4. ALL WATER CONSTRUCTION, MATERIALS AND FITTINGS SHALL BE PER THE UNION TOWNSHIP WATERMAIN SPECIFICATIONS.
- 5. ALL WATER MAIN SHALL BE MIN. 5.5' BURY DEPTH.
- 6. ALL WATERMAIN SHALL BE C900 AWWA APPROVED AND ALL PIPE AND FITTINGS SHALL BE IN ACCORDANCE WITH THE UNION TOWNSHIP WATERMAIN SPECIFICATIONS.
- 7. ALL WATER MAIN SHALL HAVE MINIMUM 10' HORIZONTAL SEPARATION AND MINIMUM 18" VERTICAL SEPARATION BETWEEN SANITARY AND STORM SEWER.
- 8. VERIFY CONSTRUCTED DEPTH OF ALL SEWER AND WATER LEADS.
  THIS PLAN DOES REFLECT SURVEYED PLAN LOCATION AND ELEVATIONS.
- 9. WATER MAIN CONNECTION (DIRECTIONAL BORE AND LIVE TAP) SHOWN ON PLANS WILL BE COORDINATED THROUGH UNION TOWNSHIP DPW. SITE CONTRACTOR SHALL WORK WITH UNION TOWNSHIP DURING CONSTRUCTION.
- 10. ALL SEWER AND WATER MAIN TESTING SHALL BE PER UNION TOWNSHIP STANDARDS AND SPECIFICATIONS. COORDINATE WITH UNION TOWNSHIP DPW.
- 11. ALL DISTURBED AREAS SHALL BE RESTORED TO EXISTING OR BETTER THAN EXISTING CONDITIONS.

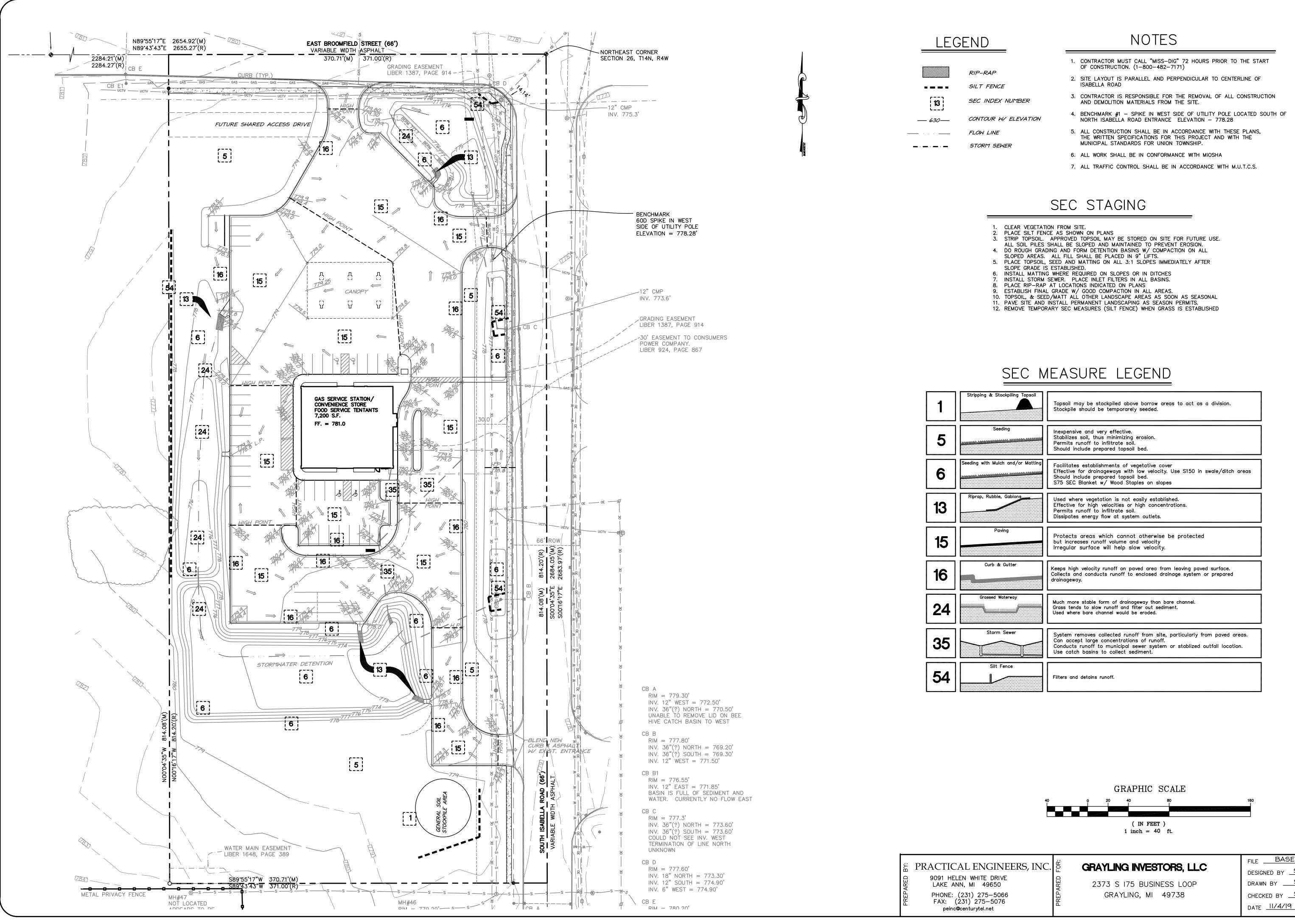
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- 7. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH M.U.T.C.S.

#### NOTE:

SEE SHEETS C4.0 FOR WATER AND SEWER LAYOUT. ALL WATER AND SEWER CONSTRUCTION SHALL BE PER UNION TOWNSHIP SPECIFICATIONS.





SOIL EROSION CONTROL
GAS STATION/DUNKIN DC

FILE BASEI01-428 PROJECT NO.

DESIGNED BY SKR

DRAWN BY SKR

CHECKED BY SKR

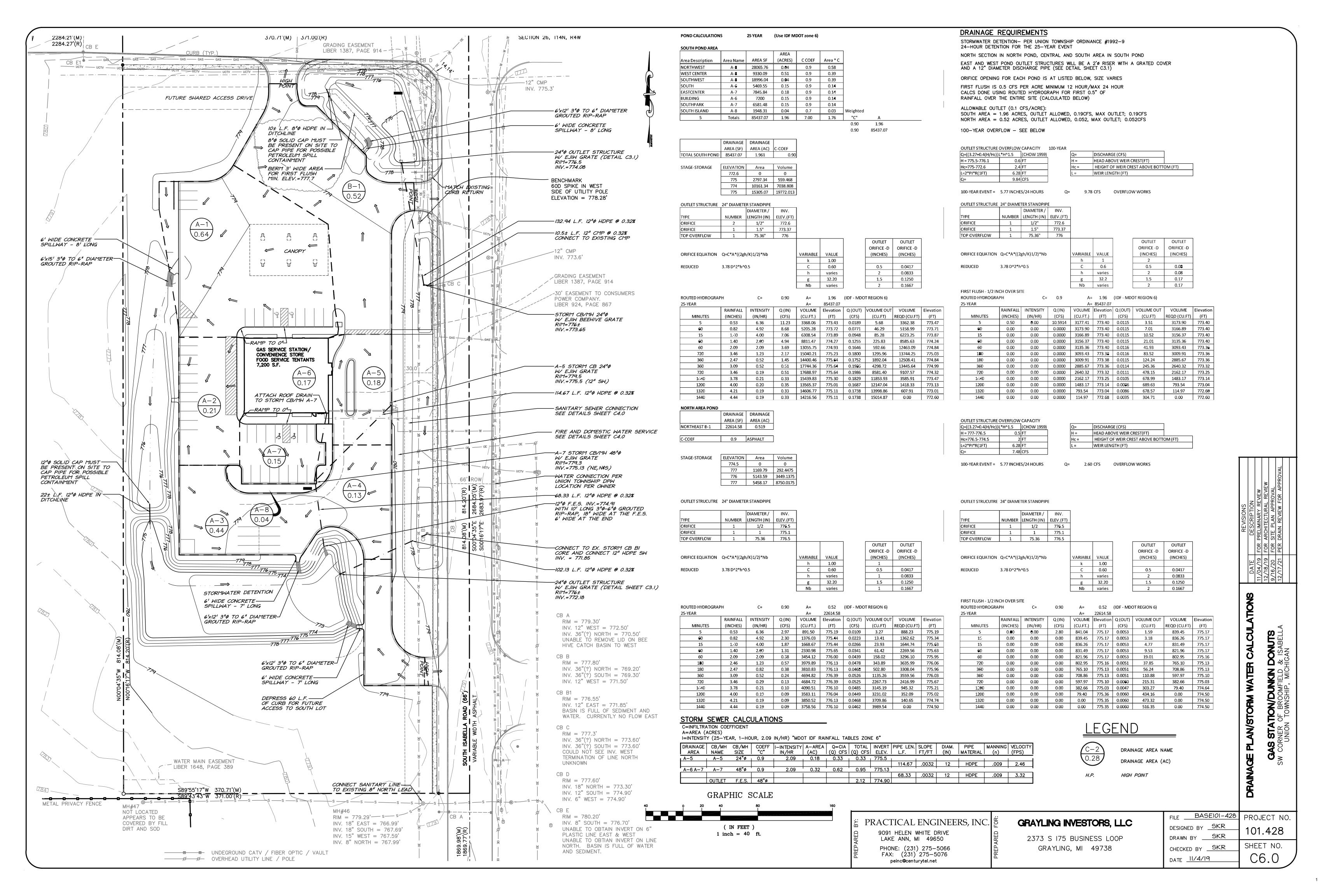
DATE 11/4/19

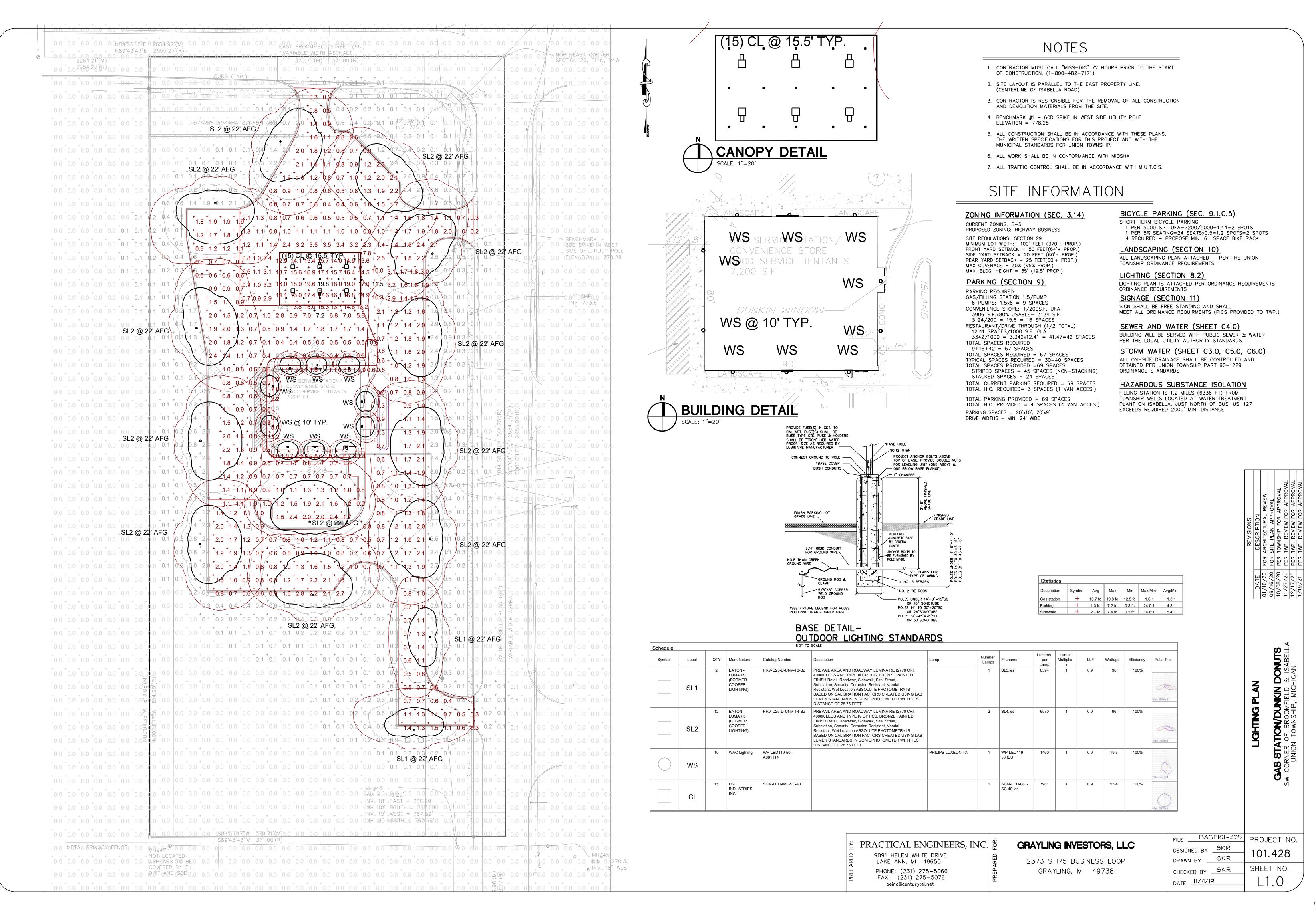
PROJECT NO.

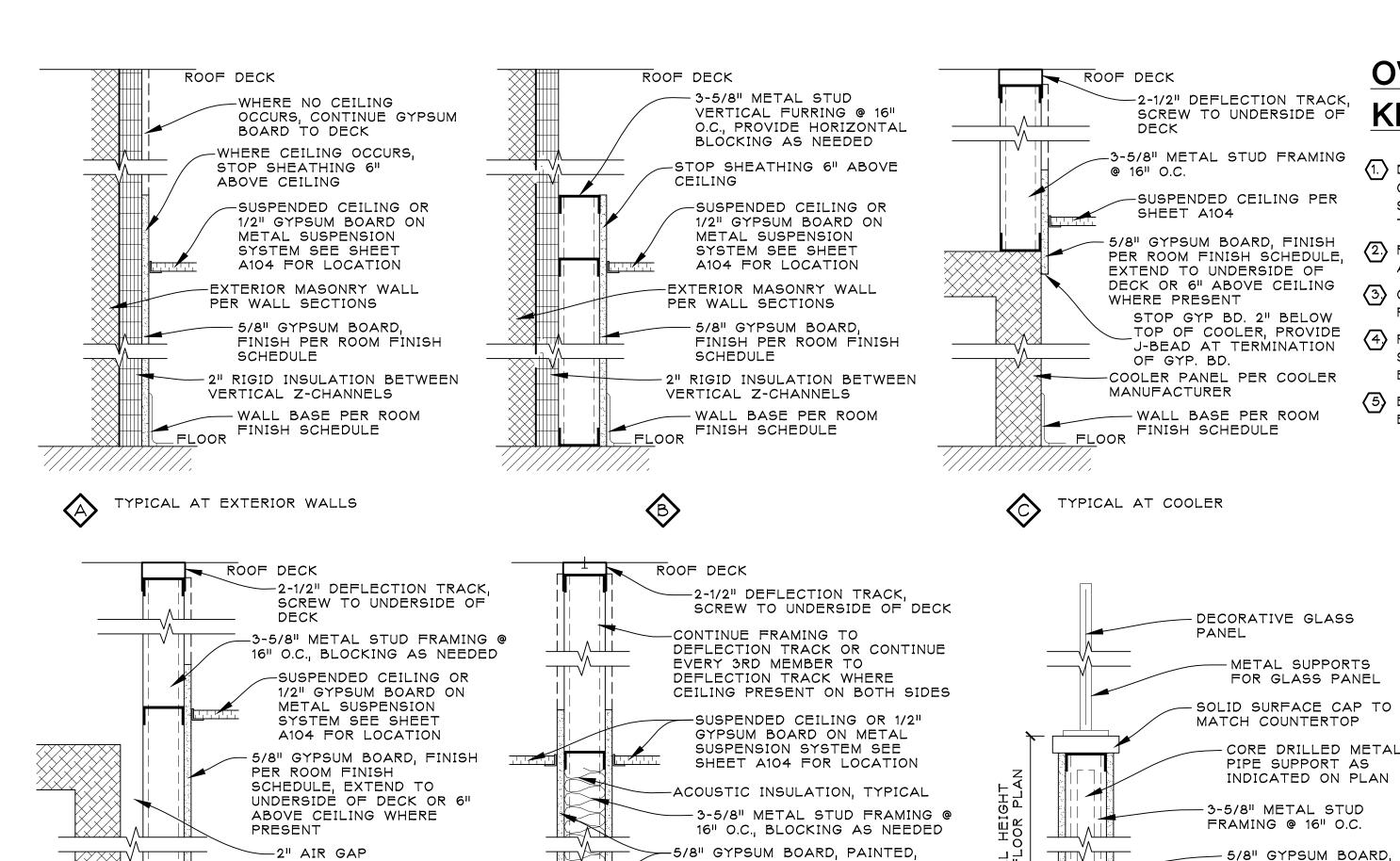
101.428

SHEET NO.

C5.0







# OVERALL FLOOR PLAN **KEYED NOTES:**

- (1.) DRIVE-THRU WINDOW. SEE DUNKIN' CONSTRUCTION SPECIFICATIONS ON SHEETS AND NATIONAL ACCOUNTS ON THE EXTRANET.
- 2) ROOF LADDER, SEE EXTERIOR ELEVATIONS AND ROOF PLAN
- (3) CANOPY ABOVE, SEE REFLECTED CEILING PLAN AND EXTERIOR ELEVATION SHEETS
- 4) PROVIDE 1" INSULATED & TEMPERED STOREFRONT GLAZING, SEE EXTERIOR ELEVATIONS
- (5) EXTERIOR ACCENT PANEL, SEE EXTERIOR ELEVATIONS AND SECTION

SEE REFERENCED

ENLARGED PLANS

A101

A102

SHEETS FOR

SEE ENLARGED PLANS

SHEETS A101 AND A102 FOR ADDITIONAL PLAN

SEE SLAB PENETRATION PLAN, SHEET A103 FOR

**OVERALL FLOOR PLAN** 

SIDEWALK LAYOUT.

SCALE: 1/8" = 1'-0'

REQUIREMENTS

# FLOOR PLAN GENERAL NOTES:

B. DIMENSIONS SHOWN ARE TO THE FACE OF STUD UNLESS OTHERWISE NOTED.

A. GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE BLOCKING IN BATHROOMS FOR GRAB BARS, LAVATORIES, HAND DRYERS, MIRRORS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, AND OTHER ACCESSORIES AS REQUIRED UNLESS OTHERWISE NOTED.

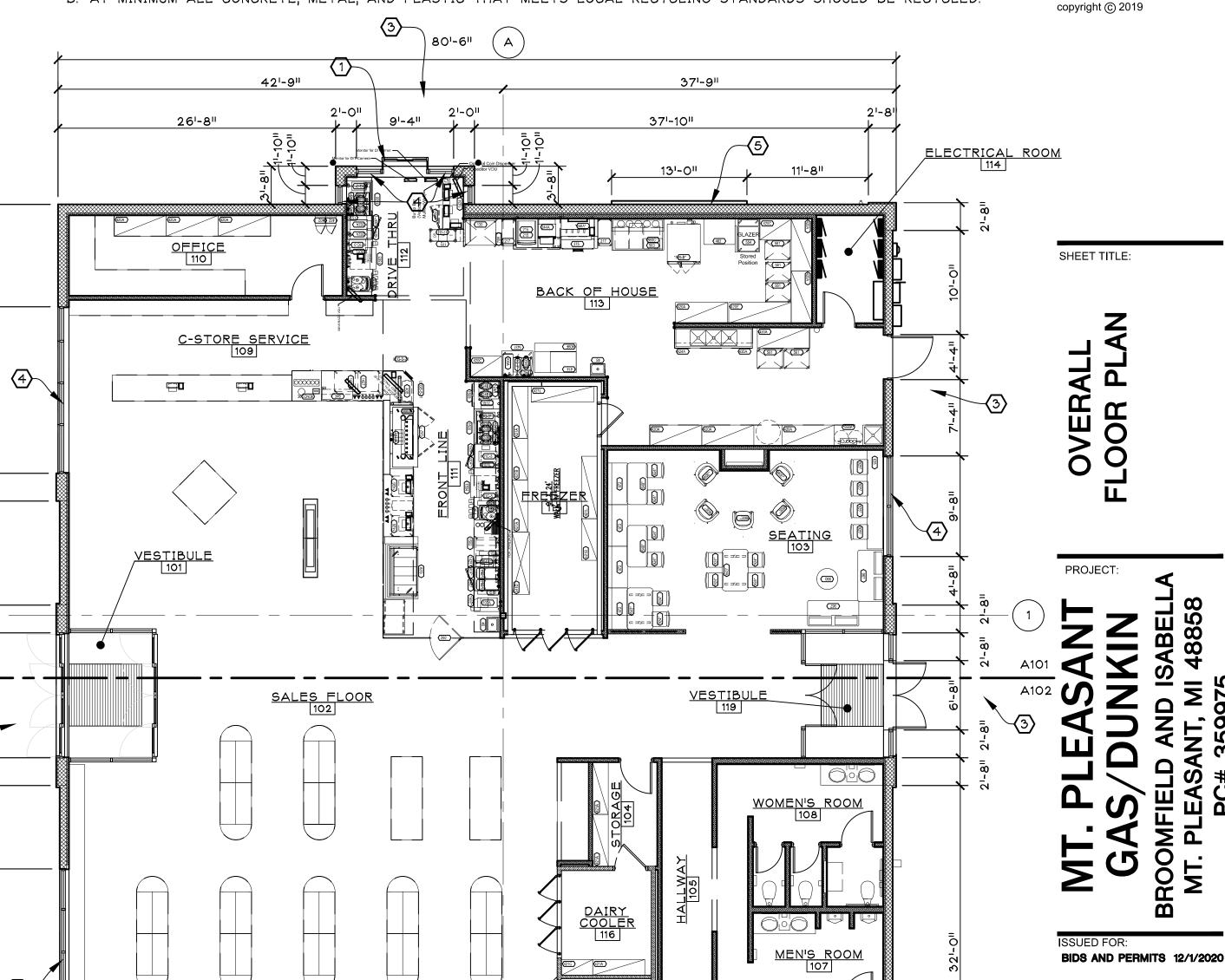
E. PROVIDE FIRE EXTINGUISHERS, TYPE ABC, WALL HUNG, TOP @ 5'-O" A.F.F. (BY G.C.). WHEN FIRE EXTINGUISHER IS LOCATED

- C. REFER TO EQUIPMENT "K" SHEETS FOR INFORMATION REGARDING THE EQUIPMENT AND EQUIPMENT LAYOUT.
- D. SEE SHEET A600 FOR DOOR SCHEDULE AND DOOR & FRAME TYPES.
- WITHIN A HIGH TRAFFIC FLOW, BOTTOM OF FIRE EXTINGUISHER TO BE PLACED @26" A.F.F. NUMBER AND LOCATION AS DETERMINED BY LOCAL CODE

#### INDOOR AIR QUALITY MANAGEMENT REQUIREMENTS: A. DURING CONSTRUCTION THE USE OF SMOKING/TOBACCO PRODUCTS INSIDE THE BUILDING IS PROHIBITED

- B. CONTRACTOR AND SUBCONTRACTORS SHOULD MAKE EVERY EFFORT TO MAINTAIN CLEAN WORK AREAS.
- C. CONSTRUCTION ACTIVITIES THAT PRODUCE DUST SHOULD TAKE PLACE PRIOR TO HVAC STARTUP/USE, AND EVERY EFFORT SHOULD BE MADE TO DIRECT THESE POLLUTANTS TO THE OUTDOORS WITH FANS.
- D. MATERIALS THAT ARE ABSORPTIVE SHOULD NOT BE BROUGHT ON-SITE UNTIL THE BUILDING IS SUFFICIENTLY DRIED IN, AND SHOULD BE ELEVATION FROM THE GROUND AND COVERED WITH VISQUEEN WHILE STORED ON SITE.
- E. IF THE HVAC SYSTEMS WILL BE USED DURING CONSTRUCTION ACTIVITIES, TEMPORARY FILTRATION (MERV 8) SHOULD BE USED ON ALL RETURN AIR INTAKES, AND THE FILTERS INSIDE THE UNIT SHOULD BE REPLACED PRIOR TO BUILDING TURN OVER.
- CONSTRUCTION WASTE RECYCLING REQUIREMENTS: A. ALL CONSTRUCTION-RELATED RECYCLABLE WASTE SHOULD BE RECYCLED/REUSED OR OTHERWISE DIVERTED FROM LANDFILL WHENEVER POSSIBLE.





# PARTITION TYPE NOTES

1) ALL JUNCTIONS BETWEEN THE WALL SURFACES AND THE 6) EDGES OF ATTACHED EQUIPMENT AS WELL AS ALL ANNULAR OPENINGS AROUND PIPES DUCTS OR OTHER CONDUITS WERE THEY PASS THROUGH WALLS AND FLOOR SHALL BE SEALED WITH A MIXTURE OF STEEL WOOL AND APPROVED CAULK/ SEALING COMPOUND.

COOLER PANEL PER COOLER

-WALL BASE PER ROOM

-EXTERIOR MASONRY

5/8" GYPSUM BOARD,

FINISH PER ROOM

FINISH SCHEDULE

- AIR GAP

COOLER PANEL

MANUFACTURER

PER COOLER

2" RIGID INSULATION

BETWEEN VERTICAL

WALL PER WALL

SECTIONS

**Z-CHANNELS** 

TYPICAL AT EXTERIOR WALL

WHERE COOLER OCCURS

FINISH SCHEDULE

MANUFACTURER

ROOF DECK

- 2) ENSURE TOP PLATES AND THE JOINTS BETWEEN WALLS AND CEILINGS ARE SEALED.
- 3) DUCT SHAFT & PIPING PENETRATIONS: OPENINGS FROM CRAWL SPACE AND ATTIC SHALL BE SEALED.
- 4) ALL SHAFTS: PROPER FLASHING AROUND FLUE AND GAPS SEALED AND CAULKED
- 5) ALL PENETRATIONS AT EXTERIOR WALLS SHALL BE SEALED INCLUDING VENTS AND ELECTRICAL CONDUIT & BOXES.

PROVIDE CORROSION-PROOF RODENT/BIRD SCREENS (E.G., STEEL MESH) FOR ALL BUILDING OPENINGS THAT CANNOT BE FULLY SEALED AND CAULKED (E.G., VENTILATION SYSTEM INTAKE / EXHAUST OUTLETS AND ATTIC VENT OPENINGS).

SCALE: NO SCALE

TO UNDERSIDE OF DECK OR 6"

-WALL BASE PER ROOM

FINISH SCHEDULE

SIMILAR TO E, SUBSTITUTE 6"

ROOF DECK

@ 16" O.C.

SHEET A104

WHERE PRESENT

MANUFACTURER

FLOOR

SOFFIT AT COOLER

A100

-2-1/2" DEFLECTION TRACK,

SCREW TO UNDERSIDE OF

3-5/8" METAL STUD FRAMING

-5/8" GYPSUM BOARD, FINISH

PER ROOM FINISH SCHEDULE, EXTEND TO UNDERSIDE OF DECK OR 6" ABOVE CEILING

-GYPSUM BOARD TO WRAP

UNDERNEATH, FINISH TO MATCH WALL FACE ABOVE

COOLER PANEL PER COOLER

-WALL BASE PER ROOM FINISH SCHEDULE

PARTITION TYPES

-SUSPENDED CEILING PER

METAL STUD FRAMING

PER

PLAN

ABOVE CEILING WHERE PRESENT.

#### INTERIOR WALL INSULATION & FIRE BLOCKING

- ALL INTERIOR PARTITIONS ARE TO BE INSULATED USING UNFACED BATT INSULATION. REFER TO PARTITION TYPE KEYS THROUGHOUT PLANS.
- \* UNFACED BATT INSULATION ALSO ACTS AS FIRE BLOCKING WITHIN THE STUD WALLS; SECURE INSULATION WITHIN STUD SPACING.
- \* BATT INSULATION SHALL FILL THE ENTIRE DEPTH OF WALL CAVITY. PACK TIGHTLY AROUND PIPING OR CONDUIT WITHIN WALL CAVITY.
- \* EXTEND INSULATION 12" ABOVE CEILING LINE.
- 8. WHERE CEILING OCCURS, STOP SHEATHING 6" ABOVE CEILING AND CONTINUE EVERY THIRD FRAMING MEMBER TO UNDERSIDE OF DECK/DEFLECTION TRACK. REFER TO REFLECTED CEILING PLAN (A104) AND ROOM FINISH SCHEDULE (A600.)

PAINTED

TYPICAL AT SEATING

SIMILAR TO G. OMIT SOLID

SURFACE CAP, GLASS PANEL

ROOF DECK

@ 16<sup>11</sup> O.C.

AND GLASS PANEL SUPPORTS

FINISH SCHEDULE

-WALL BASE PER ROOM

-2-1/2" DEFLECTION TRACK,

5/8" GYPSUM BOARD, FINISH

PER ROOM FINISH SCHEDULE

SUSPENDED CEILING PER

SCREW TO UNDERSIDE OF

3-5/8" METAL STUD FRAMING

PROVIDE J-BEAD AT

SHEET A104

I" INSULATED, TEMPERED

-GASKET

STOREFRONT

TYPICAL AT VESTIBULE

TERMINATION OF GYP. BD.

- 9. WHERE NO CEILING OCCURS, CONTINUE FRAMING AND SHEATHING TO UNDERSIDE OF DECK/DEFLECTION TRACK REFER TO REFLECTED CEILING PLAN (A104) AND ROOM FINISH SCHEDULE (A600.)
- 10. WHERE WALL TILE OCCURS, SUBSTITUTE W/ 5/8" CEMENT BOARD SHEATHING. REFER TO INTERIOR ELEVATIONS (A400, A700, AND A701) AND ROOM FINISH SCHEDULE (A600.)

21-811

13'-0"

321-411

- 11. WHERE FRP OCCURS, SUBSTITUTE O'-O" TO 3'-O" 5%" DUROCK CEMENT BOARD, 3'-O" AND ABOVE - %" ORIENTED STRAND BOARD (OSB) REFER TO INTERIOR ELEVATIONS (A400, A700, AND A701) AND ROOM FINISH SCHEDULE A600.)
- 12. WHERE DECORATIVE PLAM "WOOD" WALL OCCURS SUBSTITUTE %" ORIENTED STRAND BOARD

BEER CAVE

421L)

13. WHERE DEFLECTION TRACK IS INDICATED, HOLD WALL SHEATHING 1/2" BELOW UNDERSIDE OF ROOF DECK. NO SHEATHING FASTENERS WITHIN 6" OF DEFLECTION TRACK.

11<sup>1</sup>-8<sup>11</sup>

14. PROVIDE 2x BLOCKING AS NEEDED FOR WALL MOUNTED FIXTURES.

jeffery a. scott

32316 grand river ave.

farmington, mi 48336

JSCOTTARCHITECTS.COM

248-476-8800

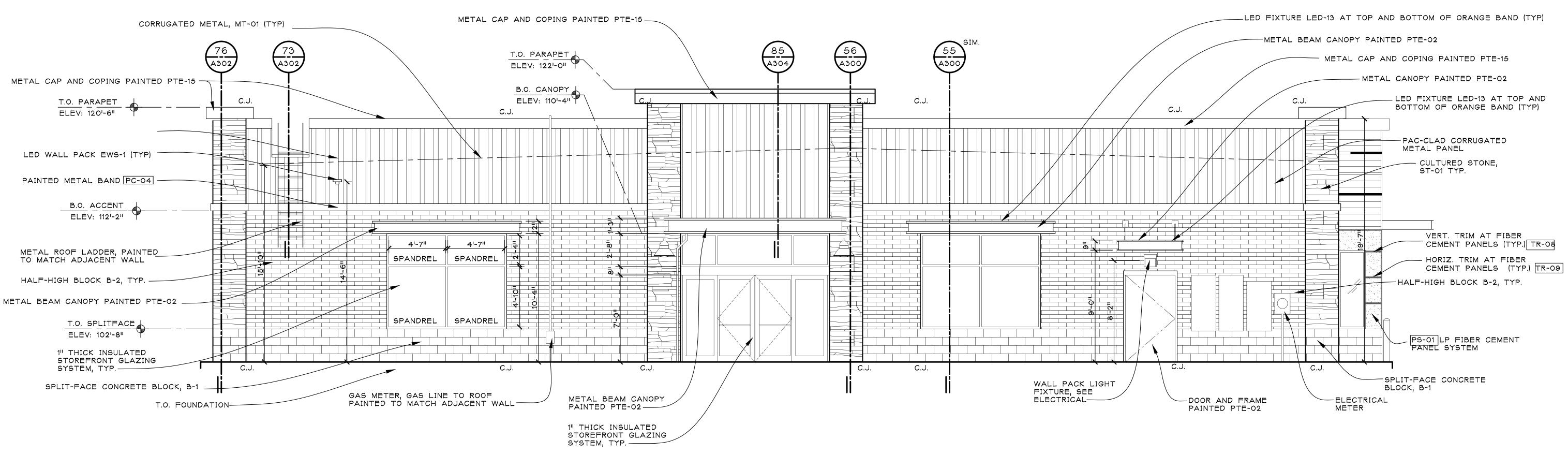
architects p.c.

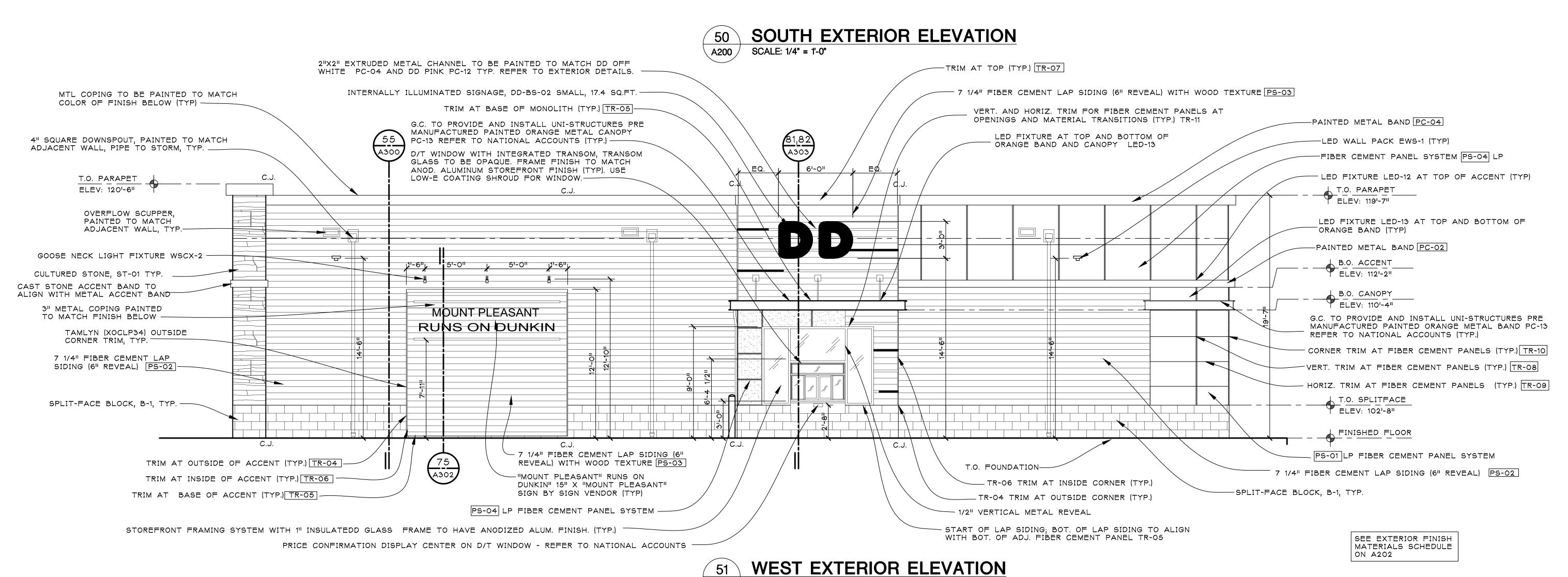
suite 200

DO NOT SCALE PRINTS USE FIGURED DIMENSIONS ONLY

20023

A100





SCALE: 1/4" = 1'-0"

A200

jeffery a. scott architects p.c.

> 32316 grand river ave. suite 200 farmington, mi 48336 248-476-8800 JSCOTTARCHITECTS.COM

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SHEET TITLE:

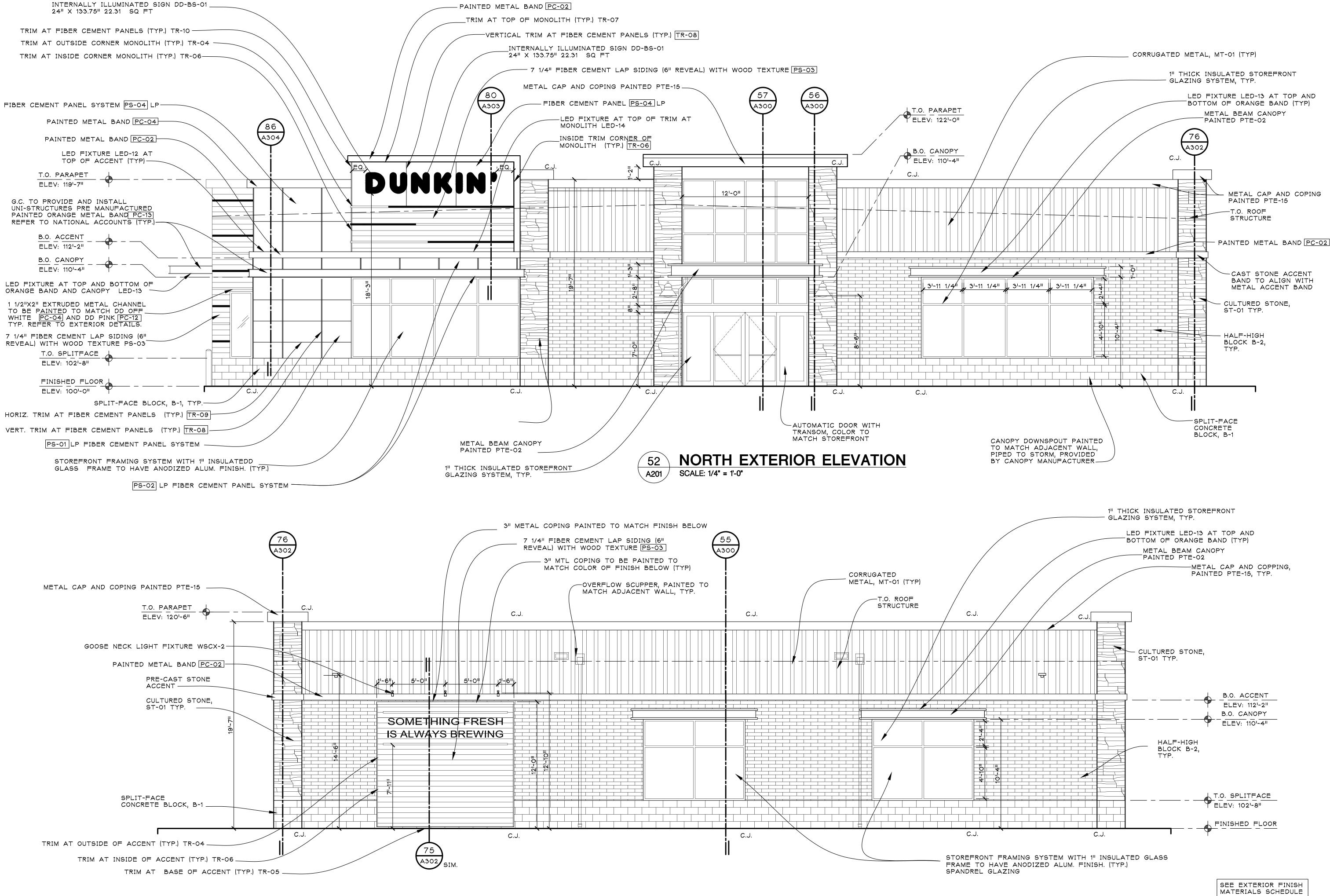
EXTERIOR :LEVATIONS

ISABELL 11 48858 SIFIELD AND IS LEASANT, MI PC# 359975 BROO MT.

ISSUED FOR: BIDS AND PERMITS 12/1/2020

DO NOT SCALE PRINTS USE FIGURED DIMENSIONS ONLY

A200



AROHITEOT.

jeffery a. scott architects p.c.

32316 grand river ave. suite 200 farmington, mi 48336 248-476-8800

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SHEET TITLE:

EXTERIOR :LEVATIONS

PROJECT:

GAS/DUNKIN
BROOMFIELD AND ISABELLA
MT. PLEASANT, MI 48858
PC# 359975

ISSUED FOR:

ERP 9/29/2

BIDS & PERMITS 12/1/2020

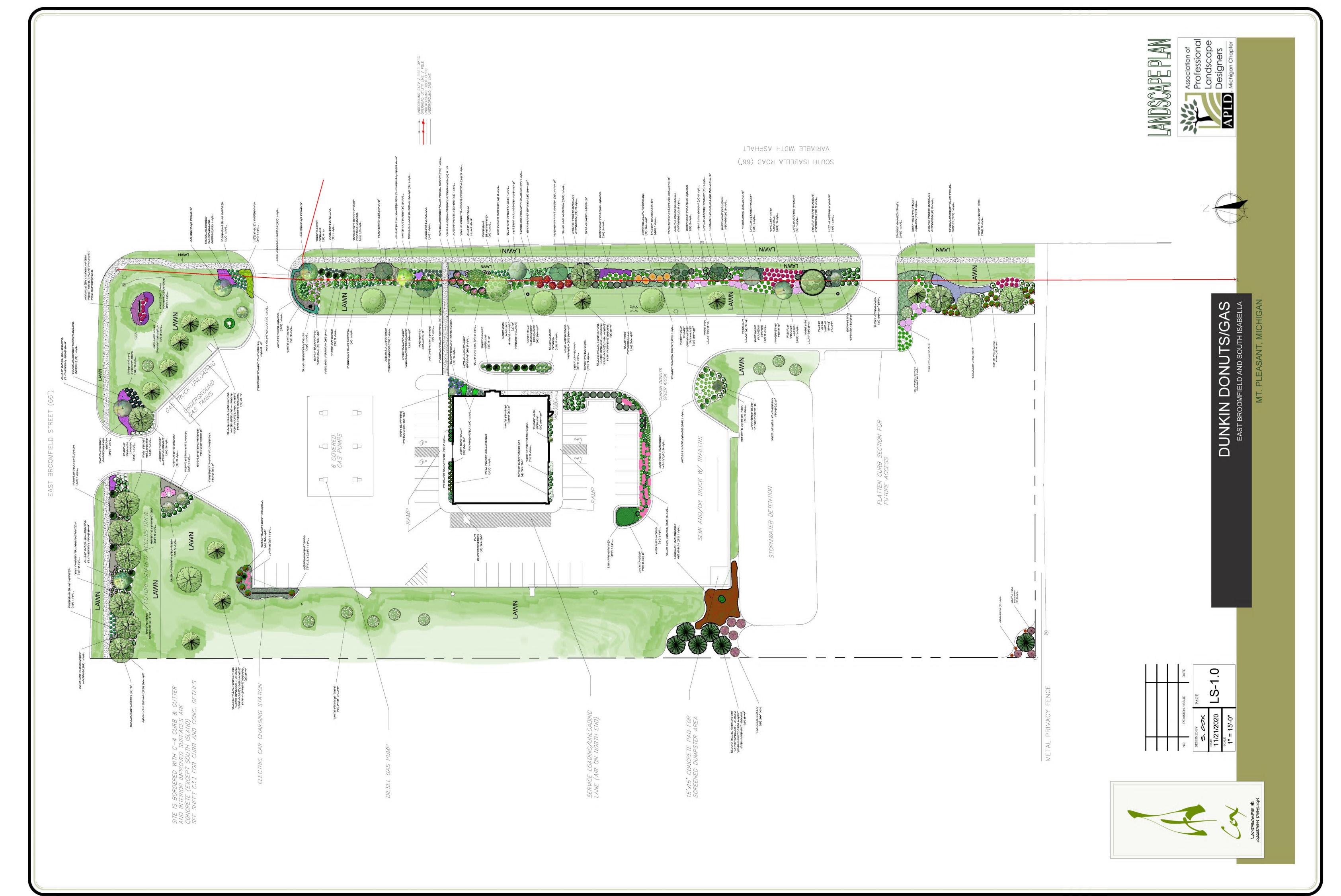
DO NOT SCALE PRINTS
USE FIGURED DIMENSIONS ONLY

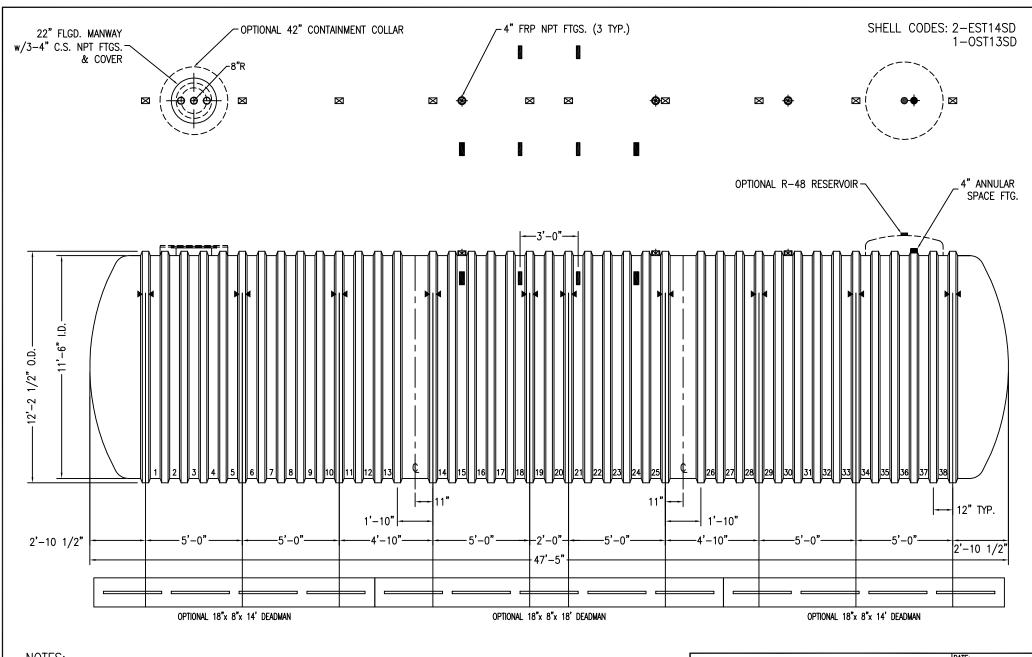
20025

ON A202

20023

A201





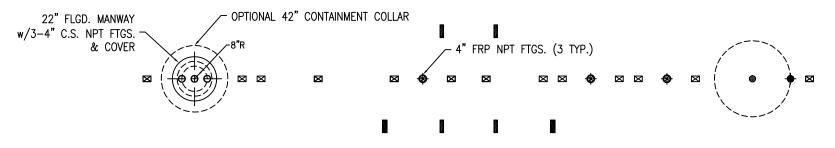
#### NOTES:

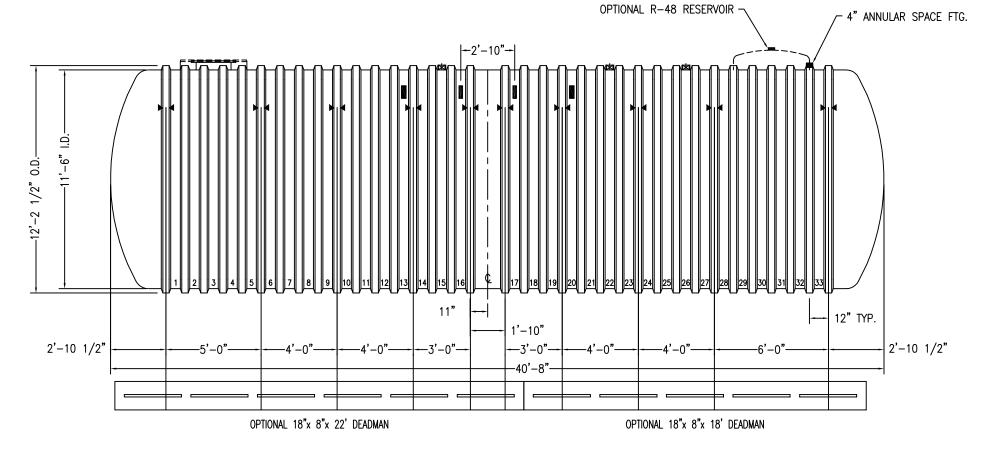
► ■ HOLD DOWN STRAP LOCATION

TYPE "13" LIFT LUG - SD

TYPE "13" LIFT LUG - HD

DWT 6 (12') 35	5000	DATE: 10/01/18
		DRAWN BY: R.OXNER
CONTAINMENT	CAPACITY: 35,456	REVISED:
SOLUTIONS	WEIGHT: DRY/WET 26400/35100	DWG NUMBER: 12-35DW6F





#### NOTES:

► 

HOLD DOWN STRAP LOCATION

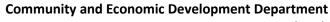
TYPE "13" LIFT LUG - SD

TYPE "13" LIFT LUG - HD

DWT 6 (12')-30	DATE: 10/01/18	
		DRAWN BY: R.OXNER
	CAPACITY:	REVISED:
CONTAINMENT	30,147	123
SOLUTIONS®	WEIGHT: DRY/WET 22800/30350	DWG NUMBER: 12—30DW6F

# <u>Draft Motions</u>: PSPR 20-04 Grayling Investors Dunkin Donuts-Marathon Filling Station Final Site Plan Review Application

Motion by, supported by, to approve the PSPR 20-04 final site plan from Grayling Investors LLC for the construction of a new Dunkin Donuts convenience store, drive-through lane, and Marathon filling station on parcel number 14-026-20-001-06, located on approximately 6.94 acres on the southwest corner of the E. Broomfield Road and S. Isabella Road intersection in the northwest quarter of Section 26 and in the B-5 (Highway Business) zoning district, finding that the January 19, 2021 site plan fully complies with the applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval).
MOTION TO APPROVE WITH CONDITIONS:
Motion by
MOTION TO POSTPONE ACTION:
Motion by, supported by, to
Motion by, supported by, to postpone action on the PSPR 20-04 final site plan from Grayling Investors LLC for the construction of a new Dunkin Donuts convenience store, drive-through lane, and Marathon filling station on parcel number 14-026-20-001-06 until





2010 S. Lincoln Rd. Mt. Pleasant, MI 48858 989-772-4600 ext. 232

#### **FINAL SITE PLAN REPORT**

TO: Planning Commission DATE: February 09, 2021

**FROM:** Peter Gallinat, Zoning Administrator **ZONING:** B-5 Highway Business District

PROJECT: PSPR21-01 Final Site Plan Approval Application for a new Sam's Club filling

station, 4850 Encore Drive.

**PARCEL(S):** PID 14-026-30-001-07

**OWNER(S):** Sam's Club

**LOCATION:** Approximately 16.8 acres west and north of Encore Drive in the SW 1/4 of Section

26.

**EXISTING USE:** Sam's Club Retail/Warehouse **ADJACENT ZONING:** B-5

**FUTURE LAND USE DESIGNATION:** *Bluegrass Center Area.* While currently more auto-centric, this area has the potential to transition into a more walkable, vibrant center. Future uses should be integrated to include multi-story, mixed-use buildings; first floor retail and office uses; public use and spaces; entertainment and restaurant venues; and additional attached housing types such as townhouses. Both vehicular and pedestrian cross connections should be promoted between sites, providing for future connections through easements, and should collectively promote a vibrant, livable center to the neighboring university population.

**ACTION REQUESTED:** To review and take action to approve, deny, or approve with conditions the PSPR 21-01 final site plan dated January 26, 2021 for the Sam's Club Filling Station.

#### Status of the Special Use Permit for this Project

A special use permit for a filling station was previously approved in 2005, but the required site plan for the filing station was never approved. A new special use permit is not required because this approval stays with the land once approved.

#### **Site Plan Approval Process**

A preliminary site plan PSPR20-02 was revied and approved January 2021. Changes have been made and the applicant has submitted a final site plan for approval.

#### **Final Site Plan Review Comments**

The following additional comments are based on the standards for final site plan approval and specific elements of the proposed site plan:

- 1. **Section 14.2.P. (Required Site Plan Information).** The final site plan complies with Section 14.2.P.
- 2. Section 8 (Environmental Performance Standards). Applicant has indicated on the site plan that the nearest drinking water well is located approximately 1,500 feet west of the proposed site of the underground fuel storage tanks for this filling station. The site plan includes soil erosion/sedimentation control and stormwater runoff pollution prevention plan details. The applicant has provided the hazardous substance reporting form, EGLE permit checklist and documentation from the State of Michigan for underground fuel tanks less than 2,000 feet from municipal water well.
- 3. **Section 9 (Off-Street Parking).** Parking required per section 9.2(F) is 1.5 spaces per fueling station. The project complies with this requirement. A total of 34 parking spots have been provided. Details provided are page 26 of 27 of the site plans.
- 4. **Section 7.10 (Sidewalks and Pathways).** Applicant has provided sidewalks along the eastern and southern portion of the site along Encore Blvd. The proposed sidewalk is 5 feet in width and continues north from the site to connect to the existing public sidewalks adjacent to the Members First Credit Union and to the existing internal sidewalk connection to the Wal-Mart building (see details on sheets 14 or 15). The site plan also includes a proposed sidewalk along the south side of the filling station site that is actually located on a thin triangle of land owned by Mount Pleasant Holdings LLC. The applicant has submitted a revised draft amendment to the Easements with Covenants and Restrictions Affecting Land agreement originally entered into in 2005 with Wal-Mart, Sam's, Menard, and Bluegrass Investment Group, LLC. The revised draft amendment identifies this thin triangular area of land on "Exhibit A" as "Sam's Maintenance and Access Area."

The draft language has been changed to include the construction of sidewalks and includes the entire easement area.

- 5. **Section 6.18 (Filing Stations...).** The proposed site plan complies with Section 6.18 requirements for access, minimum lot size, setbacks, and lighting for a filling station.
- 6. **Consistency with the Master Plan.** Completion of the public sidewalk network along the west side of Encore Blvd. will help to create a more walkable center consistent with Master Plan goals for the Bluegrass Center Area. The proposed filing station land use is not consistent with the Plan's focus on mixed-use development but, is consistent with the previously approved special use permit for a filling station at this location.
- 7. **Section 8.2 (Exterior Lighting).** Photometric plan on page 18 of 27 of the plans demonstrates compliance with the requirements of this Section.
- 8. **Section 10.2.B (General Landscaping Requirements).** Site plan complies with the applicable landscaping requirements of the Zoning Ordinance. Details on page 19 of 27.
- 9. Outside agency approvals. The applicant has obtained all necessary permits or

approvals from applicable outside agencies. This plan has approvals from the Mt. Pleasant Fire Department, Isabella County Road Commission, Storm Water approval from the Isabella County Drain office, Isabella County Transportation Commission, the Township Public Services Department, and the State of Michigan.

#### **Objective**

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

#### **Key Findings**

- 1. The proposed filing station does not conform to the Master Plan's mixed-use goal for the Bluegrass Center Area but, is consistent with the previously approved special use permit for a filling station at this location.
- 2. The final site plan fully conforms to Section 14.2.P. (Required Site Plan Information) and Section 14.2.S. (Standards for Site Plan Approval).

#### **Recommendations**

Based on the above findings, I would ask that the Planning Commission consider taking action to approve PSPR21-01 final site plan dated January 26, 2021 for the Sam's Club Filling Station as presented.

Please contact me at (989) 772-4600 ext. 241, or via email at pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat, Zoning Administrator

Community and Economic Development Department

#### **Charter Township of Union**

#### **APPLICATION FOR SITE PLAN REVIEW**

Name of Proposed Dev	velopment/Project	Sam's Club Fueling Station #4982-211
	of Property & Address (if issued)	
Applicant's Name(s)	Keith Moore,	Carlson Consulting Engineers, Inc.
Phone/Fax numbers	(901) 384-0404 / (901) 384-0	10 Email keithmoore@carlsonconsulting.net
Address	7068 Ledgestone Commons	City: Bartlett, TN Zip: 38133
Legal Description:	Attached / Included on Site P	an Tax Parcel ID Number(s): 14-026-30-001-07
Existing Zoning:	Land Acreage: 16.79 ac Exis	ing Use(s): Commercial Retail
✓ ATTACHED: Letter	describing the project and how it confor	ns to Section 14.2.S. (Standards for Site Plan Approval)
Firm(s) or Individuals(s) who	Name: Carlson Consulting Eng     Address: 7068 Ledgestone Comr	neers, Inc. Phone: Email Email (901) 384-0404 keithmoore@carlsonconsulting.net
prepared site plan(s)		t State: TN Zip: 38133
	Contact Person:	Keith Moore Phone (901) 384-0404
Legal Owner(s) of	1. Name: Sam's Real Es	ate Business Trust Phone: (479) 360-3196
Property.		101 SE Simple Savings Drive
All persons having	City: Bentonvi	<u>e</u> State: <u>AR</u> Zip: <u>72716-07</u>
legal interest in the property must sign	Signature: Mysot Par	Owner
this application.	2. Name: Cheksea Penr	Interest in Property: Owner  Series Wanager Phone:
Attach a separate	Address:	
sheet if more space	City:	State: MI Zip:
is needed.	Signature:	Interest in Property: owner/lessee/other
true and accurate to t all the owners of the p any permits issued pu	he best of my knowledge and that I a property. False or inaccurate informat rsuant to site plan approval and/or re	ptions, exhibits submitted on or with this application are in authorized to file this application and act on behalf of on placed upon this plan may be cause for revocation of noval of work installed. Approval of this plan shall not rdinance or other applicable codes and ordinances.
1114	GD 1-	11/0/12
Sig	gnature of Applicant	Pate
	Office U	se Only
Application Received E	Ву:	Fee Paid: \$
Date Received:		Escrow Deposit Paid: \$

#### **CHARTER TOWNSHIP OF UNION**

#### SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business:	Sam's Club Fueling Station #4982-211
Name of business owner(s):	
	Sam's Real Estate Business Trust
Street and mailing address:	2101 SE Simple Savings Drive
Telephone: (479) 360-3	Bentonville, AR 72716-0745 196
Fax:	
Email: cpenn@sam:	sclub.com
affirm that the information submi	tted is accurate.
Owner(s) signature and date:	Auks fine
7.0	16/21
Information compiled by:	
	Carlson Consulting Engineers, Inc.

# Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

COMMON NAME	CHEMICAL NAME (components)	FORM	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
Gasoline		Liquid	52,000 gallons	UGT
Diesel		Liquid	8,000 gallons	UGT
	VEV.			, mark
	NET.			NEY:
	LiQ. = liquid			AGT = above ground tank
	P.LIQ = pressurized liquid			DM = drums
NON	S = solids			UGT = underground tank
	G = gas			Cy = cylinders
	PG = pressurized gas			CM = metal cylinders
				CW = wooden or composition
				container
				TP = portable tank

#### PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

#### Michigan.gov/EGLEpermits

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: Michigan.gov/EHSguide. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

Но	ow Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes	No 🗆
1)	Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), <a href="Permit Section">Permit Section</a>	Υ□	ΝX
2)	Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, <u>Asbestos Program</u> , 517-284-6777	Υ□	NX
3)	Please consult the <u>Permitting at the Land and Water Interface Decision Tree document</u> to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - <u>Joint Permit Application</u> , 517-284-5567:		
	Does the project involve construction of a building or septic system in a designated     Great Lakes high risk erosion area?      Does the project involve deadsing filling greating or other objects and the soil.	Υ□	ΝX
	b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y	NX
	c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Υ□	NX
	d. Does the project involve construction of a dam, weir or other structure to impound flow?	Y	NX
4)	Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? <b>Union Township and Isabella County</b>	ΥX	N□
5)	Does the project involve the construction or alteration of a water supply system system? <b>Union Township Public Services Department and</b> <u>Drinking Water &amp; Environmental Health Division</u> (DWEHD), 517-284-6524	Y	NX
6)	Does the project involve construction or alteration of any sewage collection or treatment facility? <b>Union Township Public Services Department</b> and <u>WRD, Part 41 Construction</u> <u>Permit Program (staff)</u> , 906-228-4527, or <u>EGLE District Office</u>	Υ□	N)X
7)	Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? <b>Union Township</b> and <a href="Public Swimming Pool">Program</a> , 517-284-6541, or <a href="EGLE District Office">EGLE District Office</a>	Y	NX
8)	Does the project involve the construction or modification of a campground? <b>Union Township</b> and DWEHD,Campgrounds program, 517-284-6529	Y	иХ

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9) Does the project involve construction of a facility that landfills, transfers, or processes of type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or or the ground? Materials Management Division (MMD), <u>Solid Waste</u> , 517-284-6588, or <u>EGLE Di</u> <u>Office</u>	nto V	NX
10) Does the project involve the construction of an on-site treatment, storage, or disposal fa for hazardous waste? MMD, Hazardous Waste Section, <u>Treatment, Storage and Disposal</u> , 517-284-6562		NX
Who Regulates My Drinking (Potable) Water Supply?		
11) I am buying water from the municipal water supply system Contact the Union Township Public Services Dept.	YX	N□
12) I have a Non-Community Water Supply (Type II) <u>Guide</u> , <u>Contact (District or County) Local Health Department</u> , 517-485-0660	Y	N
13) I am a community water supply (Type I) Community Water Supply, DWEHD District Office Community Water Supply Program, 517-284-6512	Y	NX
14) Do you desire to develop a <u>withdrawal of over 2,000,000 gallons of water per day</u> from a source including groundwater, inland surface water, or the Great Lakes and their connect waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563		иЖ
Who Regulates My Wastewater Discharge System?		
15) NPDES: Does the project involve the discharge of any type of wastewater to a storm sew drain, lake, stream, or other surface water? WRD, <u>EGLE District Office</u> , or <u>National Polluta Discharge Elimination (NPDES) Permit Program</u> , 517-284-5568	The second secon	NX
16) Does the facility have industrial activity that comes into contact with storm water that ensurement storm sewer, drain, lake, stream, or other surface water? WRD, <u>Permits Section</u> , or <u>EGLE District Office</u> , 517-284-5588	The state of the s	Ν <mark>Ϫ</mark>
17) Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsidisposal or irrigation)? WRD, <u>Groundwater Permits Program</u> , 517-290-2570	urface Y□	NX
18) Does the project involve the drilling or deepening of wells for waste disposal? Oil, Gas ar Minerals Division (OGMD), 517-284-6841	<u>nd</u> Y□	NX
What Operational Permits Are Relevant to My Operation and Air Emissions?		
19) Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, <u>Permit Section</u> , 517-284-6634		NX
20) Does your facility have an electric generating unit that sells electricity to the grid and bur fossil fuel? AQD, <u>Acid Rain Permit Program</u> , 517-780-7843	ns a Y□	NX
What Operational Permits Are Relevant to My Waste Management?		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? 517-284-6588 or EGLE District Office	MMD, Y	иЖ
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? MMD, <u>Hazardous and Liquid Waste</u> , 517-284-6562	Y	NX
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (Hazardous Waste, Program Forms & License Applications) MMD, EGLE District Office, 517-284-6562	aste Y□	NX

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, Radioactive Material and Standards Unit, 517-284-6581	Υ□	ΝX
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD <u>Radioactive Material and Standards Unit</u> , 517-284-6581	Υ□	n <b>X</b>
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, <u>Medical Waste Regulatory Program</u> , 517-284-6594	Y□	NX
What Sector-Specific Permits May be Relevant to My Business?		
<u>Transporters</u> 27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste?	Y	NX
<ul> <li>MMD, <u>Transporter Program</u>, 517-284-6562</li> <li>Does the project involve the <i>transport</i> of hazardous waste? MMD, <u>Transporter Program</u>, 517-284-6562</li> </ul>	Y	NX
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, <u>Water Hauler Information</u> , 517-284-6527	Y□	NX
30) Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, <u>Septage Program</u> , 517-284-6535	Y□	NX
31) Do you store, haul, shred or process scrap tires? MMD, Scrap Tire Program, 517-284-6586	Υ□	NX
Sectors		
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, <u>Dry Cleaning Program</u> , 517-284-6780	Υ□	NX
33) Does your laboratory test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? <u>Laboratory Services Certifications</u> , 517-284-5424	Υ□	NX
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, <u>Public Swimming Pools Program</u> , 517-284-6529	Y	NX
35) Does the project involve the operation of a campground? Union Township and DWEHD, Campgrounds, 517-284-6529	Y□	иД
What Permits Do I Need to Add Chemicals to Lakes and Streams?		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, Aquatic Nuisance Control, 517-284-5593	Y	NX
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, <a href="Surface Water Assessment Section">Surface Water Assessment Section</a> , 517-331-5228	Y	ΝX

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Why would I be subject to Oil, Gas and Mineral Permitting?				
38) Do you want to operate a central production facility (applies to oil and where products of diverse ownership are commingled)? OGMD, Petrol Production Unit, 517-284-6826		иЖ		
39) Does the project involve the removal of sand from a sand dune area w Great Lakes shoreline? OGMD, Minerals and Mapping Unit, <u>Sand Dune</u> 517-284-6826		NX		
40) Does the project involve decommissioning or decontamination of tank appurtenances that may have radioactive levels above background? M <u>Protection Programs</u> , 517-284-6581		NX		
Petroleum & Mining, OGMD, 517-284-6826				
41) Does the project involve the diversion and control of water for the min low-grade iron ore?	ing and processing of	NX		
42) Does the project involve the surface or open-pit mining of metallic min	eral deposits? Y□	4		
43) Does the project involve the mining of nonferrous mineral deposits at underground mines?	the surface or in	n <b>X</b> i NXi		
44) Does the project involve mining coal?	Y			
45) Does the project involve changing the status or plugging of a mineral w	/ell? Y□	NX		
46) Does the project involve the drilling or deepening of wells for brine promining, storage, or as test wells?		NX		

Contact Union Township and EGLE Permits & Bonding, OGMD, 517-284-6841

#### MICHIGAN DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS - BUREAU OF FIRE SERVICES - STORAGE TANK DIVISION

#### UNDERGROUND STORAGE TANK PLAN REVIEW REPORT

This information is required under Part 211, Underground Storage Tank Regulations, of the Natural Resources and Environmental Protection Act, Act 451 of the Public Acts of 1994 as amended, being Sections 324.2110 to 324.21113 of the Michigan Complied Laws Annotated. Any owner who knowingly fails to notify or submits false information shall be subject to a misdemeanor and/or civil penalties not to exceed \$5000 per day for each tank which notification is not given or for which false information is submitted.

~	DATE 8/20/2020	TANK NUMBERS 1, 2, 3			REFERENCE# PR-0193-20
SUBMITTER Marie Brouhard APTIM 8725 Rosehill Rd., Suite 450 Lenexa, KS, 66215		PROJECT: ADDRESS: COUNTY:	Sam's Club Fuel 4850 ENCORE MOUNT PLEAS ISABELLA	BLVD	

Following a review of the submitted underground storage tank installation – pre-registration information, no major deficiencies were noted. However, please be sure the following requirement are met;

- Please note this "approved" plan review is not for a "FLEX FUEL" type system. Prior review and approval will be required to convert tank system to a "FLEX FUEL" type system at a later date.
- Owner shall verify the location of all active water wells prior to UST installation and confirm required setback distances to UST systems per Section 12701 of Part 127 of 1978 PA 368 MCL 333.12701 (Water Supply & Sewer Systems) and Section 1001 of 1976 PA 399, MCL 325.1001 to 325.1023 (Safe Drinking Water Act) and rules promulgated under (1978 PA 368) & (1976 PA 399) are met.

Hazardous Materials Storage Inspector Fred Bennett of the Department of Licensing and Regulatory Affairs, Fire Service Bureau, Storage Tank Division, telephone number 989-387-7991, must be notified to schedule inspections NOT LESS THAN SEVEN CALENDAR DAYS BEFORE INSTALLATION of the UST system as required in the Michigan Underground Storage Tank Rules

This installation may not be placed into service until Department of Licensing and Regulatory Affairs personnel have conducted a final inspection, or if the inspection is not made within two working days of the scheduled installation date, excluding Saturdays, Sundays and holidays, the UST system may be covered from the sight and a notarized affidavit shall be submitted by the owher to this office attesting to the face that the installation complies with applicable rules.

The Michigan Underground Storage Tank Rules, 2008 AACS R 29.2101 et seq., Rule 63, Section 280.93, requires owners or operators of petroleum underground storage tanks to provide evidence of financial responsibility at the time of inspection.

Provide certification of compliance with the National Electrical Code at final inspection.

If this system is not installed within one year, please contact this office for possible resubmittal of plans.

Pursuant to Part 211, Underground Storage Tank Regulations, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA), it is the owner's responsibility that a Registration for Underground Storage Tanks (Form BFS 3821) be forwarded to this office after the tank has been installed and prior to use.

This review is based upon submitted information, and is not considered a permit. Approval of a tank installation plan by the Department of Licensing and Regulatory Affairs, does not relieve an owner or installer from having to meet the requirements of the other state and local government laws, including zoning laws. The Hazardous Materials Storage Inspector may find additional deficiencies during site inspections.

If you have any questions concerning this matter, please contact the Storage Tank Division at (517) 241-8847.

lerry <u>Arnold</u> Jerry Arnold

Engineer

Storage Tank Division

BFS 3830 (REV 12/12)

From: Rick Collins
To: Keith Moore
Cc: Peter Gallinat

Subject: RE: #4982-211 Mt Pleasant - Sam"s Fuel Station - ICTC Review

**Date:** Friday, January 8, 2021 3:03:35 PM

Attachments: <u>image001.jpg</u>

I have no issue.



#### **Rick Collins | Executive Director**

2100 E. Transportation Dr|Mt. Pleasant, MI 48858 Phone 989.773.6766 | Fax 989.773.1873 rcollins@ictcbus.com

Visit our website at ictcbus.com

**From:** Keith Moore <KeithMoore@carlsonconsulting.net>

**Sent:** Monday, January 4, 2021 11:05 AM **To:** Rick Collins <rcollins@ictcbus.com>

Cc: '(pgallinat@uniontownshipmi.com)' <pgallinat@uniontownshipmi.com>

Subject: RE: #4982-211 Mt Pleasant - Sam's Fuel Station - ICTC Review

Rick,

After further coordination with Township Staff, we've expanded the sidewalk extension associated with this project to connect to the existing sidewalk on the west side of Encore north of the existing Walmart. Attached are updated copies of the Site Plans for your records. Please let me know if this changes anything on your end or if you still have no concerns/comments. Thank you!

#### Keith Moore, PE

#### Lead Project Manager | Carlson Consulting Engineers, Inc.

7068 Ledgestone Commons | Bartlett, TN 38133

Ph. 901.384.0404 (Ext 108) | Fax 901.384.0710 | www.CarlsonConsulting.net

From: Rick Collins < <a href="mailto:rcollins@ictcbus.com">rcollins@ictcbus.com</a>>
Sent: Tuesday, July 28, 2020 11:19 AM

**To:** Keith Moore < KeithMoore@carlsonconsulting.net >

**Cc:** '(pgallinat@uniontownshipmi.com)' <pgallinat@uniontownshipmi.com>

Subject: RE: #4982-211 Mt Pleasant - Sam's Fuel Station - ICTC Review

Thanks for the update. I have no issues with the changes.



#### **Rick Collins | Executive Director**

2100 E. Transportation Dr|Mt. Pleasant, MI 48858 Phone 989.773.6766 | Fax 989.773.1873 rcollins@ictcbus.com **From:** Keith Moore < KeithMoore@carlsonconsulting.net >

**Sent:** Wednesday, July 22, 2020 10:34 AM **To:** Rick Collins < rcollins@ictcbus.com >

**Cc:** '(pgallinat@uniontownshipmi.com)' <pgallinat@uniontownshipmi.com> **Subject:** RE: #4982-211 Mt Pleasant - Sam's Fuel Station - ICTC Review

Rick,

I wanted to send you an updated copy of our Site Plan for your review. Per further discussions with Township staff, we've added a sidewalk extension along our site's frontage of Encore Drive. Let me know if this changes anything on your end. Thanks.

#### **Keith Moore, PE**

#### **Lead Project Manager | Carlson Consulting Engineers, Inc**

7068 Ledgestone Commons | Bartlett, TN 38133

Ph. 901.384.0404 (Ext 108) | Fax 901.384.0710 | www.CarlsonConsulting.net

**From:** Keith Moore

**Sent:** Friday, June 5, 2020 10:15 AM **To:** Rick Collins < <a href="mailto:rcollins@ictcbus.com">rcollins@ictcbus.com</a>>

**Cc:** '(pgallinat@uniontownshipmi.com)' <pgallinat@uniontownshipmi.com>

Subject: RE: #4982-211 Mt Pleasant - Sam's Fuel Station - ICTC Review

Thank you!

#### **Keith Moore, PE**

#### **Lead Project Manager | Carlson Consulting Engineers, Inc**

7068 Ledgestone Commons | Bartlett, TN 38133

Ph. 901.384.0404 (Ext 108) | Fax 901.384.0710 | www.CarlsonConsulting.net

**From:** Rick Collins < <a href="mailto:rcollins@ictcbus.com">rcollins@ictcbus.com</a>>

**Sent:** Friday, June 5, 2020 9:52 AM

**To:** Keith Moore < KeithMoore@carlsonconsulting.net >

Cc: '(pgallinat@uniontownshipmi.com)' <pgallinat@uniontownshipmi.com>

Subject: RE: #4982-211 Mt Pleasant - Sam's Fuel Station - ICTC Review

I have no concerns with the attached plans. Thanks you.



#### **Rick Collins | Executive Director**

2100 E. Transportation Dr | Mt. Pleasant, MI 48858 Phone 989.773.6766 | Fax 989.773.1873 rcollins@ictcbus.com

Visit our website at ictcbus.com

**From:** Keith Moore < KeithMoore@carlsonconsulting.net >

**Sent:** Friday, June 5, 2020 9:18 AM **To:** Rick Collins < <a href="mailto:rcollins@ictcbus.com">rcollins@ictcbus.com</a>

**Subject:** #4982-211 Mt Pleasant - Sam's Fuel Station - ICTC Review

Rick,

We spoke a while back about our proposed project of building a new fueling station at the existing Sam's Club development in Mt Pleasant and we're now at the point that we're ready to start submitting for reviews. The fuel station is proposed to be located in the grassed area south of the parking area. See attached Overall Site Plan for reference. Can you review the proposed layout and let me know if you have any questions/comments on the layout? Thank you.

#### **Keith Moore, PE**

Lead Project Manager | Carlson Consulting Engineers, Inc

7068 Ledgestone Commons | Bartlett, TN 38133

Ph. 901.384.0404 (Ext 108) | Fax 901.384.0710 | www.CarlsonConsulting.net

Sam Ber Engineering

Bruce E. Rohrer, P.E. 1216 E. Gaylord Street Mt. Pleasant, Michigan 48858 (989) 330-2150

August 18, 2020

Peter Galliant Charter Township of Union Planner 2010 S. Lincoln Road Mt. Pleasant, MI 48858

RE: Storm Water Management Plan for Sam's Club Fueling Station

Dear Mr. Galliant:

The Sam's Real Estate Business Trust, for Sam's Club of Mt. Pleasant, MI has asked for a storm water plan review for a fueling station.

The Sam's Club Fueling Station and all other businesses on Encore Blvd., located in the SW ¼ of Section 26, Union Township, were incorporated into one overall stormwater design plan. The design calculations were based on all sites being developed. Therefore, the proposed fueling station for Sam's Club, drawing dated 07/22/2020, sheet 15 of 20, falls within the current overall storm water design and is consistent with the Union Township Storm Water Ordinance.

If you have any questions or need any further information, please feel free to contact me.

Sincerely,

Bruce E. Rohrer, P.E.

Brue E Robrer

Consulting Engineer

Isabella County

BER/taw

cc: Keith Moore, PE: Carlson Consulting Engineers, INC; keithmoore@carlsonconsulting.net

#### MT. PLEASANT FIRE DEPARTMENT

### INSPECTION REPORT 4850 ENCORE BLVD, MT. PLEASANT MI 48858



#### **DETAILS**

Inspection Date: 12/17/2020 | Inspection Type: PLAN REVIEW UNION TOWNSHIP - Site | Inspection Number: 1885 | Shift: Lieutenant | Station: Mt. Pleasant Fire Department | Unit: N/A | Lead Inspector: RANDY KEELER | Other Inspectors: N/A

STATUS	CODE	DESCRIPTION
FAIL	1 PROPERTY - Identification	No Code Description  Inspector: RANDY KEELER - Comments: Sam's Club #4982-211 4850 Encore BLVD Proposed Gas Station
FAIL	ACCESS AND WATER - Road and Water Supply	When fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternative methods of protection are provided. Temporary street signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles in accordance with Section 505.2 of the 2012 Edition of the International Fire Code.  Inspector: RANDY KEELER - Comments:
FAIL	ACCESS ROAD 150 FT - Buildings within 150ft of Access Road	All portions of a building are required to be within 150 feet of an approved Fire Department access road, in accordance with Chapter 5, Section 503.1.1 of the 2012 Edition of the International Fire Code.  Inspector: RANDY KEELER - Comments: Site Plan Meets Requirements
FAIL	ACCESS ROAD OBSTRUCTED - Dimensions and Clearances	All fire apparatus access roads, including parking lots, shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches in accordance with Chapter 5, Sections 503.2.1, 503.2.2, 503.3 and 503.4 of the 2012 Edition of the International Fire Code. Fire Prevention Ordinance 93.02(D)  Inspector: RANDY KEELER - Comments: Site Plan Meets Requirements
FAIL	BUILDING IDENTIFICATION - Buildings Shall Have Address Numbers	Provide address identification numbers in accordance with Chapter 5, Sections 505.1 of the 2012 Edition of the International Fire Code or applicable to the City of Mt. Pleasant code of ordinances 150.01 Land Usage.  Inspector: RANDY KEELER - Comments:

STATUS	CODE	DESCRIPTION			
FAIL	DUMPSTERS - Dumpster Locations	Dumpster's and containers with an individual capacity of 1.5 cubic yards or more shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines in accordance with Chapter 3, Section 304, and 304.3.3 of the 2012 Edition of the International Fire Code.  Inspector: RANDY KEELER - Comments: Maintain above distances			
FAIL	KNOX BOX - Knox Box Requirements and Location	Provide a Knox Key entry device and install it in approved location by the Fire Code Official, as in accordance with Chapter 5, Section 506.1, 506.1.1 and 506.2 of the 2012 Edition of the International Fire Code. (Go to Knoxbox.com and search by fire department or zip code - select "Mt. Pleasant Fire Department" and place order for the type of Knox box desired.)  Inspector: RANDY KEELER - Comments:			
FAIL	WATER SUPPLY (GPM) - Capable of Supplying the Required Fire Flow	Provide fire hydrants capable of supplying the required fire flow in accordance with Chapter 5, Section 507 of the 2012 Edition of the International Fire Code. The number and spacing of fire hydrants is based on the construction type and square footage of the building in accordance with Appendix B and C and tables B105.1 and C105.1 of the 2012 Edition of the International Fire Code. (Contact Fire Department to verify locations.)  Inspector: RANDY KEELER - Comments: Site Plan Meets Requirements-Existing on site hydrants meet fire flow requirements			
NEXT INS	PECTION DATE				
No Inspec	ition Scheduled				
CONTACT	CONTACT SIGNATURE				
Peter Gall	inat	Contact Refused Refusal Reason: N/A			
INSPECTO	INSPECTOR SIGNATURE				
RANDY KE Signed on	ELER : 12/17/2020 @ 11:14	_ +			

Printed on 12/17/2020 @ 11:14 Page 2 of 3

#### **QUESTIONS ABOUT YOUR INSPECTION?**

RANDY KEELER rkeeler@mt-pleasant.org 9897795122

# **Keith Moore**

From: Keith Moore

**Sent:** Monday, August 3, 2020 11:03 AM

**To:** Pat Gaffney

**Cc:** '(pgallinat@uniontownshipmi.com)'

Subject: RE: #4982-211 Mt Pleasant - Sam's Fuel Station - ICRC Review

Follow Up Flag: Follow up Flag Status: Flagged

Thanks Pat. Per our discussion, I understand that the minor grading within the ROW will not require a permit. However, if the contractor needs to close a lane while constructing the sidewalk such as for the concrete trucks, then they will need to obtain a permit for a lane closure. I'll add a note to the contractor on the plans stating that they must obtain a permit if any lane closures are required. Thank you for your help.

# Keith Moore, PE

# Lead Project Manager | Carlson Consulting Engineers, Inc

7068 Ledgestone Commons | Bartlett, TN 38133

Ph. 901.384.0404 (Ext 108) | Fax 901.384.0710 | www.CarlsonConsulting.net

From: Pat Gaffney <PGaffney@isabellaroads.com>

Sent: Monday, August 3, 2020 10:53 AM

To: Keith Moore < Keith Moore@carlsonconsulting.net>

Subject: RE: #4982-211 Mt Pleasant - Sam's Fuel Station - ICRC Review

Keith,

It appears that the sidewalk is going to be outside of the ROW. Only minor grading between the sidewalk and back of curb would need to be done. Attached is the permit form for working in the ROW.

Any construction signing for a lane closure shall be per the MMUTCD. MDOT Traffic standards.

Patrick J. Gaffney, PE Engineer Superintendent Isabella CRC 989-773-7131 x115 989-772-2371 fax pgaffney@isabellaroads.com

From: Keith Moore <KeithMoore@carlsonconsulting.net>

Sent: Monday, August 3, 2020 10:09 AM

To: Pat Gaffney < PGaffney@isabellaroads.com>

Subject: RE: #4982-211 Mt Pleasant - Sam's Fuel Station - ICRC Review

Pat,

Following up again. Best I can tell, there isn't any information on the Isabella Roads website about permitting work within the ROW. Please let me know what all you need from me to submit for review. Thank you.

# Keith Moore, PE

# Lead Project Manager | Carlson Consulting Engineers, Inc

7068 Ledgestone Commons | Bartlett, TN 38133

Ph. 901.384.0404 (Ext 108) | Fax 901.384.0710 | www.CarlsonConsulting.net

From: Keith Moore

Sent: Monday, July 27, 2020 1:37 PM

**To:** 'pgaffney@isabellaroads.com' <<u>pgaffney@isabellaroads.com</u>> **Subject:** RE: #4982-211 Mt Pleasant - Sam's Fuel Station - ICRC Review

Pat,

Touching base on the below issue. Attached is a more up-to-date Site Plan and a Grading Plan for the sidewalk extension for your use. Let me know what else you need from me to get the permit process started. Thank you!

# Keith Moore, PE

# Lead Project Manager | Carlson Consulting Engineers, Inc

7068 Ledgestone Commons | Bartlett, TN 38133

Ph. 901.384.0404 (Ext 108) | Fax 901.384.0710 | www.CarlsonConsulting.net

From: Keith Moore

Sent: Wednesday, July 22, 2020 9:35 AM

**To:** 'pgaffney@isabellaroads.com' <<u>pgaffney@isabellaroads.com</u>> **Subject:** RE: #4982-211 Mt Pleasant - Sam's Fuel Station - ICRC Review

Pat,

Per more recent conversations with Township staff, it looks like we're going to have to add a sidewalk in along our site's Encore Drive frontage. Attached is our updated Site Plan that shows the new sidewalk. I assume we'll now need a permit from you since we will be working within the ROW. I wanted to go ahead and start coordinating that with you so if you could, please give me a call or shoot me an email with any applicable information on the sidewalk design that we'll need to incorporate and also info on the permitting process that will now be required. Thanks in advance.

# Keith Moore, PE

# Lead Project Manager | Carlson Consulting Engineers, Inc

7068 Ledgestone Commons | Bartlett, TN 38133

Ph. 901.384.0404 (Ext 108) | Fax 901.384.0710 | www.CarlsonConsulting.net

From: Keith Moore

Sent: Wednesday, June 24, 2020 1:51 PM

**To:** 'pgaffney@isabellaroads.com' <<u>pgaffney@isabellaroads.com</u>> **Subject:** RE: #4982-211 Mt Pleasant - Sam's Fuel Station - ICRC Review

Pat,

As discussed, we'll forward you an electronic set of our plans once we have them ready to submit to the Township. As of right now, there are no plans to perform any work within the ROW. It's my understanding that assuming that doesn't change, no permit for the Road Commission will be required. However, if sidewalks or any other improvements end up being required within the ROW, a permit will be required and we can coordinate the permit requirements at that time.

# Keith Moore, PE

Lead Project Manager | Carlson Consulting Engineers, Inc

7068 Ledgestone Commons | Bartlett, TN 38133

From: Keith Moore

Sent: Wednesday, June 24, 2020 10:05 AM

**To:** 'pgaffney@isabellaroads.com' <<u>pgaffney@isabellaroads.com</u>> **Subject:** RE: #4982-211 Mt Pleasant - Sam's Fuel Station - ICRC Review

Patrick,

Wanted to reach out again to see if there's any review/permitting required with your office for this project. Please let me know your thoughts. Thanks.

# Keith Moore, PE

# Lead Project Manager | Carlson Consulting Engineers, Inc

7068 Ledgestone Commons | Bartlett, TN 38133

Ph. 901.384.0404 (Ext 108) | Fax 901.384.0710 | www.CarlsonConsulting.net

From: Keith Moore

**Sent:** Friday, June 5, 2020 9:06 AM **To:** pgaffney@isabellaroads.com

Subject: #4982-211 Mt Pleasant - Sam's Fuel Station - ICRC Review

Patrick,

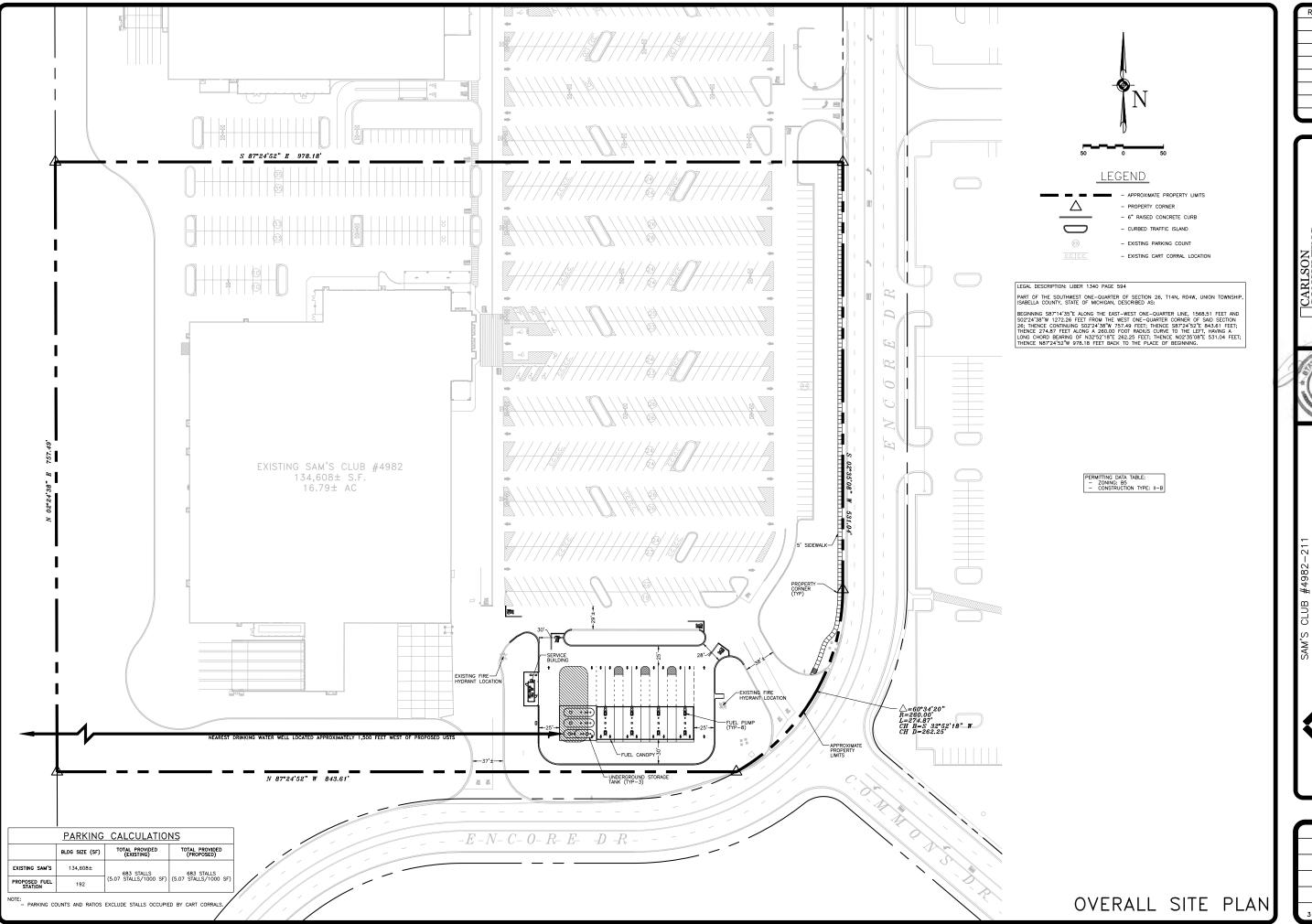
I left you a voicemail yesterday, but wanted to follow up via email as well. We're preparing plans on behalf of Sam's for constructing a fueling station in the grassed area south of their existing parking area. Attached is our Overall Site Plan for your reference. The plan does not include any modifications to the existing entrance drives and we do not anticipate any work within the ROW to be required. As such, I assume no permit will be required from your office, but the Township is requesting that I obtain confirmation of this before submitting for their review. Can you please review the attached plan and let me know if a permit or more in-depth review by your office will be required? Feel free to reach out if you have any questions. Thank you!

# Keith Moore, PE

# Lead Project Manager | Carlson Consulting Engineers, Inc

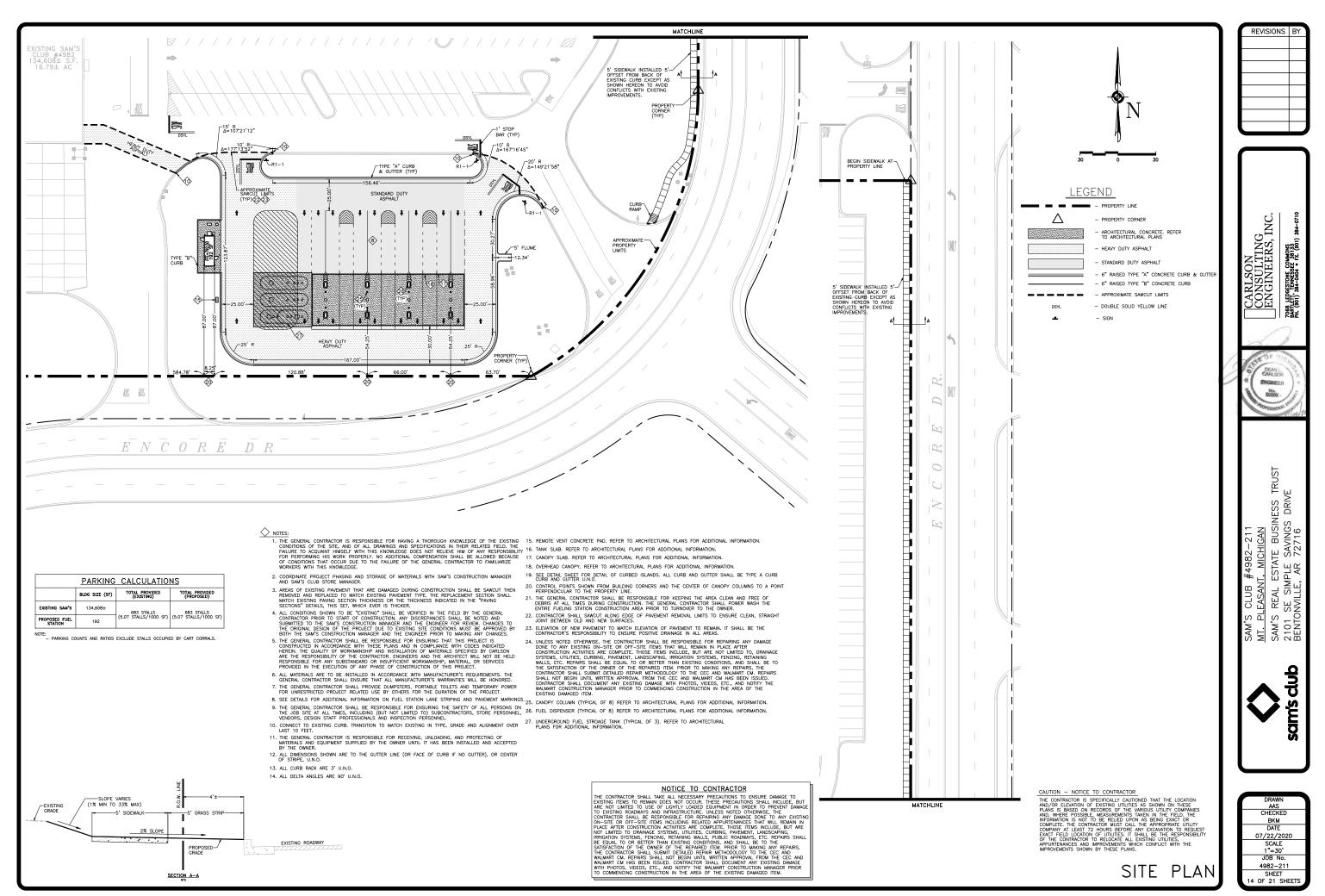
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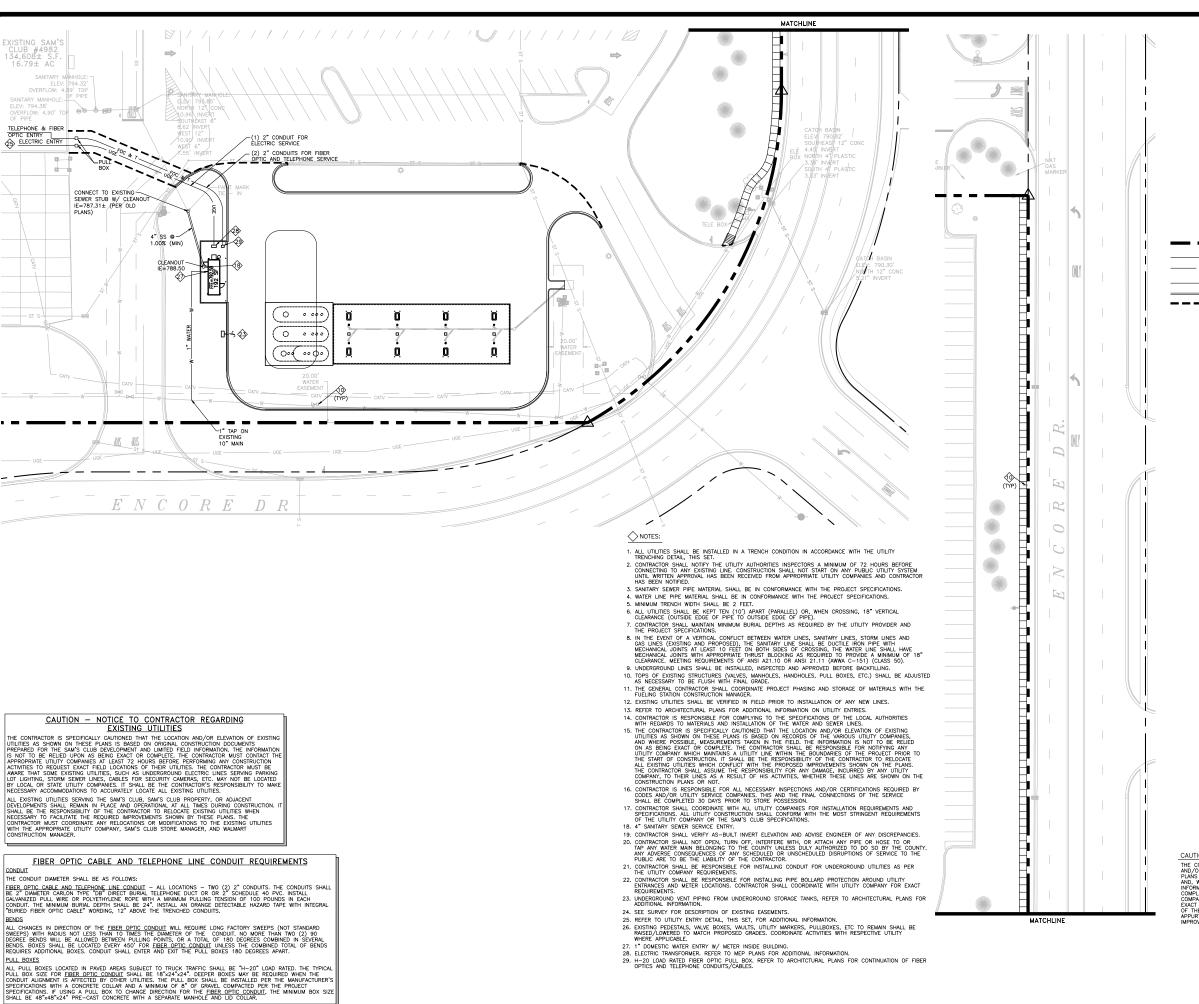
Ph. 901.384.0404 (Ext 108) | Fax 901.384.0710 | www.CarlsonConsulting.net



CARLSON CONSULTING ENGINEERS, INC. 7088 LEDGESTONE COMMONS BARTLETT, TENNESSEE 38133 PH. (901) 384—0404 • FA. (901) 384—0710 DEAN L CARLSON ENGINEER Mo. 80586 . SAM'S CLUB #4982–211
MI. PLEASANI, MICHIGAN
SAM'S REAL ESTATE BUSINESS TRUST
2101 SE SIMPLE SAVINGS DRIVE
BENTONVILLE, AR 72716

DRAWN
AAS
CHECKED
BKM
DATE
07/22/2020
SCALE
1"=50'
JOB No.
4982-211
SHEET
3 OF 21 SHEETS





LEGEND UNDERGROUND FIBER OPTIC CABLE AND TELEPHONE WATER LINE - SANITARY SEWER - APPROXIMATE SAWCUT LIMITS CAUTION - NOTICE TO CONTRACTOR CAUTION — NOTICE TO CONTRACTOR.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST OF THE CONTRACTOR OF THE STANDARD OF THE CONTRACTOR OF THE STANDARD OF THE STANDARD OF THE CONTRACTOR OF THE CONT

SAM'S CLUB #4982-211
MT. PLEASANT, MICHIGAN
SAM'S REAL ESTATE BUSINESS TRUST
2101 SE SIMPLE SAVINGS DRIVE
BENTONVILLE, AR 72716 AAS BKM DATE 07/22/2020 SCALE 1"=30' JOB No 4982-211 16 OF 21 SHEETS

UTILITY

REVISIONS

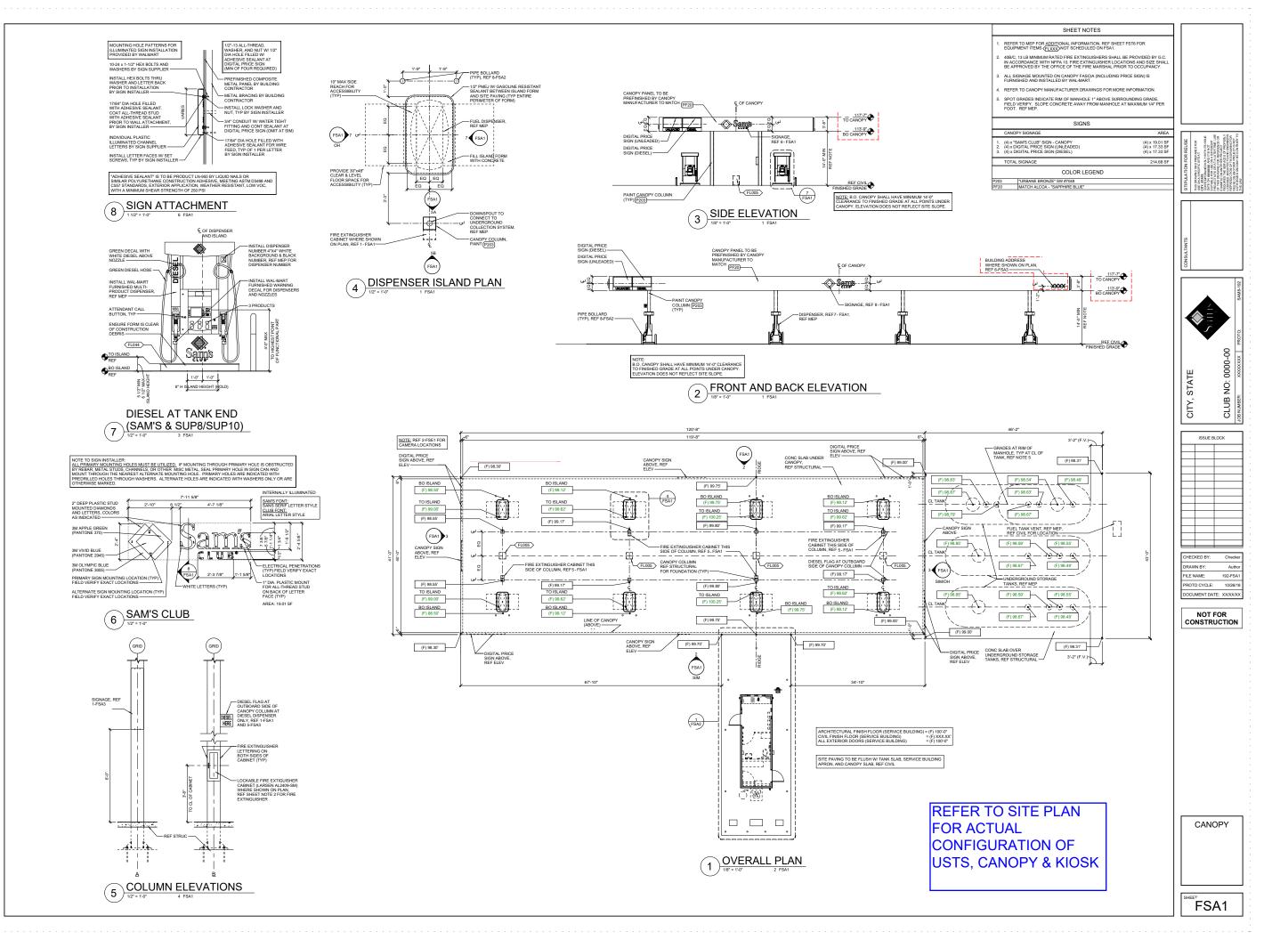
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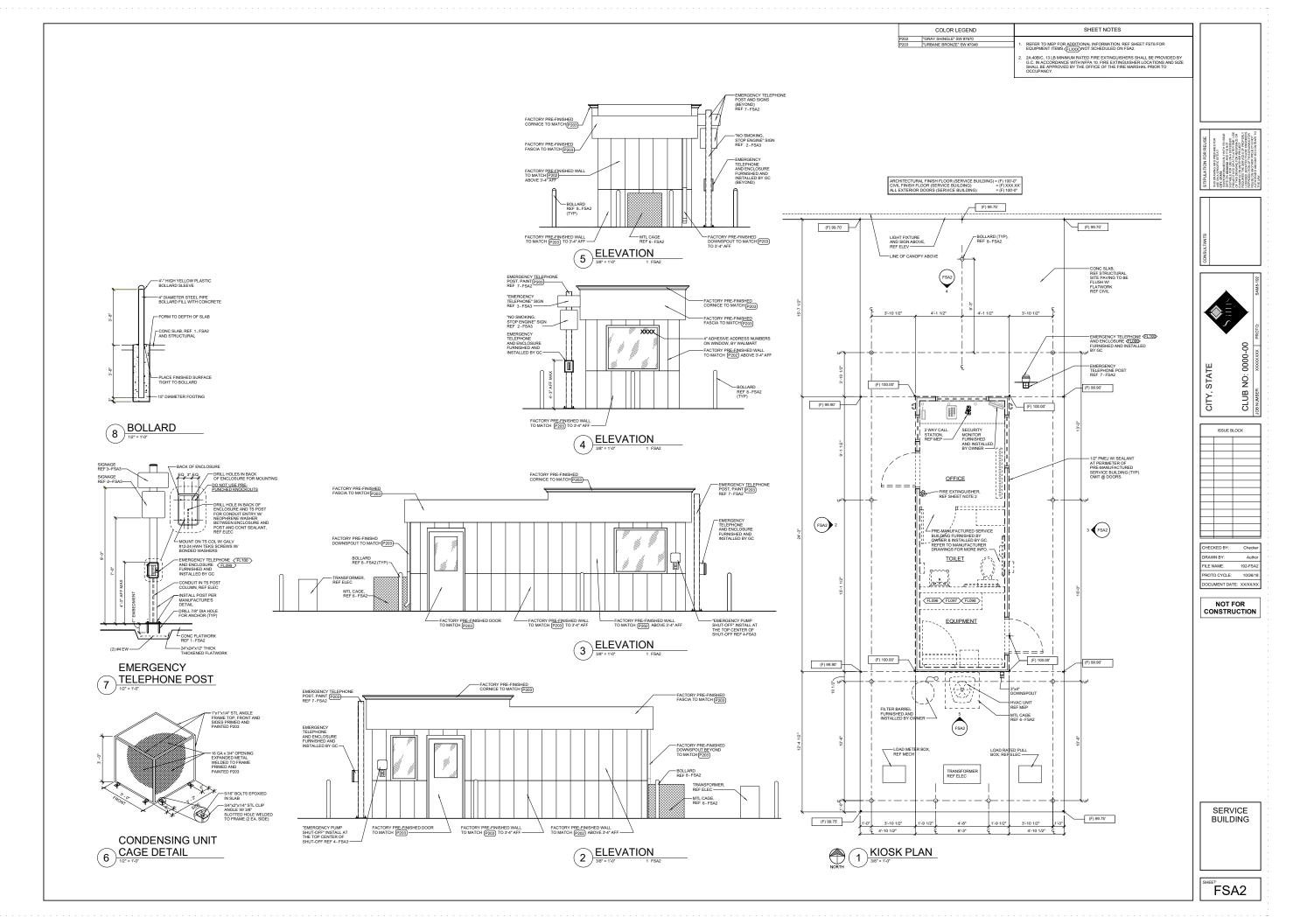
DEAN L. BIGNEER

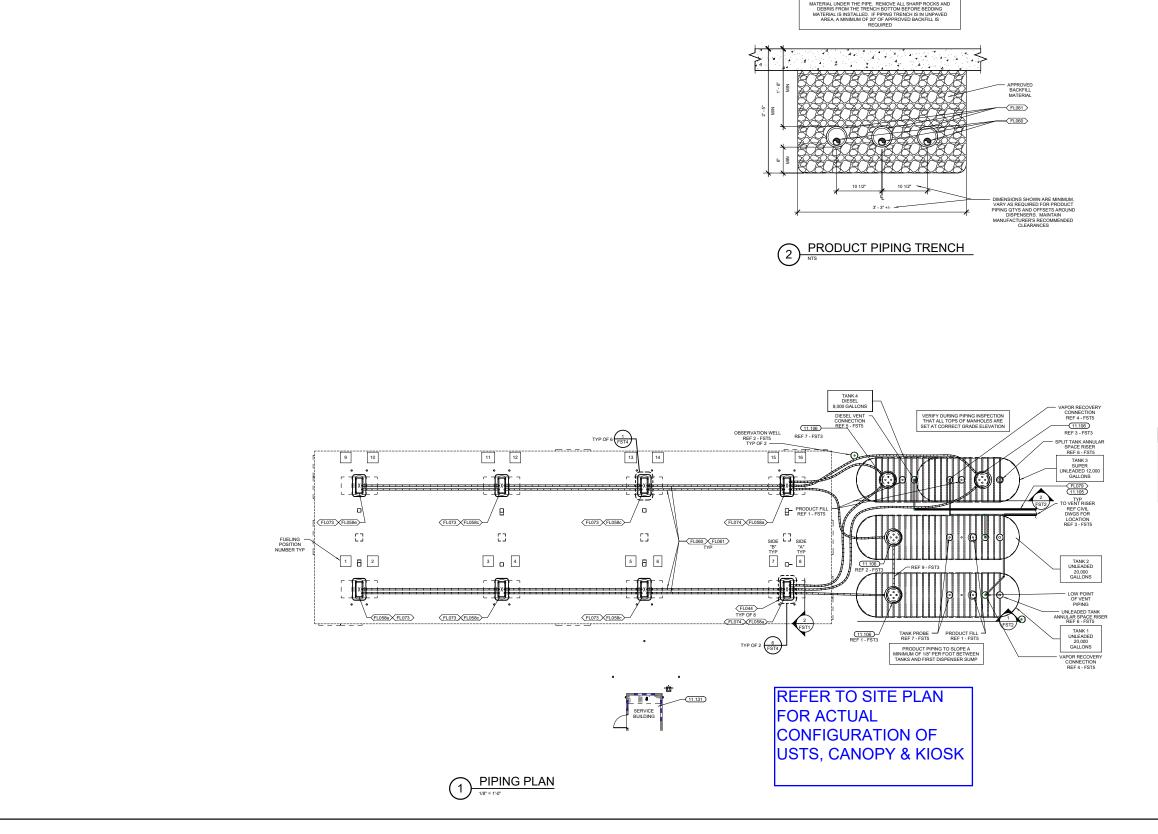
Mo. 80586

7068 LEDGESTONE COMMONS BARTLETT, TENNESSEE 38133 PH. (901) 384-0404 • FX. (901)

148







## **GENERAL NOTES**

FL# REF EQUIPMENT SCHEDULE SHEET
 GENERAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL ITEMS SHOWN UNLESS OTHERWISE SPECIFIED OR NOTED.

3. GENERAL CONTRACTOR MUST BE CERTIFIED TO INSTALL ALL SPECIFIED PET ROLLUM EQUIPMENT PROVIDED ON THE DRAWINGS OR HAVE MANUFACTURER'S REPRESENTATIVE ON SITE TO CERTIFY INSTALLATION. WRITTEN VERIFICATION WILL BE

4. SUPPLY AND INSTALL SUMPTITE SEALANT ON ALL TANK AND DISPENSER SUMPS IF WATER TABLE COVER 50% OR MORE OF THE UNDERGROUND STORAGE TANK ALL SEAMS, SUPPLY LINES, AND CONDUIT PENETRATIONS ARE TO BE COATED. ALL APPLICATOR MUST BE TRANED AND CERTIFIED BY THE SUPPLIER (CONTACT ROGER MCKELVEY "SUMPTITE PRODUCTS" 1-803-800-1081.

 STAGE I VAPOR RECOVERY SYSTEM SHALL BE INSTALLED AND TESTED AS PER CARB EXECUTIVE ORDER NUMBER VR-102 (LATEST VERSION). GENER, CONTRACTOR SHALL VERIFY THAT THE INSTALLATIC AND TESTING FOR TANKS AND VAPOR RECOVERY MI ALL LOCAL STATE. AND FEDERAL REQUIREMENTS.

 PURGE WITH A MINIMUM OF 250 GALLONS OF FUEL THROUGH EACH FUELING POINT. AFTER PURGING, REPLACE FACTORY FILTERS WITH PETROCLEAR MODI 4053W (HYDROSORB) FILTERS. PROPERLY DISPOSE C MANAGEMENT CONTROL OF THE PROPERTY DISPOSE C

7. THE FUEL DELIVERY OPERATOR WILL BE NOTIFIE! WHEN THE TANKS REACH 90% CAPACITY BY RESTRICTING FLOW OF FUEL DELIVERY. FUEL DELIV. WILL BE TERMINATED WHEN TANK CAPACITY REACH 93%. FOLLOW MANUFACTURERS INSTRUCTIONS FO SETTING OVERFILL DEVICE TO PROPER DEPTH FOR OPERATION AT SPECIFIED TANK CAPACITY.

8. CONFIRM THAT THERE IS NO WATER IN THE TAR PRIOR TO FUEL DELIVERY. OWNER WILL REQUIRE SIGNED COPY OF THE FUEL DELIVERY TICKET, WH MUST INDICATE THAT THERE WAS NO WATER IN TH UNDERGROUND STORAGE TANKS AND CONTAIN TI SIGNATURE OF THE DELIVERY PERSON AND THE CONTRACTOR'S REPRESENTATIVE.

 COORDINATE PRODUCT PIPING, VENT PIPING, AND CONDUITS SO AS NOT TO INTERFERE WITH SERVICE BUILDING PIPE BOLLARD PLACEMENT.

10.ALL FIBERGLASS VENT PIPING SHALL BE 3" DIAMETER UNLESS OTHERWISE NOTED.

11.TANKS, TANK STRAPS, TURNBUCKLES, DEADMEN ANI STEEL ANCHORS TO BE SUPPLIED BY OWNER REALTY FROM TANK MANUFACTURER INSTALL PER THE TANK MANUFACTURER'S SPECIFICATIONS. COORDINATE OWNER SUPPLIED ITEMS WITH CONSTRUCTION MANAGER.

12 ALL METAL ON THE TANK ANCHORING SYSTEM MI BE GALVANIZED TO PROTECT AGAINST CORROSION.

13.APPLY ANTI-SEIZE COMPOUND TO ALL BOLTED MANHOLE COVERS.

14.UNIONS SHALL BE INSTALLED AT ALL PRODUCT P
CONNECTIONS AS REQUIRED TO ALLOW FOR REMO'
OF EQUIPMENT THROUGH THE MANWAY COVERS.

15.FLEXIBLE CONNECTORS WILL BE ACCEPTED AT THE VENT LINE CONNECTION AT THE RISER AND REMOTE VENT. ALL FLEXIBLE CONNECTORS USED THAT WILL BE IN DIRECT CONTACT WITH FILL MATERIAL WILL BE REQUIRED TO HAVE TWO LAYERS OF PRIME AND WRAP MATERIAL. REF TO EQUIPMENT SCHEDULE TEM NUMBER 45 FOR CONNECTOR SPECIFICATION.

16.ALL SUBMERSIBLE PUMP CONNECTIONS TO PRODUC PIPING SHALL HAVE ONE UNION AND BALL VALVE LOCATED IN THE PUMP ENCLOSURE MANWAY.

7.FLEXIBLE CONNECTORS FOR THE ELECTRICAL
ONNECTIONS FROM EXPLOSION PROOF JUNCTION BOX
O SUBMERGED PUMP WILL NOT BE ACCEPTED. ALL
ONNECTIONS MUST BE WITH BIGID CONDUIT.

S.FOR ELECTRICAL CONDUIT SIZE AND ROUTING EFERENCE THE FUEL STATION ELECTRICAL DRAWINGS.

19.ALL PRIMARY AND SECONDARY PIPING SHALL BE A TESTED PER MANUFACTURER'S REQUIREMENTS. REMOVE THE TEST TUBE AND LEAVE IN SUMP AFTER COMPLETING TEST.

20.ALL DISPENSER KEYS SHALL BE GIVEN TO TH DWNER ALONG WITH TWO COMPLETE KEY RING CONTAINING DISPENSER KEYS.

21.THE DISPENSER REMOTE CONTROL SHALL BE STORED IN THE HEAD OF THE #1 DISPENSER. AFTER START-UP IS COMPLETE, THE REMOTE SHALL BE GIVEN TO THE OWNER.

# KEYNOTES

3° FIBERGLASS VENT PIPING SLOPED MINIMUM 1/8 FOOT TO TANKS FROM REMOTE VENT. REFER TO RISER DETAIL AND CIVIL DRAWINGS FOR LOCATIO REMOTE VENT. PROVIDE SLOPED PIPE AND FITTIN CONFIGURATION AT MANIFOLDED TANKS THAT DII CONDENSATE TO REGULAR UNLEADED TANK.

1.106 CONTAINMENT MANWAY WITH SUBMERGED PUMP, TANK PROBE. INTERSTITUL RISER, AND EQUALIZATION PIPING AS APPLICABLE. REFER TO STP SUMP PLANS.
APPROXIMATE SERVICE BUILDING LOCATION. REF ARCHITECTURAL DRAWINGS FOR EXACT LOCATION.







CITY, STATE CLUB#:

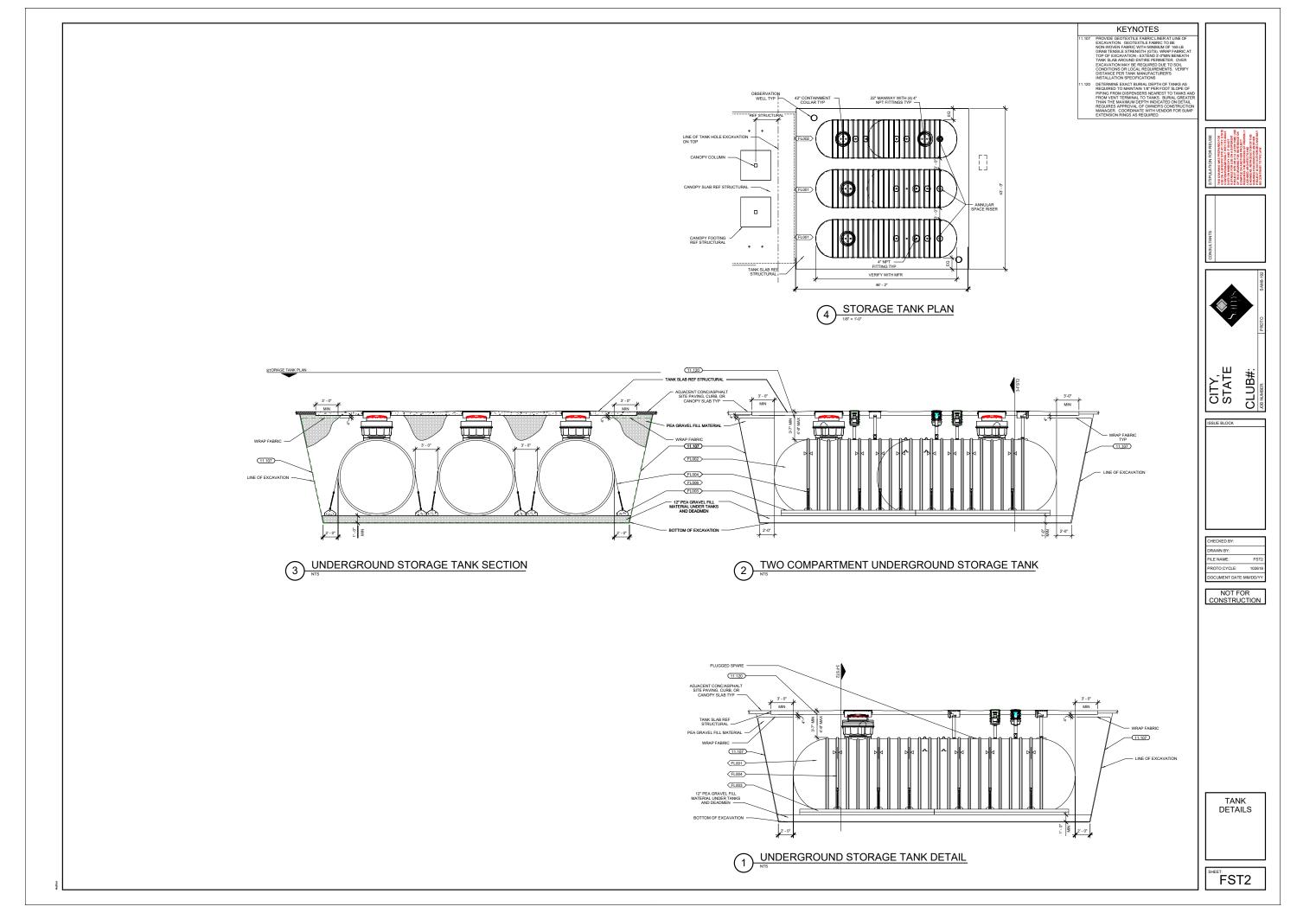
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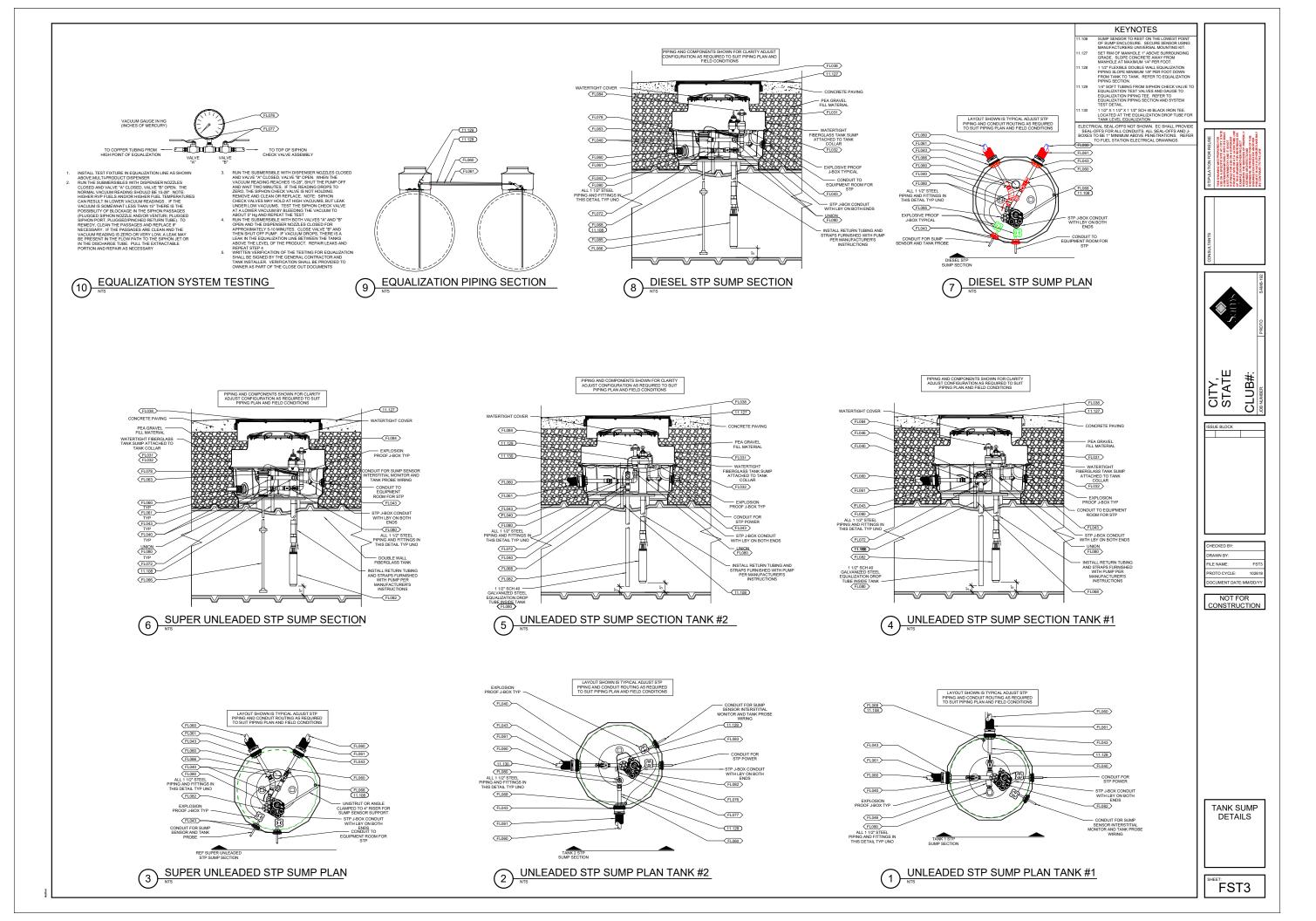
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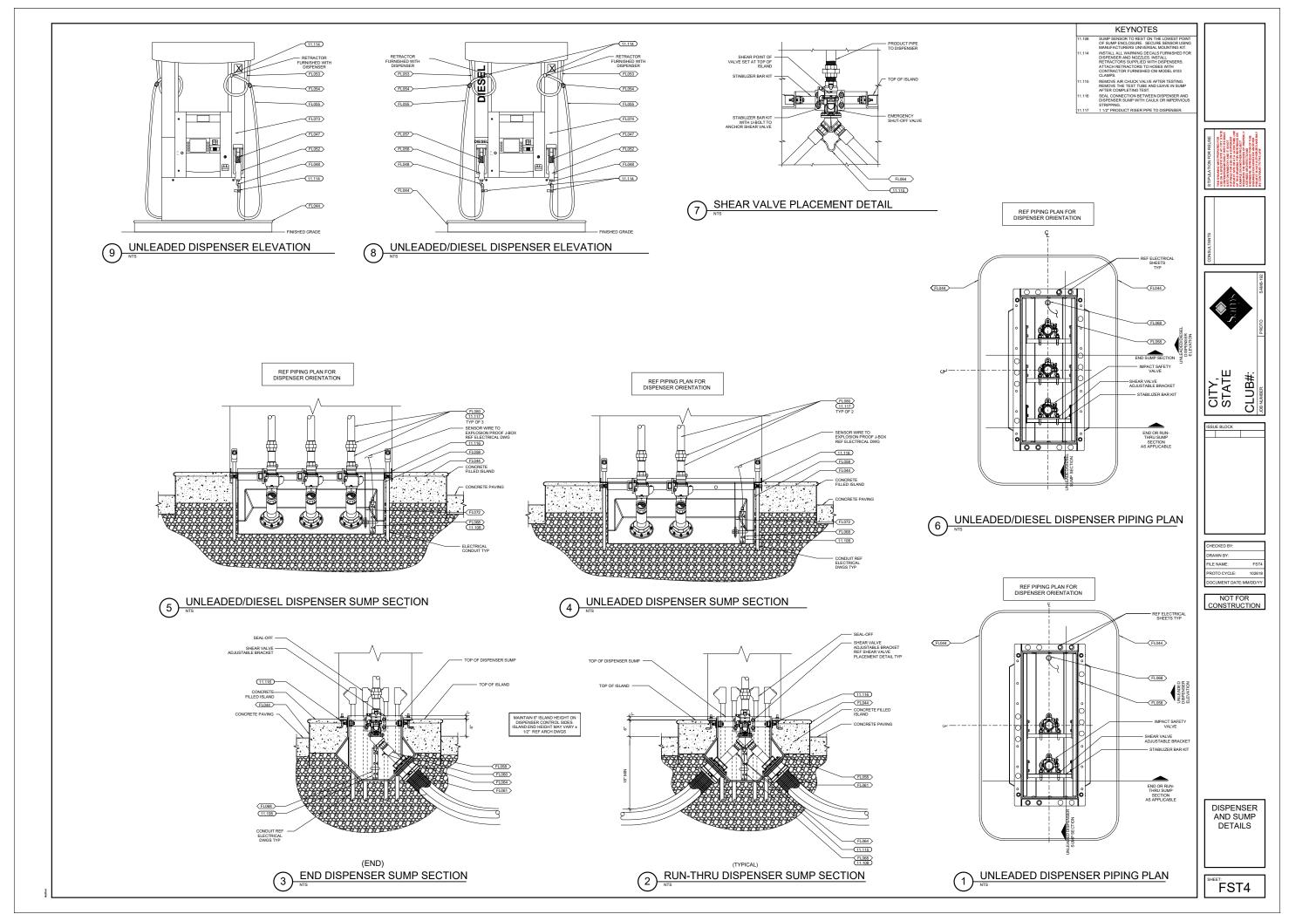
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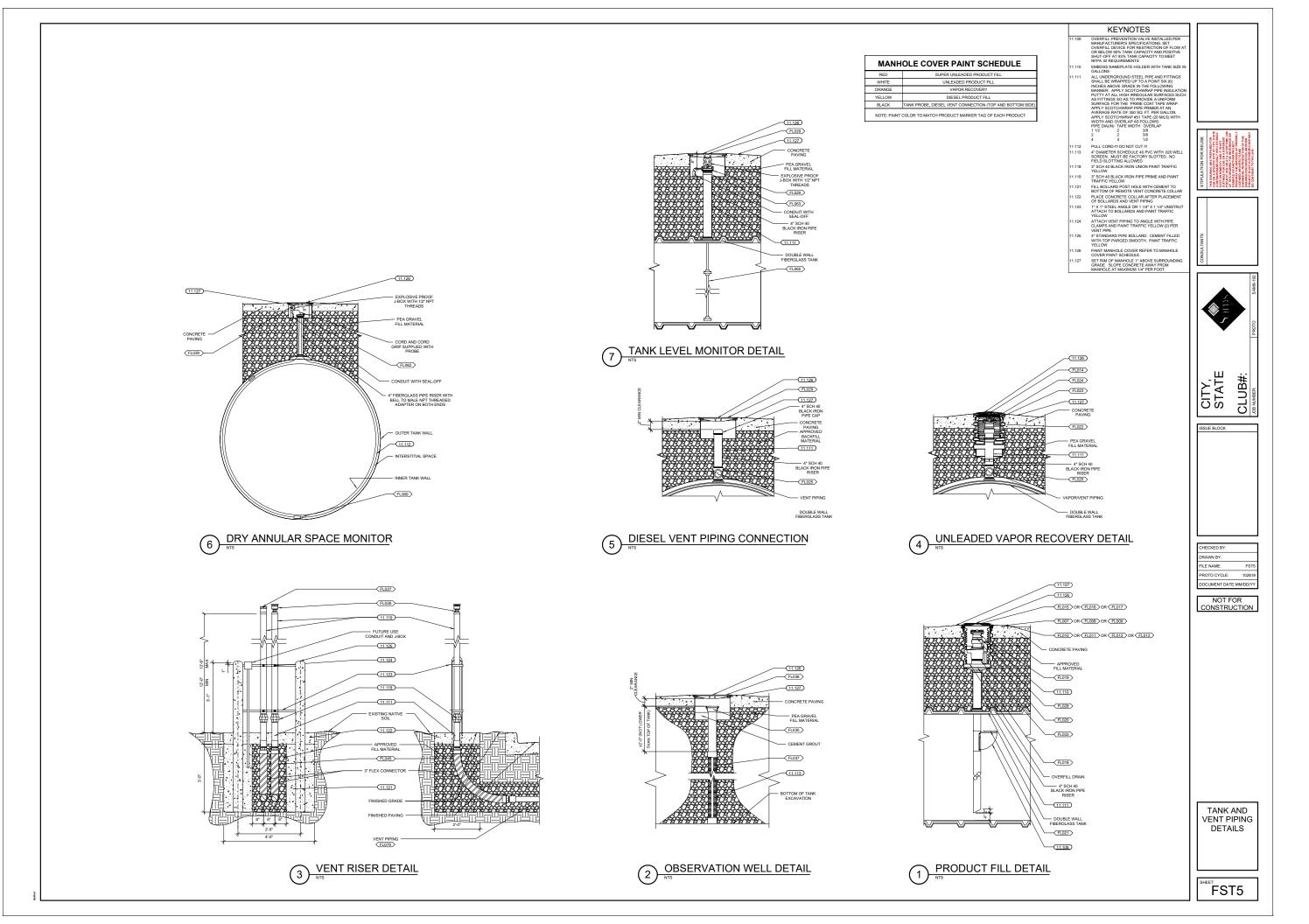
PIPING PLAN AND DETAILS

FST1









EQUIP.	MAKE	MODEL	EQUIPMENT LIST  DESCRIPTION	QTY	SUPPLIED BY	INSTALLED
NO. FL001	XERXES	DW3 FIBERGLASS	20,000 GAL. DOUBLE WALL FRP UNDERGROUND TANK WITH DRY ANNULAR SPACE, 42° ATTACHED COLLAR, 22° 1D. MANWAY WITH (4) * NPT OPENINGS IN MANWAY COVER, (4) 4° THREADED OPENINGS	2	OWNER	GC GC
FL002	XERXES	DW3 FIBERGLASS	20,000 GAL DOUBLE WALL FRP UNDERGROUND TANK CONTAINING 1) 12,000 AND (1) 5,000 GAL COMPARTMENT WITH DRY ANNULAR SPACE, (2) 42* ATTACHED COLLARS, (2) 22* I.D. MANWAY WITH (4) 4* NPT OPENINGS IN MANWAY COVER, (2) 4* THREADED OPENINGS	1	OWNER	GC
FL003	XERXES		DEADMEN WITH EYEBOLTS	12	OWNER	GC
FL004	XERXES		FIBERGLASS ANCHOR STRAPS FOR 10' DIA TANK	20	OWNER	GC
FL005	SOURCE INC	755101	TRASH RECEPTACLE W/ WINDOW WASHING UNIT CONTACT: 1-800-556-3312 (BRYAN JONES)	4	OWNER	GC
FL006	XERXES	 106U-0125	TURNBUCKLES PRODUCT MARKER SET IN CONCRETE-	40	OWNER	GC
FL008	OPW	106P-0150	UNLEADED PRODUCT MARKER SET IN CONCRETE -	1	OWNER	GC
FL009	OPW	106DL-0095	PREMIUM UNLEADED PRODUCT MARKER SET IN CONCRETE - DIESEL	1	OWNER	GC
FL010	OPW	106N-1100	PRODUCT MARKER SET IN CONCRETE #1	1	OWNER	GC
FL011	OPW	106N-2200	PRODUCT MARKER SET IN CONCRETE #2	1	OWNER	GC
FL012	OPW	106N-3300	PRODUCT MARKER SET IN CONCRETE #3	1	OWNER	GC
FL013	OPW	106N-4400	PRODUCT MARKER SET IN CONCRETE #4  PRODUCT MARKER FOR MANHOLE COVER -	1	OWNER	GC
FL014	OPW	1TAG-7000	PRODUCT MARKER FOR MANHOLE COVER - VAPOR  PRODUCT MARKER FOR MANHOLE COVER -	3	OWNER	GC
FL016	OPW	1TAG-3000	UNLEADED PRODUCT MARKER FOR MANHOLE COVER -	1	OWNER	GC
FL017	OPW	1TAG-4000	PREMIUM UNLEADED PRODUCT MARKER FOR MANHOLE COVER -	1	OWNER	GC
FL018	OPW	1SC-3112D	DIESEL  EDGE DOUBLE WALL SPILL CONTAINER  WISEALABLE COVER & DRAIN VALVE	4	OWNER	GC
FL019	OPW	634TT-7085-EVR	4" TOP-SEAL CAP, PRODUCT FILL	4	OWNER	GC
FL020	OPW	61SALP-1020-EVR	4" SWIVEL ADAPTER, PRODUCT FILL	4	OWNER	GC
FL021	OPW	71S0-410C	4" EVR ALUMINUM DROP TUBE WITH OVERFLOW PREVENTION VALVE FIGE SINGLE WALL SPILL CONTAINER	4	OWNER	GC
FL022	OPW	1SC-3101P 61VSA-1020-EVR	EDGE SINGLE WALL SPILL CONTAINER W/ PLUG AND SEALABLE COVER ROTATABLE VAPOR SWIVEL ADAPTER	3	OWNER	GC
FL023	OPW	1711T-7085-EVR	3" VAPOR RECOVERY CAP	3	OWNER	GC
FL025	OPW	233-4430	EXTRACTOR VENT FITTING - 4x4x3	4	OWNER	GC
FL026	HUSKY	5885 5041	2.5" - 6" W.C. PRESSURE/6" - 10" W.C. VACUUM 2" THREAD-ON VENT VALVE WITH 3" ADAPTER PETROLEUM MARKETERS EQUIPMENT (CONTACT: MIKE WILSON 1-800-364-9037)	1 1	OWNER	GC
FL027	OPW	23-0055	OPEN ATMOSPHERIC VENT	1	OWNER	GC
FL028	OPW	107-0300	NAMEPLATE HOLDER-CONTRACTOR TO MARK WITH TANK CAPACITY IN GALLONS	4	OWNER	GC
FL029	OPW	104A-1800	18" DIA MANHOLE WITH 12" SKIRT AND STEEL COVER	6	OWNER	GC
FL030 FL031	NOT USED OPW	FTSM-4233CR	FIBERGLASS TANK SUMP - 42" - COLLAR RING MOUNT	4	OWNER	GC
FL032	FLEXWORKS  OPW FLEXWORKS	RK-5000	ADD FCS42-EX12 EXTENSION AND (2) RESIN KITS FOR BURIAL DEPTHS GREATER THAN 48*  RESIN KIT - TANK SUMP	8	OWNER	GC
FL033	OPW	61JSK-44CB	JACK SCREW ASSEMBLY - DROP TUBE LOCKDOWN	4	OWNER	GC
FL034	NOT USED					
FL035	OPW	62-PMC-0400 104AOW-1819	4" DIAMETER WELL CAP  18" DIA MONITOR WELL MANHOLE WITH 19 1/4"	2	OWNER	GC
FL037	OPW	61SPVC-4000	SKIRT AND WATERTIGHT BOLTED COVER 4" DIA .020" SLOTTED SCHEDULE 40 PVC	2	OWNER	GC
FL038	OPW	39CD-WT10	MONITORING/OBSERVATION WELL PIPING - 13' LENGTH WITH BOTTOM PLUG 39 1/2" DIA POMECO CONQUISTADOR COMPOSITE MANHOLE WITH 11" STEEL SKIRT,	4	OWNER	GC
FL039	NOT USED		RECESSED HANDLE - BOLT DOWN - WATERTIGHT			
FL040	OPW	21BV-0150	1 1/2* BRONZE BALL VALVE, FULL PORT	8	OWNER	GC
FL041	NOT USED				-	
FL042	NOT USED					
FL043	OPW FLEXWORKS	REF-0100C REF-4015	1" CONDUIT ENTRY FITTING ASSEMBLY 1 1/2" OPW FLEXWORKS PIPE ENTRY FITTING	8 8	OWNER	GC
		SL-1100	ASSEMBLY URETHANE SEALANT	3		
FL044	OPW	6013SS-ER6W5L18WM	18" x 5'-0" STAINLESS STEEL ISLAND FORM END SEAMS WITH 13" SKIRT	16 *14	OWNER	GC
FL045	OPW	FC30-MM24	3" STAINLESS STEEL BRAIDED TEFLON FLEX CONNECTOR - FOR USE ONLY IN UNDERGROUND VENT/VAPOR LINES	2	OWNER	GC
FL046	OPW	FC15-MM12	1 1/2" STAINLES STEEL BRAIDED FLEX CONNECTOR	1	OWNER	GC
FL047	OPW	8BL-0400	"FILLGARD" SPLASH GUARD (BLACK)	16 *14	OWNER	GC
FL048	OPW	241-TPS-0241	BALL SWIVEL	*14 20 *18	OWNER	GC
FL049	NOT USED			18		
FL050	NOT USED					
FL051	NOT USED					
FL052	OPW	11BP-0400	NOZZLE WITH HOLD OPEN CLIPS	16 *14	OWNER	GC
FL053	OPW OPW	66H-04075 66HGR-04075 66REC-1000	3/4" 4 FT DISP HOSE W/ FITTINGS, BLACK 3/4" 4 FT DISP HOSE W/ FITTINGS, GREEN (DIESEL) 3/4" RECONNECTABLE BREAKAWAY	16 *14 4	OWNER	GC GC
FL054	OPW	66REC-1000	3/4" RECONNECTABLE BREAKAWAY  3/4" 8 FT DISP HOSE W/ FITTINGS, BLACK	20 *18 16 *14	OWNER	GC
FL056	OPW	66HGR-08075 11B-0100	3/4" 8 FT DISP HOSE W/ FITTINGS, GREEN (DIESEL) STANDARD FLOW DIESEL NOZZLE WITH HOLD	4	OWNER	GC
FL057	OPW	8G-0100	OPEN CLIP (GREEN) "FILLGARD" SPLASH GUARD (GREEN)	4	OWNER	GC
FL058a	OPW	DSLR-15-1543-12356	DISPENSER SUMP FOR WAYNE OVATION DISPENSER -	2	OWNER	GC
FL058c	OPW	DSLR-15-1543-1256	VERIFY EXACT MODEL NUMBERS OF SUMP - PROVIDE ALL HARDWARE FOR SHEAR VALVES, STABLIZER BARS,PIPE ENTRY FITTINGS, AND DISPENSER	4 *3		
FL058e FL059	OPW	DSLR-15-1543-12 71SO-TOOL	MOUNTING 71SO INSTALL TOOL	1	OWNER	GC
FL060	OPW	C15A	1 1/2" FLEXIBLE DOUBLE WALL PRIMARY PIPING	750'	OWNER	GC
	FLEXWORKS	DPC-2150A SMA-1515	1 1/2" DOUBLE WALL PIPE COUPLING ADAPTER 1 1/2" FLEXWORKS TO 1 1/2" MNPT	38 *34		
FL061	OPW	SMA-1515 AXP40	ADAPTER 1 1/2" FLEXWORKS TO 1 1/2" MNPT  4" FLEXIBLE ACCESS PIPING	750'	OWNER	GC

			EQUIFINENT LIST			
EQUIP. NO.	MAKE	MODEL	DESCRIPTION	QTY	SUPPLIED BY	INSTALLED BY
FL062	VEEDER-ROOT	330020-282	PROBE CAP AND ADAPTER	3	OWNER	GC
FL063	OPW	FSA-400	FACE SEAL ADAPTOR	4	OWNER	GC
FL064	OPW	TCT-2509	TEST JUMPER FOR COUPLING TO COUPLING	12 *10	OWNER	GC
		TTT-2536	TEST TUBE TERMINATION KIT	14		
FL065	VEEDER-ROOT	846390-109	TANK LEVEL MONITOR 10 FEET LENGTH	2	OWNER	GC
FL066	VEEDER-ROOT	886100-000 846390-111	4" PHASE-TWO GASOLINE PROBE INSTALLATION KIT TANK LEVEL MONITOR 11 FEET LENGTH	2 2	OWNER	GC
		886100-000	4" PHASE-TWO GASOLINE PROBE INSTALLATION KIT	1		
FL067	VEEDER-ROOT	846400-001 860091-301	4* DIESEL PROBE INSTALLATION KIT, 5* CABLE TLS-450 PLUS W/ INTEGRAL PRINTER	1 1	OWNER	GC
		333545-001	TLS-450 PLUS OPERATING SYSTEM AND ATG FUNCTIONALITY SOFTWARE	1		
		333149-001 332812-001	ACCUCHART II/BIR EDIM (16) UNIVERSAL SENSOR/PROBE INTERFACE MODULE	1 2		
		332812-001		-		
FL068	VEEDER-ROOT	794380-208	NON-DISCRIMINATING STP/UDC SUMP SENSOR 12' CABLE	12 *11	OWNER	GC
FL069	VEEDER-ROOT	794390-409	LIQUID ONLY INTERSTITIAL SENSOR	3	OWNER	GC
FL070	NOT USED					
FL071	NOT USED					
FL072	VEEDER-ROOT	330020-012	UNIVERSAL SENSOR MOUNTING KIT	12	OWNER	GC
				*11		
FL073	WAYNE	B12/2220D3/ 2EIJKLN/BFHRS-SCB	TWO PRODUCT, ONE HOSE, IDPOS DISPENSER WITH FACTORY INSTALLED INTERCOM, 10.4" COLOR	6 *5	OWNER	GC
		OVATION 2	VGA SCREEN, SPM DISPENSER CARD READER, UNLIGHTED VALANCE, AND OWNER			
			CUSTOM GRAPHICS, STAGE 1			
FL074	WAYNE	B23/3220D3/	(NO VAPOR RECOVERY REQUIRED) (OVATION) THREE PRODUCT (DIESEL), TWO HOSE, IDPOS	2	OWNER	GC
		2EIJKLN/BFHRS-SCB OVATION 2	DISPENSER WITH FACTORY INSTALLED INTERCOM, 10.4* COLOR VGA SCREEN. SPM DISPENSER	1 -		
		OVATION 2	CARD READER, UNLIGHTED VALANCE,			
			AND OWNER CUSTOM GRAPHICS, STAGE 1 (NO VAPOR RECOVERY REQUIRED) (OVATION)			
FL075	NOT USED		( The state of the			
FL076	ASHCROFT	4CFJ5	3 1/2" DIAL STAINLESS STEEL SOCKET, LIQUID FILLED	1	OWNER	GC
			VACUUM GAUGE, 30 TO 0" HG VAC PETROLEUM MARKETERS EQUIPMENT (CONTACT: MIKE WILSON 1-800-364-9037)			
FL077	DIXON	BBV25	1/4" BRASS BALL VALVE INCLUDES FITTINGS AND COPPER	2	OWNER	GC
. Luil	SINON	DDV2.5	TUBING PETROLEUM MARKETERS EQUIPMENT (CONTACT: MIKE WILSON 1-800-364-9037)	1	SHINER	GC
FL078	VEEDER-ROOT	312020-952	TANK PROBE WELL CAP AND RING KIT	4	OWNER	GC
FL079	NATIONAL		FIBERGLASS VENT RETURN PIPING			
FLU/9	OILWELL	RED THREAD IIA OR	AND ALL FITTINGS FOR INSTALLATION AND TESTING	AS REQ'D	GC	GC
	VARCO (NOV)	DUALOY 3000L	(CONTACT: RED THREAD 1-501-568-4010) (CONTACT: DUALOY 1-940-569-8645)			
FL080	MISC		MISCELLANEOUS STEEL PIPE AND FITTINGS PETROLEUM MARKETERS EQUIPMENT (CONTACT: MIKE	AS REQ'D	OWNER	GC
			WILSON 1-800-364-9037)			
FL081	NOT USED					
FL082	RED JACKET	P200U1-3RJ2	SUBMERGED TURBINE PUMP - 2 HP. 208-230V	3	OWNER	GC
			60 HZ SINGLE PHASE - SUITABLE FOR BLEND CONCENTRATIONS OF FUEL			
FL083	RED JACKET	410151-001	SIPHON CARTRIDGE KIT	1	OWNER	GC
FL084	RED JACKET	116056-5	MECHANICAL LINE LEAK DETECTOR FX1V - UNLEADED	3	OWNER	GC
FL085	RED JACKET	116058-5 P15OU1-RJ2	MECHANICAL LINE LEAK DETECTOR FX1DV - DIESEL SUBMERGED TURBINE PUMP - 1 1/2 HP.	1 1	OWNER	GC
			208-230V 60 HZ SINGLE PHASE - SUITABLE FOR BLEND CONCENTRATIONS OF FUEL			
			(DIESEL TANK ONLY)			
FL086	NOT USED					
FL087	NOT USED					
FL088	POWER	CPS-SAMS	COMPLETE POWER DISTRIBUTION CENTER WITH SURGE	1	OWNER	
	INTEGRITY		PROTECTION (INSTALLED BY BUILDING MFR), UPS BACKUP, RACKING SYSTEM AND MAIN DISCONNECT			
FL089	POWER	IA-8DESORLSD	(INSTALLED BY GC) 1-800-237-6260 TOP MOUNT E-STOP PANEL	1	OWNER	OWNER
	INTEGRITY	IA-6DESORLSD				
FL090	POWER INTEGRITY	IA-ESOCA	EMERGENCY FUEL STOP OPERATOR, SINGLE PUSH BUTTON OPERATOR WITH COVER,	2	OWNER	OWNER
FL091	POWER	DDS-ERP8D	NO/NC CONTACTS ETHERNET LOW VOLTAGE DISCONNECT	1	OWNER	GC
	INTEGRITY					
FL092	POWER INTEGRITY	DDS-8DB4C	INTERCOM DISCONNECT	1	OWNER	GC
FL093			SINGLE LINE WALL MOUNTED CORDLESS PHONE	1	OWNER	OWNER
FL094	NOT USED					
FL095	SOURCE INC.	TMK-3008	ESCO 2-WAY INTERCOM SYSTEM (PART #0941-0065) CONTACT: 1-800-556-3312 (BRYAN JONES)	1	OWNER	GC
	<u></u>			L		
FL096	SOURCE INC.	116268	EYEWASH STATION CONTACT: 1-800-556-3312	1	OWNER	GC
			(BRYAN JONES)	L		
FL097	SOURCE INC.	K340-102	FIRE BLANKET CONTACT: 1-800-556-3312	1	OWNER	GC
			(BRYAN JONES)			
FL098	SOURCE INC.	1850	18" ORANGE CONES CONTACT: 1-800-556-3312	16 *14	OWNER	GC
			(BRYAN JONES)			
FL099	VIKING	VE-9X12-R-1	EMERGENCY PHONE ENCLOSURE (RED) WWW.VIKINGELECTRONICS.COM - (715)386-8861	1	GC	GC
FL100	VIKING	K-1900W-2	EMERGENCY PHONE WWW.VIKINGELECTRONICS.COM - (715)386-8861	1	GC	GC
FL101	DAKTRONICS	0A-1611-0665	PRICE SIGN CONTROL. POS KIT W/ SERIAL SERVER	1	OWNER	VENDOR
			CONTACT: 1-605-692-0200 X51009 (JEREMIAH NELSON)			
FL102	VIKING		IDPOS GAS SWITCH	1	OWNER	OWNER
					CABLING	CABLING
FL103			LIU BOX	1	OWNER	OWNER
					CABLING	CABLING
			SECURITY MONITOR AND VIDEO RECORDER	1 EACH	OWNER SECURITY	OWNER
FL103			CEGGIAL LIMOLATOR VIDEO LEGGIADER	1 LACH		
	 NOT USED		CEGGIAT MONITORINE VISES REGULER	TENCH	SERVICES	SERVICE

EQUIPMENT LIST





CITY,
STATE
CLUB#:

CHECKED BY:	
DRAWN BY:	
FILE NAME:	FST6
PROTO CYCLE:	102618
DOCUMENT DATE:	MM/DD/YY

NOT FOR CONSTRUCTION

EQUIPMENT SCHEDULES

FST6

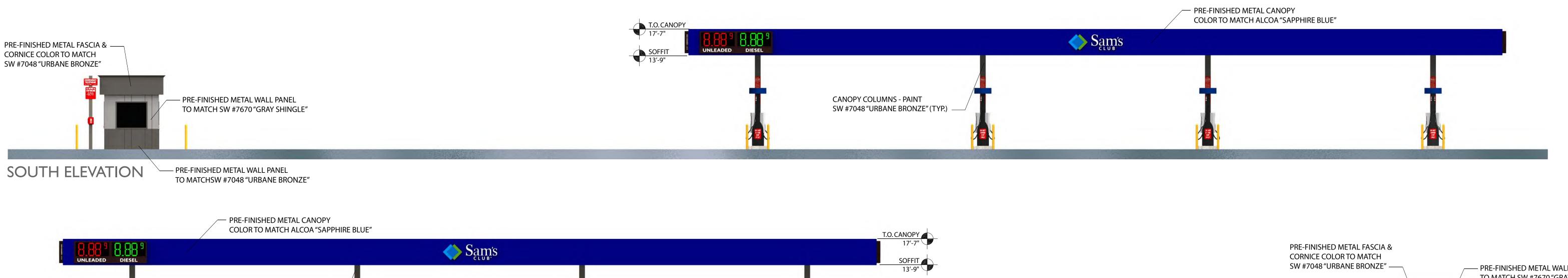
NOTE: ITEMS FLO47, FLO48, FLO52, FLO53, FLO54, FLO55 ARE FURNISHED AS A PRE-ASSEMBLED DISPENSER HARDWARE KIT (OPW PART NUMBER: PK-WIALIN).
ITEMS FLO48, FLO55, FLO56, FLO56, FLO57 ARE FURNISHED AS A PRE-ASSEMBLE DISPENSER HARDWARE KIT (OPW PART NUMBER: PK-WIA-DIESEL).

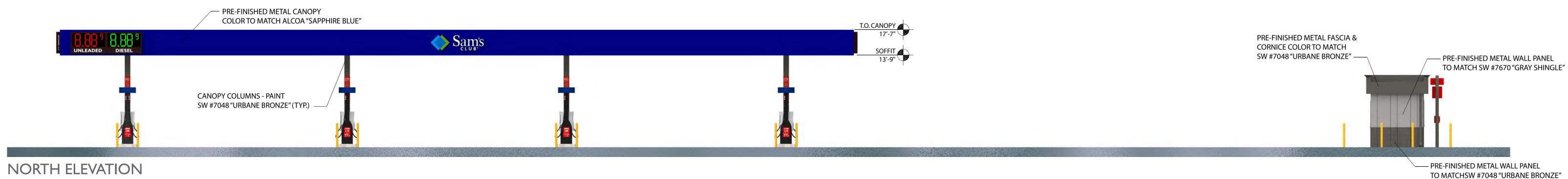
INSTALLATION NOTE: SEE NOTES ON FST5 AND FST6 FOR SPECIFIC SETTINGS FOR EQUIPMENT ITEM #FL021 - OVERFILL PREVENTION DEVICE.

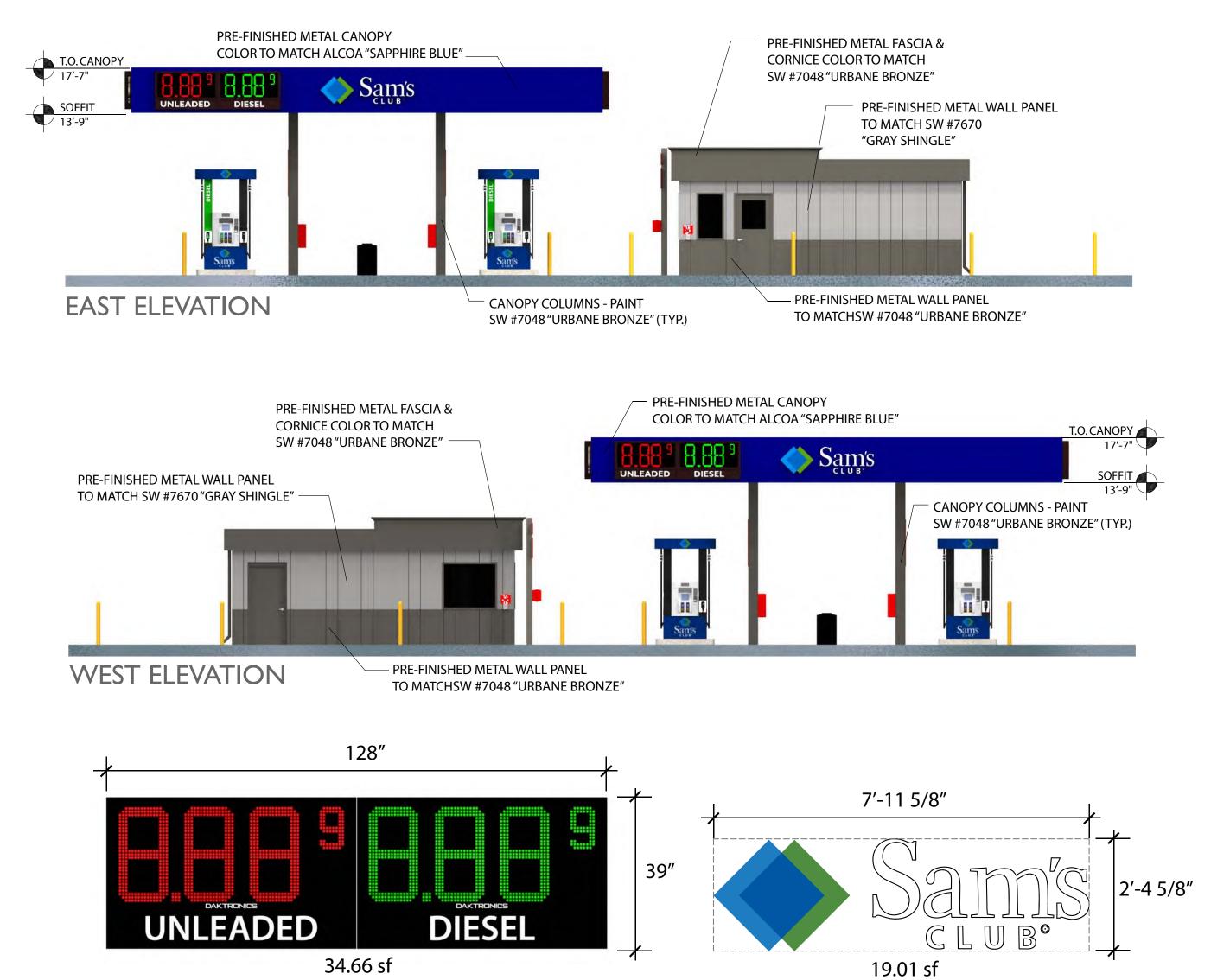
AXP40

4\* FLEXIBLE ACCESS PIPING

156

















July 27, 2020

#4982 Mt. Pleasant, MI

8 Stack Fuel Station

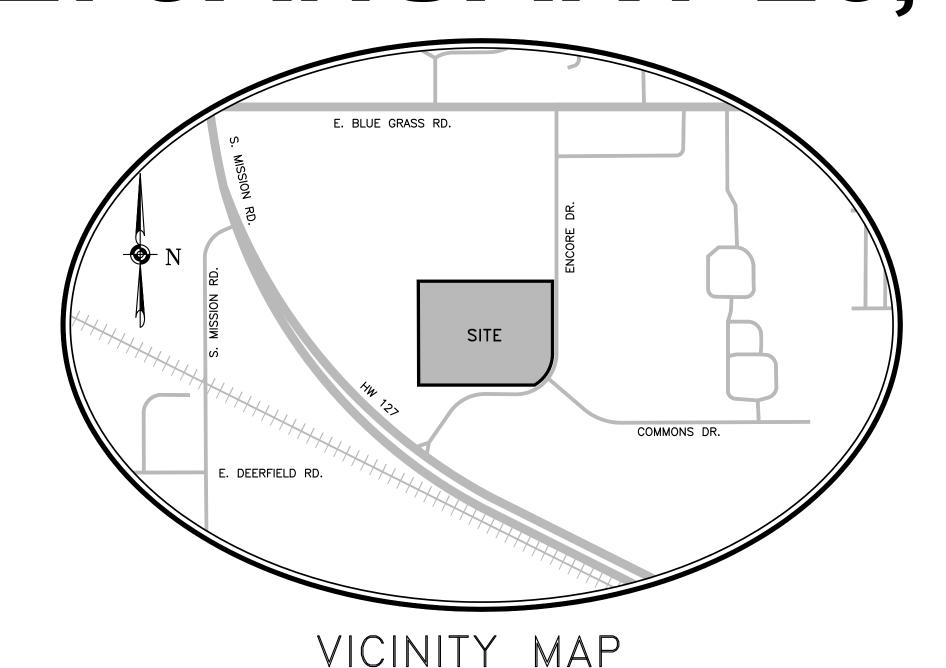
1

# SITE DEVELOPMENT PLANS SAM'S FUELING STATION #4982-211 4850 ENCORE DRIVE MT PLEASANT, MI 48858 DATE: JANUARY 26, 2021

PERMITTING INFORMATION

CARLSON CONSULTING ENGINEERS, INC. 7068 LEDGESTONE COMMONS BARTLETT, TN 38133 CONTACT: KEITH MOORE PHONE: (901) 384-0404 PERTY OWNER:
SAM'S REAL ESTATE BUSINESS TRUST
2101 SE SIMPLE SAVINGS DRIVE
BENTONVILLE, AR 72716
CONTACT: TERESA SMITH
PHONE: (479) 387-0543

THE PROPOSED PROJECT ENTAILS THE CONSTRUCTION OF A SAM'S CLUB FUELING STATION TO BE LOCATED IN THE SOUTHEAST CORNER OF THE EXISTING SAM'S CLUB DEVELOPMENT LOCATED AT 4850 ENCORE DRIVE. THE PROPOSED FUELING STATION WILL INCLUDE AN APPROXIMATE 192 SF SERVICE BUILDING AND 16 FUELING POSITIONS. IT IS ANTICIPATED THAT THE FUELING STATION WILL EMPLOY THREE TO FOUR FULL TIME EMPLOYEES



DEVELOPED BY:

sam's club \>

SAM'S REAL ESTATE BUSINESS TRUST 2101 SE SIMPLE SAVINGS DRIVE BENTONVILLE, AR 72716 (479) 273-4000

CARLSON
CONSULTING
ENGINEERS, INC.

7068 Ledgestone Commons, Bartlett, TN 38133
Phone (901) 384-0404 • Fax (901) 384-0710

THE SITEWORK FOR THE SAM'S CLUB PORTION OF THIS PROJECT SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS."

ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO CONTRACT COMPLETION AND THE FINAL CONNECTION OF SERVICES.

CONTRACTOR SHALL CONTACT 811 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.

# INDEX OF SHEETS

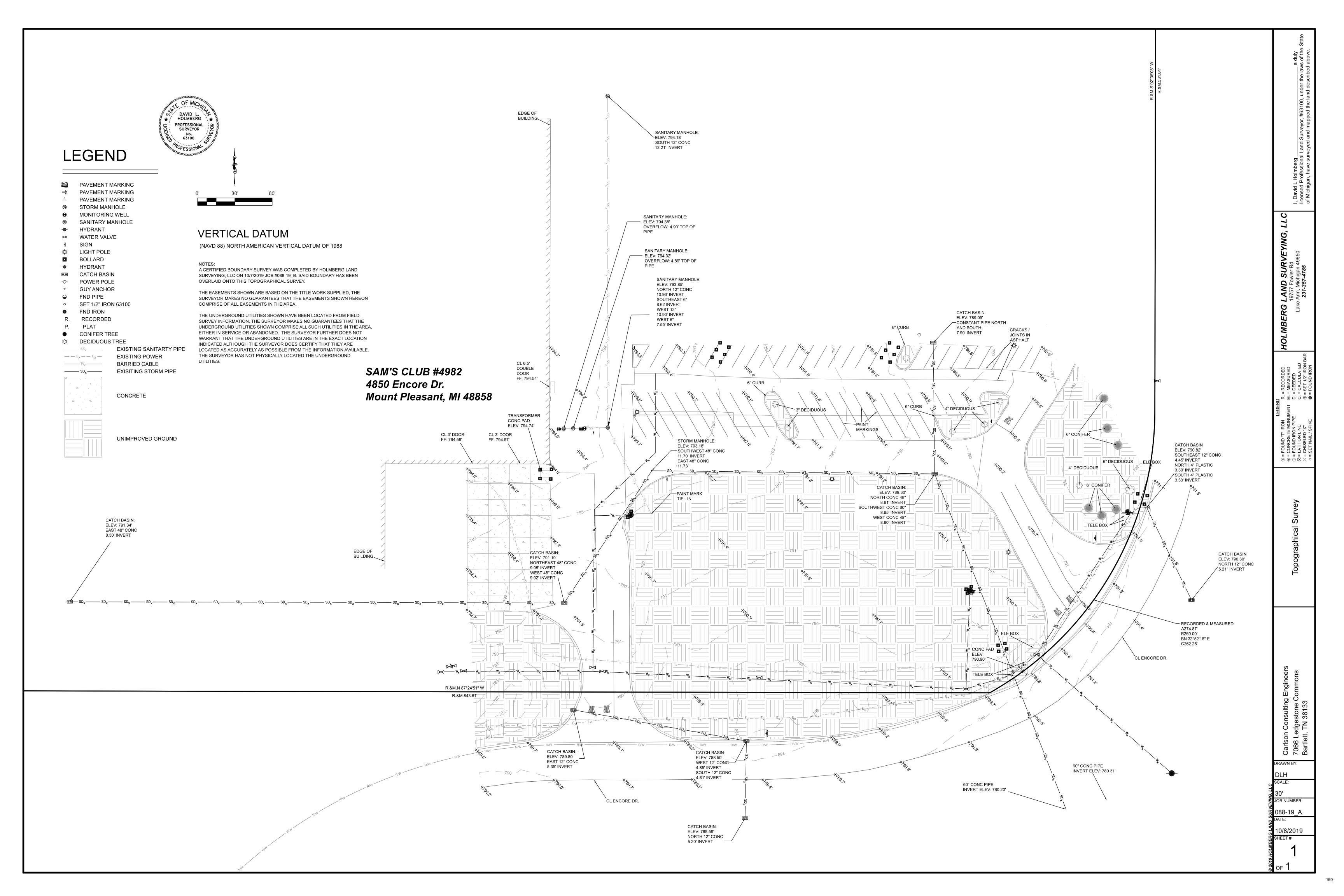
SHEET 1	TITLE SHEET
SHEET 2	TOPOGRAPHICAL SURVEY
SHEET 3	OVERALL SITE PLAN
SHEET 4	EROSION AND SEDIMENTATION CONTROL NOTES
SHEET 5	SWPPP IMPLEMENTATION SEQUENCE AND LIMITS OF WORK
SHEET 6	PHASE I EROSION AND SEDIMENTATION CONTROL PLAN
SHEET 7	PHASE II EROSION AND SEDIMENTATION CONTROL PLAN
SHEET 8-12	EROSION CONTROL DETAILS
SHEET 13	DEMOLITION AND TRAFFIC CONTROL PLAN
SHEET 14	SITE PLAN
SHEET 15	GRADING PLAN
SHEET 16	UTILITY PLAN
SHEET 17	PHOTOMETRICS PLAN
SHEET 18	SEWER AND WATER SERVICE LINES PLAN AND PROFILE
SHEET 19	PLANTING PLAN
SHEET 20	PLANTING DETAILS
SHEET 21	IRRIGATION PLAN
SHEET 22-23	IRRIGATION DETAILS
SHEET 24-27	DETAILS

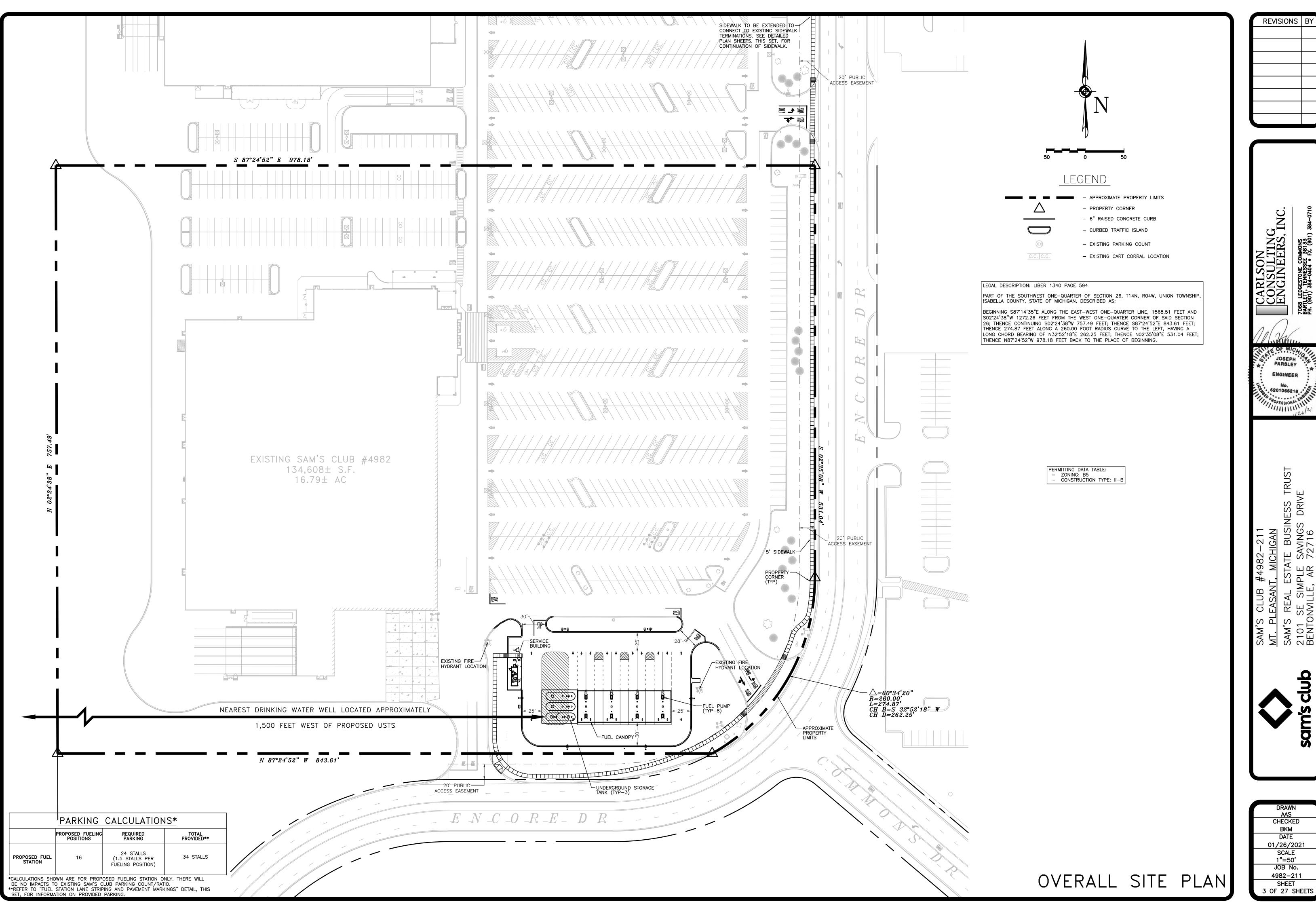
PROJECT CLOSEOUT REQUIREMENTS

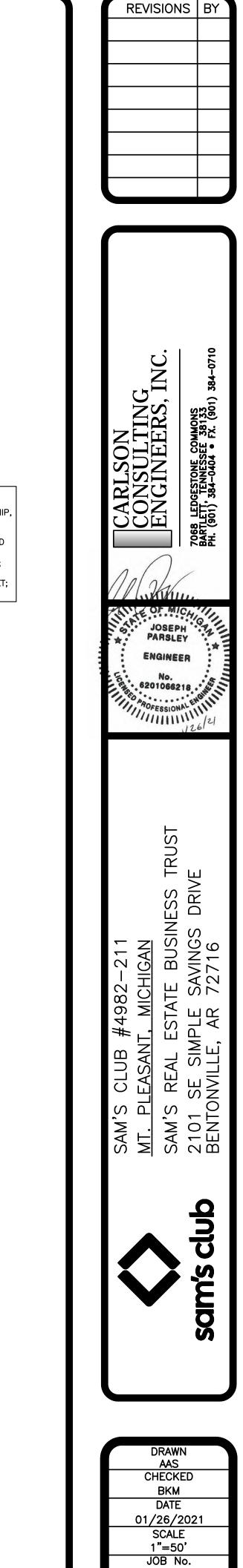
CONTRACTOR'S SCOPE SHALL INCLUDE PREPARING/PROVIDING ALL AHJ REQUIRED PROJECT CLOSEOUT DOCUMENTATION SUCH AS AS-BUILT SURVEYS, FINAL TESTING REPORTS, INSPECTION LOGS, ETC. ALL ITEMS SHALL BE PREPARED IN ACCORDANCE WITH APPLICABLE AHJ REQUIREMENTS. BY SUBMITTING A BASE BID, CONTRACTOR ACKNOWLEDGES THAT ADEQUATE FUNDS HAVE BEEN INCLUDED TO ADDRESS THIS REQUIREMENT.

# CONSTRUCTION PHASING NOTICE

THE SAM'S CLUB WILL REMAIN OPERATIONAL THROUGHOUT THE DURATION OF THIS PROJECT. CONSTRUCTION SEQUENCING AND CLOSE COORDINATION WITH THE WALMART CONSTRUCTION MANAGER AND SAM'S CLUB MANAGER ARE REQUIRED TO HELP MINIMIZE DISRUPTIONS TO THE SAM'S CLUB NORMAL OPERATIONS (INCLUDING DELIVERIES, TMA SERVICES, OUTDOOR SALES AND STORAGE, ETC.) AND THEIR CUSTOMERS AND ASSOCIATES. BY SUBMITTING A BID, THE CONTRACTOR ACKNOWLEDGES THAT HE/SHE HAS EXAMINED THE PROJECT TO THE DEGREE NECESSARY TO PROVIDE A LUMP SUM PRICE FOR THE WORK AND THAT HE/SHE HAS INCLUDED NECESSARY FUNDS FOR ANY ADDITIONAL TEMPORARY PROTECTION, TRAFFIC CONTROL, LOW IMPACT CONSTRUCTION EQUIPMENT, AND/OR WORK REQUIRED DURING NON-PEAK BUSINESS HOURS THAT MAY BE REQUIRED TO MINIMIZE DISRUPTIONS AND/OR INCONVENIENCE TO THE SAM'S CLUB OPERATIONS AND ITS CUSTOMERS AND ASSOCIATES.



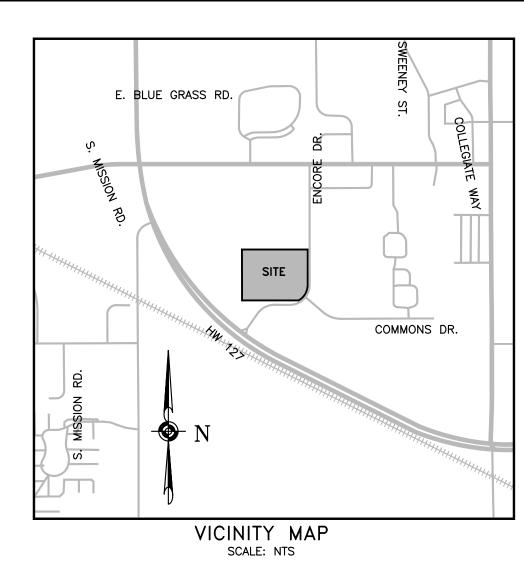




4982-211



STORMWATER OUTFLOWS I & II STORMWATER FROM THE SITE DRAINS INTO A REGIONAL DETENTION SYSTEM LOCATED SOUTHEAST OF THE SITE. THIS SYSTEM DISCHARGES INTO POTTER CREEK, THE ULTIMATE RECEIVING WATERS. POTTER CREEK IS LOCATED APPROXIMATELY 650 FEET SOUTH OF THE SITE.



# GENERAL NOTES

A. PROJECT OFFICE WALL SWPPP POSTINGS: THE FOLLOWING ITEMS MUST BE POSTED TOGETHER IN A SINGLE, ORGANIZED LOCATION ON A WALL INSIDE THE PROJECT OFFICE: 1) SWPPP SITE MAPS (ALL PHASES); 2) SWPPP DETAIL SHEETS; 3) MAP SHOWING LOCATION OF OFFSITE IMPORT OR EXPORT FACILITY; 4) REVISIONS TO DETAILS, SITE MAPS, OR SWPPP-RELATED RFIS; 5) SITE SWPPP BINDER; 6) SWCT PLACARD; 7) CURRENT OWNER STORMWATER COMPLIANCE TRAINING CERTIFICATES FOR SUPERINTENDENT(S) AND COMPLIANCE OFFICER(S); AND 8) CERTIFICATIONS AND/OR TRAINING CERTIFICATES REQUIRED TO PERFORM INSPECTIONS BY THE APPLICABLE CONSTRUCTION GENERAL PERMIT OR AUTHORITY HAVING JURISDICTION.

# B. PERMITTED PROJECT AREA:

FOR PURPOSES OF THIS SWPPP AND ASSOCIATED STORMWATER PERMIT, 'PERMITTED PROJECT AREA' IS DEFINED AS ANY AND ALL AREAS WITHIN THE PROJECT LIMITS OF DISTURBANCE, AS SHOWN ON THE SWPPP SITE MAPS AND IDENTIFIED IN THE NOTICE OF INTENT TO THE AGENCY. ALL GROUND-DISTURBING AND CONSTRUCTION-RELATED ACTIVITIES (MATERIAL STORAGE, DUMPSTERS, PARKING AREAS, PROJECT OFFICE TRAILER, ETC.) MUST BE INCLUDED WITHIN THE PERMITTED PROJECT AREA LIMITS OF

OFFSITE AREA(S) TO BE DISTURBED AS PART OF THIS PROJECT (NOT ON OWNER PROPERTY):

WORK, CONTAINED WITHIN THE PERMITTED LIMITS OF DISTURBANCE, WHICH EXTENDS BEYOND THE OWNER'S PROPERTY BOUNDARY INCLUDES UTILITY CONNECTIONS AND OFF SITE GRADING.

ALL AREAS OUTSIDE THE PERMITTED PROJECT AREA (I.E., LIMITS OF DISTURBANCE) ACQUIRED FOR USE BY THE GC OR A SUBCONTRACTOR OF THE GC (BORROW SOURCES, DISPOSAL AREAS, ETC.) MUST BE MANAGED IN ACCORDANCE WITH APPENDIX E - TAB 21 OF THE 02370 SPECIFICATION. THE CONTRACTOR IS REQUIRED TO LOCATE OFFICE TRAILERS AND MATERIAL STORAGE AREAS FOR THE PROJECT WITHIN THE LIMITS OF DISTURBANCE. THE CONTRACTOR MAY REQUEST USE OF OFF-SITE LOCATIONS FOR OFFICE TRAILERS OR NON-ERODIBLE MATERIAL STORAGE; HOWEVER, APPROVAL MUST BE OBTAINED FROM THE CONSTRUCTION MANAGER. THE CEC AND THE WAL-MART SWCT PRIOR TO THEIR USE. REQUESTS WILL BE REVIEWED ON A CASE BY CASE BASIS AND IF APPROVED, LIMITATIONS ON USE WILL BE PROVIDED BY THE CEC.

THERE ARE NO SPECIAL PROJECTS, LOCATED BEYOND THE OWNER PERMITTED PROJECT AREA. REQUIRING INSPECTION AND MAINTENANCE ASSOCIATED WITH THIS CONSTRUCTION PROJECT.

THE GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES PROHIBITS MOST NON-STORMWATER DISCHARGES DURING THE CONSTRUCTION PHASE. ALLOWABLE NON-STORMWATER DISCHARGES THAT OCCUR DURING CONSTRUCTION ON THIS PROJECT, ARE INCLUDED IN RULE 2161A OF THE PERMIT BY RULE.

BEST MANAGEMENT PRACTICES (BMPS) MUST BE IMPLEMENTED FOR THE GENERAL PERMIT ALLOWABLE DISCHARGES FOR THE DURATION OF THE PERMIT. THE TECHNIQUES DESCRIBED IN THIS SWPPP FOCUS ON PROVIDING CONTROL OF POLLUTANT DISCHARGES WITH PRACTICAL APPROACHES THAT UTILIZE READILY AVAILABLE EXPERTISE, MATERIAL, AND EQUIPMENT.

NON-STORMWATER COMPONENTS OF SITE DISCHARGES MUST BE UNCONTAMINATED NON-TURBID WATER. ALL NON-STORMWATER DISCHARGES MUST BE ROUTED TO A STORMWATER CONTROL PRIOR TO DISCHARGE. WATER USED FOR CONSTRUCTION WHICH DISCHARGES FROM THE SITE MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE STATE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE; IT CAN BE RETAINED IN RETENTION PONDS UNTIL IT INFILTRATES OR EVAPORATES. WHEN NON-STORMWATER IS DISCHARGED FROM THE SITE, IT MUST BE DONE IN A MANNER SUCH THAT IT DOES NOT CAUSE EROSION OF THE SOIL DURING DISCHARGE.

PROCESS WATER SUCH AS POWER WASHING WATER AND CONCRETE CUTTING EFFLUENT, AMONG OTHERS, MUST BE COLLECTED FOR TREATMENT AND DISPOSAL. IT MUST NOT BE FLUSHED INTO THE SITE STORM DRAIN SYSTEM OR DISCHARGED OFF-SITE.

ALL DISCHARGE POINTS MUST BE INSPECTED TO DETERMINE WHETHER EROSION AND SEDIMENTATION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING DISCHARGE OF SEDIMENT FROM THE SITE AND/OR IMPACTS TO RECEIVING WATERS. SEDIMENT ACCUMULATION DOWNGRADIENT OF DISCHARGE LOCATIONS SHALL BE REPORTED AS A SEDIMENT DISCHARGE (SEE APPENDIX E - TAB 14, SEDIMENT RELEASES, OF THE 02370 SPECIFICATION) AND THE POTENTIAL UPSTREAM CAUSE SHALL BE INVESTIGATED TO PREVENT FUTURE OCCURRENCE. CONTACT THE CM, CEC AND SWCT TO DETERMINE APPROPRIATE ACTION FOR CLEANUP OF DISCHARGED SEDIMENT THAT MAY BE OUTSIDE OF THE LIMITS OF DISTURBANCE. SEE SAMPLING AND MONITORING OF EFFLUENT PLAN (IF APPLICABLE).

# EROSION AND SEDIMENT CONTROL NOTES

- A. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE, CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- C. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- D. CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH SWPPP IMPLEMENTATION SEQUENCE, OR AS REQUIRED BY THE APPLICABLE GENERAL PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.
- E. ALL DENUDED/BARE AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY, WITH THE USE OF FAST-GERMINATING ANNUAL GRASS/GRAIN VARIETIES, STRAW/HAY MULCH, WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING AND/OR BLANKETS. COMPLETION MUST BE ACHIEVED WITHIN 14 DAYS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEEDED, SODDED, AND/OR VEGETATED IMMEDIATELY, AND COMPLETED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR PLANTING
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. TEMPORARY AND/OR PERMANENT STABILIZATION SHALL BE APPLIED PER REQUIREMENTS IN THESE E&S CONTROL NOTES.
- H. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF-SITE.
- ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE SITE PLANS.
- STORM WATER POLLUTANT CONTROL MEASURES INSTALLED DURING CONSTRUCTION, THAT WILL ALSO PROVIDE STORM WATER MANAGEMENT AFTER CONSTRUCTION, ARE INCLUDED IN THE CONTRACT DOCUMENTS. THE SITE-SPECIFIC POST CONSTRUCTION STORM WATER OPERATION AND MAINTENANCE (0&M) MANUAL IS INCLUDED IN THE CONTRACT DOCUMENTS.
- K. ALL PERMANENT CONTROLS AND SYSTEMS MUST BE INSTALLED AND FUNCTIONING AS DESIGNED AND FREE OF ACCUMULATED SEDIMENT AND DEBRIS DURING FINAL PROJECT INSPECTION AND APPROVAL.

# HAZARDOUS MATERIAL MANAGEMENT & SPILL REPORTING

ANY HAZARDOUS OR POTENTIALLY HAZARDOUS MATERIAL THAT IS BROUGHT ONTO THE CONSTRUCTION SITE SHALL BE HANDLED PROPERLY TO REDUCE THE POTENTIAL FOR STORMWATER POLLUTION. ALL MATERIALS USED ON THIS CONSTRUCTION SITE SHALL BE PROPERLY STORED, HANDLED, DISPENSED AND DISPOSED OF FOLLOWING ALL APPLICABLE LABEL DIRECTIONS. FLAMMABLE AND COMBUSTIBLE LIQUIDS SHALL BE STORED AND HANDLED ACCORDING TO APPLICABLE REGULATIONS. AND. AT A MINIMUM, ACCORDING TO 29 CFR 1926.152. ONLY APPROVED CONTAINERS AND PORTABLE TANKS SHALL BE USED FOR STORAGE AND HANDLING OF FLAMMABLE AND COMBUSTIBLE LIQUIDS.

MATERIAL SAFETY DATA SHEETS (MSDS) INFORMATION SHALL BE KEPT ON SITE FOR ANY AND ALL APPLICABLE MATERIALS. HOWEVER, MSDS MAY ALSO BE ACCESSED VIA TELEPHONE OR OTHER ELECTRONIC MEANS OR APPARATUS.

IN THE EVENT OF AN ACCIDENTAL SPILL, IMMEDIATE ACTION SHALL BE TAKEN BY THE GC TO CONTAIN AND REMOVE THE SPILLED MATERIAL. THE SPILL SHALL BE REPORTED TO THE APPROPRIATE AGENCIES IN THE REQUIRED TIME FRAMES. AS REQUIRED UNDER THE PROVISIONS OF THE CLEAN WATER ACT, ANY SPILL OR DISCHARGE ENTERING WATERS OF THE UNITED STATES SHALL BE PROPERLY REPORTED.

ALL HAZARDOUS MATERIALS, INCLUDING CONTAMINATED SOIL AND LIQUID CONCRETE WASTE, SHALL BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY FEDERAL, STATE AND LOCAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS.

THE GC SHALL PREPARE A WRITTEN RECORD OF ANY SPILL AND ASSOCIATED CLEAN-UP ACTIVITIES OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF 1 GALLON OR REPORTABLE QUANTITIES, WHICHEVER IS LESS, ON THE DAY OF THE SPILL. THE GC SHALL PROVIDE NOTICE TO OWNER, VIA THE ONLINE CRITICAL INCIDENT REPORT, IMMEDIATELY UPON IDENTIFICATION OF ANY SPILL. SPILL REPORT FORMS ARE AVAILABLE IN THE ONLINE SWPPP REPORTING SYSTEM PROVIDED BY THE OWNER. COPIES OF SPILL CRITICAL INCIDENT REPORTS SHALL BE PRINTED AND MAINTAINED IN THE

ANY SPILLS OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF REPORTABLE QUANTITIES AS DEFINED BY EPA OR THE STATE OR LOCAL AGENCY REGULATIONS, SHALL BE IMMEDIATELY REPORTED TO THE EPA NATIONAL RESPONSE CENTER (1-800-424-8802) AND THE MICHIGAN EGLE POLLUTUION EMERGENCY ALERTING SYSTEM (1-800-292-4706)

THE STATE REPORTABLE QUANTITY FOR PETROLEUM PRODUCTS IS: DISCHARGES THAT VIOLATE WATER QUALITY STANDARDS, OR CAUSE A FILM OR SHEEN UPON OR DISCOLORATION OF THE SURFACE OF THE WATER OR ADJORNING SHORELINES, OR CAUSE A SLUDGE OR EMULSION TO BE DEPOSITED BENEATH THE SURFACE OF THE WATER OR UPON ADJOINING SHORELINES.

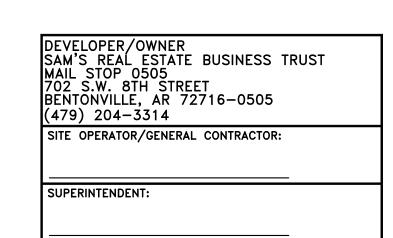
THE REPORTABLE QUANTITY FOR HAZARDOUS MATERIALS CAN BE FOUND IN 40 CFR 302. https://www.epa.gov/epcra/consolidated-list-lists-under-epcracerclacaa-ss112r-june-2019-version

TO MINIMIZE THE POTENTIAL FOR A SPILL OF PETROLEUM PRODUCT OR HAZARDOUS MATERIALS TO COME IN CONTACT WITH STORMWATER, THE FOLLOWING STEPS SHALL BE IMPLEMENTED:

1) ALL MATERIALS WITH HAZARDOUS PROPERTIES, SUCH AS PESTICIDES, PETROLEUM PRODUCTS. FERTILIZERS, SOAPS, DETERGENTS, CONSTRUCTION CHEMICALS, ACIDS, BASES, PAINTS, PAINT SOLVENTS, ADDITIVES FOR SOIL STABILIZATION, CONCRETE, CURING COMPOUNDS AND ADDITIVES. ETC., SHALL BE STORED IN A SECURE LOCATION, UNDER COVER AND IN APPROPRIATE, TIGHTLY SEALED CONTAINERS WHEN NOT IN USE.

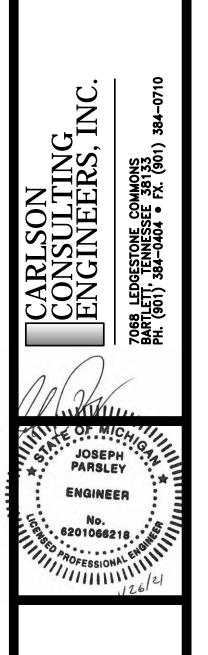
2) THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS SHALL BE KEPT ON THE JOB SITE AND SCHEDULED FOR DELIVERY AS CLOSE TO TIME OF USE AS PRACTICAL.

- 3) A SPILL CONTROL AND CONTAINMENT KIT (CONTAINING FOR EXAMPLE, ABSORBENT MATERIAL SUCH AS KITTY LITTER OR SAWDUST, ACID, BASE, NEUTRALIZING AGENT, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, PLASTIC AND METAL TRASH CONTAINERS, ETC.) SHALL BE PROVIDED AT THE CONSTRUCTION SITE AND ITS LOCATION(S) SHALL BE IDENTIFIED WITH LEGIBLE SIGNAGE AND SHOWN ON SITE MAPS. a. THE SPILL CONTROL AND CONTAINMENT KIT SUPPLIES SHALL BE OF SUFFICIENT QUANTITIES AND APPROPRIATE CONTENT TO CONTAIN A SPILL FROM THE LARGEST ANTICIPATED PIECE OF EQUIPMENT AND FROM THE LARGEST ANTICIPATED QUANTITIES OF PRODUCTS STORED ON THE
- SITE AT ANY GIVEN TIME. b. CONTENTS SHALL BE INSPECTED DAILY DURING THE DAILY STORMWATER INSPECTION.
- 4) ALL PRODUCTS SHALL BE STORED IN AND USED FROM THE ORIGINAL CONTAINER WITH THE ORIGINAL PRODUCT LABEL. CONTAINERS MUST BE STORED IN A MANNER TO PROTECT THEM FROM THE ELEMENTS AND INCIDENTAL DAMAGE.
- 5) ALL PRODUCTS SHALL BE USED IN STRICT COMPLIANCE WITH INSTRUCTIONS ON THE PRODUCT
- 6) THE DISPOSAL OF EXCESS OR USED PRODUCTS SHALL BE IN STRICT COMPLIANCE WITH INSTRUCTIONS ON THE PRODUCT LABEL AND REGULATIONS.



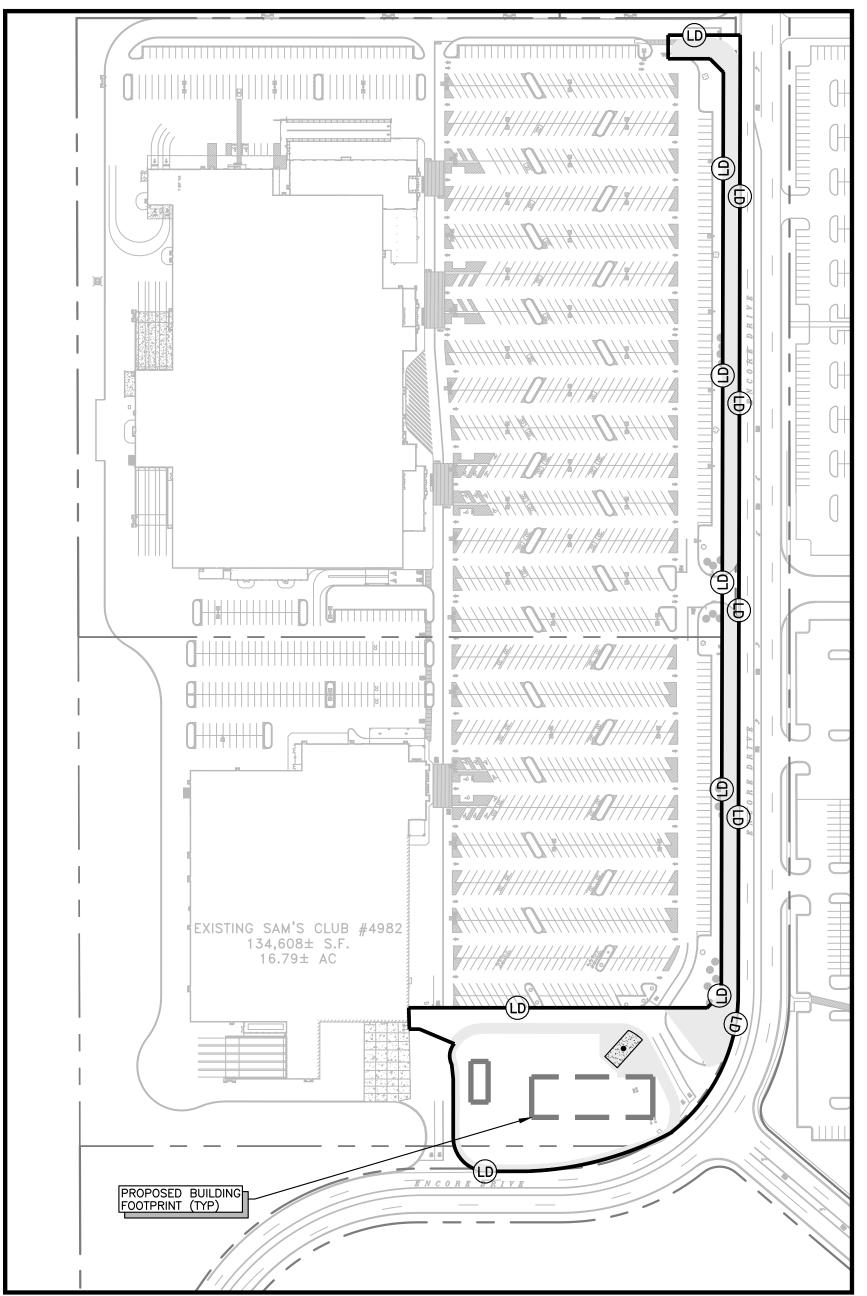
IMPORTANT: GC MUST SIGN ALL SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

SW-1EROSION AND SEDIMENTATION CONTROL NOTES



382-21, MICHIGAN TATE BUSINE SAVINGS S CI PLEA 'S RE SAM' MT. SAM' 2101 BENT

> CHECKED BKM DATE 01/26/2021 SCALE N.T.S. JOB No. 4982-211 SHEET 4 OF 27 SHEETS



PHASE I LIMITS OF WORK
N.T.S.

NOTE: UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE AREAS/CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS. IN ADDITION, NOTE ALL AREAS WHERE FILL IS IMPORTED FROM OR SOIL IS EXPORTED TO ON THE SITE MAPS.

1. INSTALL THE SWPPP INFORMATION SIGN AND POST REQUIRED DOCUMENTS NEAR THE PLANNED CONSTRUCTION EXIT, AND WITHIN EASY ACCESS TO THE GENERAL PUBLIC WITHOUT ENTERING THE

- 2. STAKE/FLAG THE LOD (WHERE STAKING IS NOT POSSIBLE/PRACTICAL, THE LOD MUST BE CONSPICUOUSLY, AND PROMINENTLY, MARKED TO DENOTE THE BOUNDARY). LOD MUST REMAIN CONSPICUOUSLY MARKED THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT.
- INSTALL TRAFFIC CONTROL DEVICES AS SHOWN ON THE DEMOLITION AND TRAFFIC CONTROL PLAN. 4. INSTALL PERIMETER SEDIMENT CONTROL BMPS AND INLET PROTECTION DEVICES IN THE VICINITY OF, AND DOWN GRADIENT FROM, THE LOCATION OF THE PLANNED CONSTRUCTION EXIT,
- CONSTRUCTION OFFICE TRAILER, AND TEMPORARY PARKING AND STORAGE AREAS. CLEAR ONLY THE MINIMUM AREA ABSOLUTELY NECESSARY TO INSTALL THESE PERIMETER CONTROL BMPS AND INLET
- 5. INSTALL CONSTRUCTION EXIT WITH SEDIMENT TRAP, AND SET THE PROJECT OFFICE TRAILER.
  6. INSTALL REMAINING PERIMETER SEDIMENT CONTROL BMPS, AS SHOWN ON THE SITE MAPS AND AS CONSTRUCTION PROGRESS DICTATES. CLEAR ONLY THE MINIMUM AREA NECESSARY TO INSTALL PERIMETER CONTROL BMPS. SILT FENCE 1 (SF1) SHALL BE INSTALLED PRIOR TO MOVING TO NEXT STEP.
- 7. PREPARE TEMPORARY PARKING AND STORAGE AREA.

  8. HALT ALL ACTIVITIES.

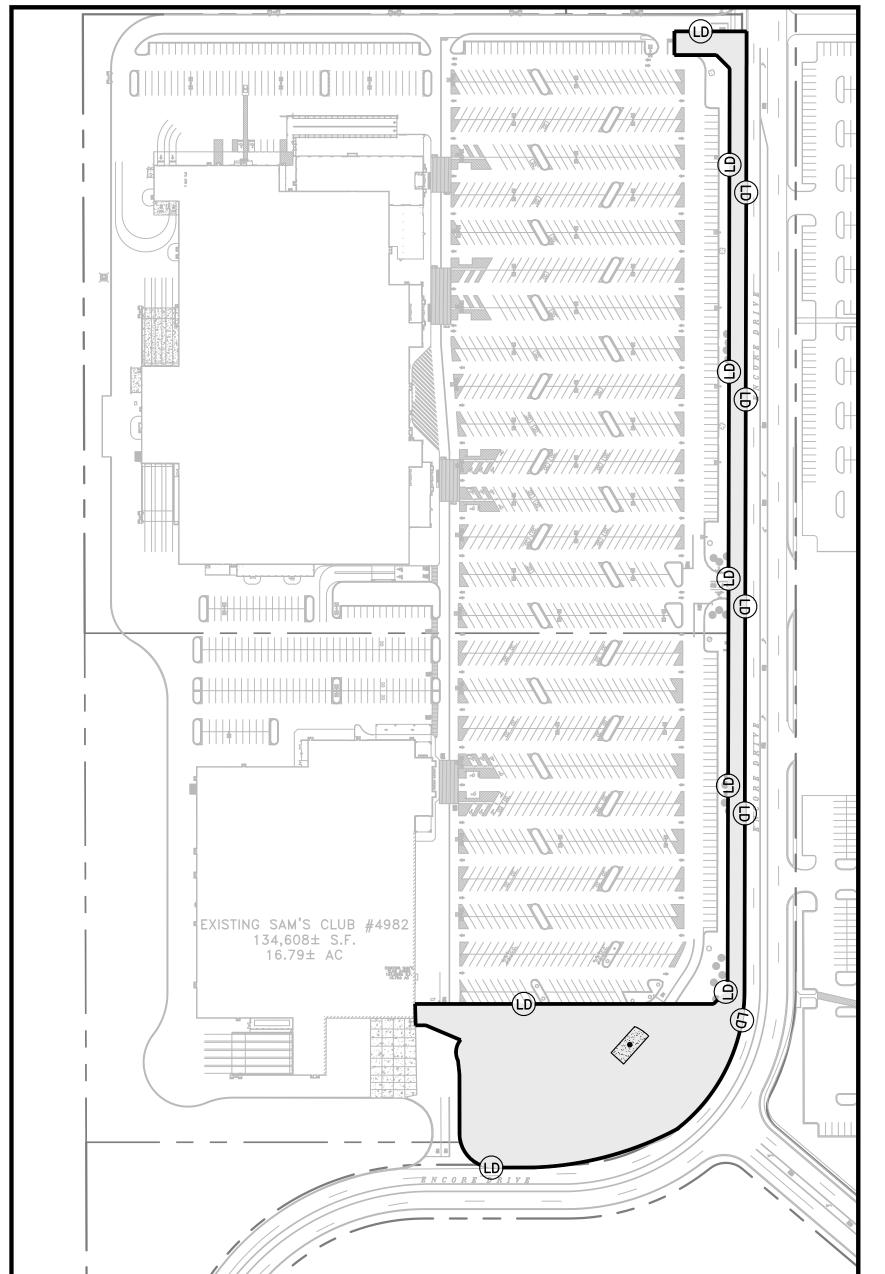
PROCEEDING WITH CONSTRUCTION.

CONTACT THE CEC TO PERFORM INSPECTION AND CERTIFICATION OF BMPS. BMP CERTIFICATION MUST OCCUR BEFORE STORMWATER PRE-CONSTRUCTION MEETING. (THIS SHALL BE SCHEDULED IN ADVANCE IN ANTICIPATION OF THE EXPECTED DATE WHEN THE ABOVE SEQUENCE ITEMS WILL BE COMPLETED.)

ALL EXCEPTIONS NOTED ON THE BMP CERTIFICATION FORM MUST BE ADDED AS DEFICIENCIES WITHIN THE BMP CERTIFICATION FORM AND RESOLVED WITHIN 24-HOURS. BMPS MUST NOT BE CERTIFIED IF ONE OR MORE OF THE EXCEPTIONS WILL NOT BE RESOLVED WITHIN 24-HOURS OF THE BMP CERTIFICATION BY THE CEC. IF THE CEC IS UNABLE TO CERTIFY THAT SITE CONDITIONS ARE PER PLANS AND SPECIFICATIONS, THE CERTIFICATION OF BMPS MUST BE RESCHEDULED. THE STORMWATER PRE-CONSTRUCTION MEETING

MAY ONLY OCCUR AFTER BMPS CAN BE CERTIFIED. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT THE STORMWATER PRE—CONSTRUCTION MEETING WITH THE CEC, OWNER'S CONSTRUCTION MANAGER, AGENCY(IES) AND SUBCONTRACTORS BEFORE

DAILY STORMWATER INSPECTION REPORTS IN THE ONLINE SWPPP REPORTING SYSTEM PROVIDED BY THE OWNER MUST START ON THE NEXT BUSINESS DAY AFTER THE SITE BMPS & PRECONSTRUCTION MEETING CERTIFICATION IS SIGNED/CERTIFIED BY THE CEC.



PHASE II LIMITS OF WORK N.T.S.

SWPPP IMPLEMENTATION SEQUENCE

NOTE: DOWN SLOPE PROTECTIVE MEASURES MUST ALWAYS BE IN PLACE BEFORE SOIL IS DISTURBED. ACTIVITIES ARE PRESENTED IN THE ORDER OR SEQUENCE IN WHICH THEY ARE REQUIRED TO BE

**LEGEND**  LIMITS OF DISTURBANCE LIMITS OF WORK LIMITS OF DISTURBANCE CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH THE EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN. NO

UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING

N.T.S.

NOTE TO GENERAL CONTRACTOR PRIOR TO CONSTRUCTION, GC MUST CLEARLY DELINEATE AND MARK AREAS IDENTIFIED IN THE SWPPP OR IN THE FIELD, TO BE PROTECTED (SUCH AS, NATURAL BUFFERS, TREES, HABITATS OF ENDANGERED/ THREATENÉD SPECIES, HISTORÍC PROPERTIES, ETC.).

CAUTION NOTICE TO CONTRACTOR IF PROPERLY IMPLEMENTED, THIS PLAN WILL PROVIDE AN EFFECTIVE MEANS FOR CONTROLLING EROSION. HOWEVER, IT IS ACKNOWLEDGED THAT NO ONE PLAN CAN BE PREPARED THAT WILL DEPICT ALL POSSIBLE CONTROL MEASURES NECESSARY FOR VARIOUS STAGES OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE IN THE BASE BID ADEQUATE FUNDS TO PROVIDE ALL EROSION CONTROL MEASURES NECESSARY TO COMPLY WITH CODES FOR THE DURATION OF THE CONSTRUCTION PROJECT.

SPECIFICATIONS REQUIREMENTS THE REQUIREMENTS SHOWN ON THIS PLAN ARE SUPPLEMENTED BY THE SWPPP CONTAINED WITHIN THE PROJECT SPECIFICATIONS. IN CASE OF CONFLICTS BETWEEN THE PLANS, SWPPP SPECIFICATIONS AND THE ACTUAL GENERAL PERMIT, THE MOST STRINGENT REQUIREMENTS SHALL

NOTICE TO CONTRACTOR

SHALL BE PERMITTED.

- CONTRACTOR SHALL MANAGE CONSTRUCTION ACTIVITIES TO REDUCE EROSION AND RETAIN SEDIMENT AND OTHER POLLUTANTS IN THE SOIL AT THE CONSTRUCTION SITE.
- 2. CONTRACTOR SHALL MINIMIZE THE TIME BARE SOIL IS EXPOSED.
- 3. CONTRACTOR SHALL MINIMIZE SITE DISTURBANCE BY MINIMIZING THE EXTENT OF GRADING AND CLEARING TO EFFECTIVELY REDUCE SEDIMENT YIELD.

NOTE TO GC: OWNER HAS AUTHORITY AT ANY TIME TO LIMIT SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY CLEARING AND GRUBBING, EXCAVATION, BORROW AND EMBANKMENT OPERATIONS AND TO DIRECT THE GC TO PROVIDE IMMEDIATE PERMANENT OR TEMPORARY POLLUTION CONTROL MEASURES.

1. BEGIN CLEARING, GRUBBING, AND STRIPPING THE SITE. (PHASE CLEARING AND GRUBBING TO THE EXTENT PRACTICAL TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ANY POINT IN TIME) BEGIN GRADING THE SITE.

START CONSTRUCTION OF BUILDING PAD AND STRUCTURES. 1. TEMPORARILY STABILIZE, THROUGHOUT CONSTRUCTION IMMEDIATELY FOLLOWING THE COMPLETION OF THE MOST RECENT LAND DISTURBING/GRADING ACTIVITY, ANY

DISTURBED AREAS, INCLUDING MATERIAL STOCKPILES THAT ARE SCHEDULED OR LIKELY TO REMAIN INACTIVE FOR 14 DAYS OR MORE.

PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE. INSTALL INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.

PREPARE SITE FOR PAVING.

10. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.

11. OBTAIN CONCURRENCE FROM THE OWNER CONSTRUCTION MANAGER (CM) THAT THE SITE HAS BEEN FULLY STABILIZED AND ALL CONSTRUCTION HAS BEEN COMPLETED, A. REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPS),

B. STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF TEMPORARY BMPS, AND . ASK THE CM TO CONTACT THE CEC TO COMPLETE THE CEC PRE-NOT SITE INSPECTION AND REPORT (ONLY CM MAY DO THIS). 12. CONTINUE DAILY INSPECTIONS AND REPORTS UNTIL THE CM FINAL DAILY INSPECTION REPORT, MARKED 'READY TO TERMINATE PERMIT', IS SIGNED BY THE CONSTRUCTION MANAGER AND SUBMITTED VIA THE ONLINE SWPPP REPORTING SYSTEM PROVIDED BY THE OWNER.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY, ONLY IF ALL PRECEDING BMPS AND STABILIZATION ACTIVITIES HAVE BEEN COMPLETELY INSTALLED. BMP—RELATED STEPS IN THE ABOVE SEQUENCE ARE BOLDED FOR CLARITY. THE CEC MUST APPROVE, IN WRITING, ANY CHANGES IN THE ABOVE SWPPP IMPLEMENTATION SEQUENCE, BEFORE THEIR IMPLEMENTATION BEGINS.

THE ESTIMATED DATES OF IMPLEMENTATION OF POLLUTION CONTROL MEASURES SHALL BE DOCUMENTED BY THE CONTRACTOR ON THE SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE ON SHEET SW-5.

> DEVELOPER/OWNER
> SAM'S REAL ESTATE BUSINESS TRUST
> MAIL STOP 0505
> 702 S.W. 8TH STREET
> BENTONVILLE, AR 72716-0505 (479) 204-3314 SITE OPERATOR/GENERAL CONTRACTOR: SUPERINTENDENT:

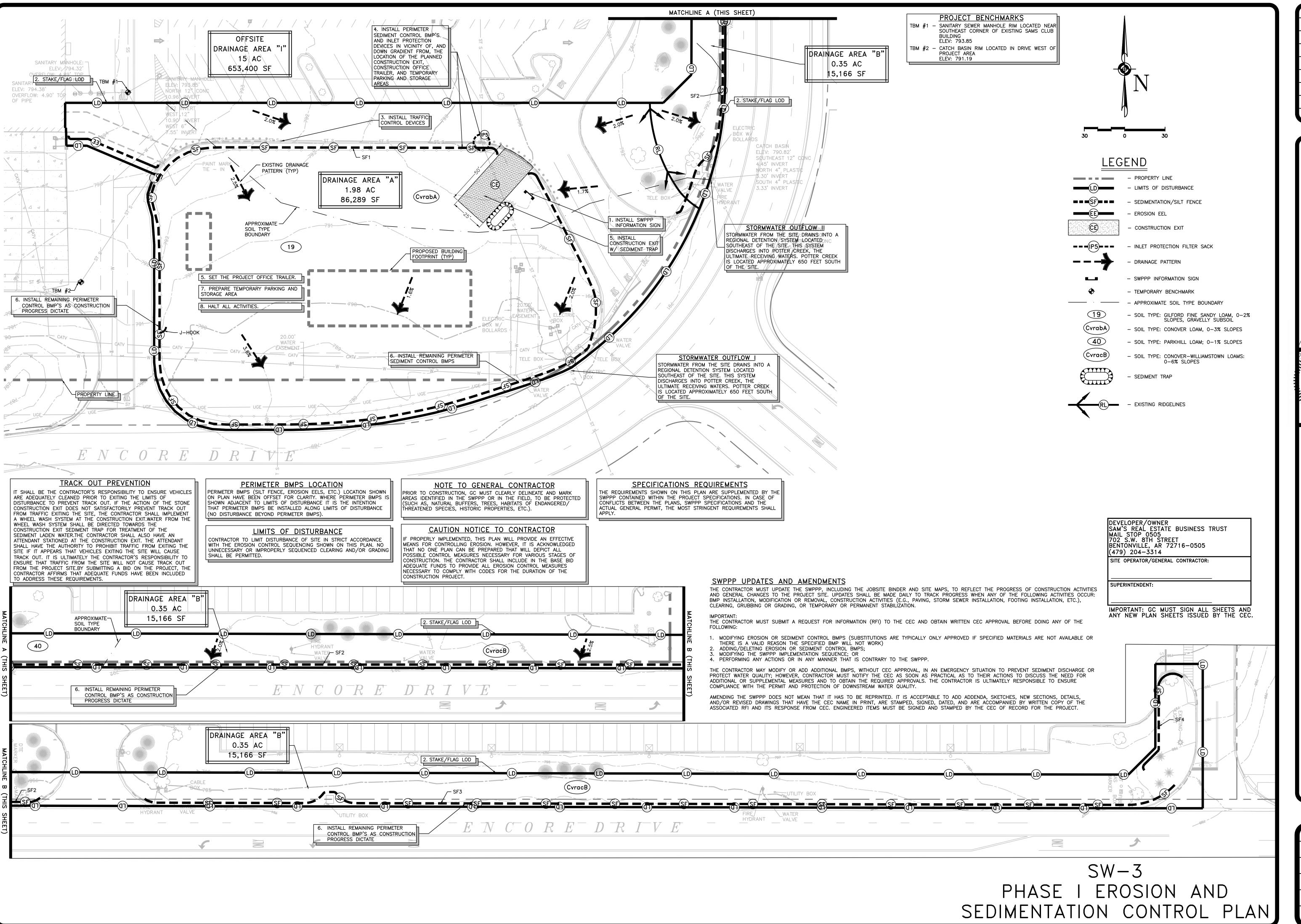
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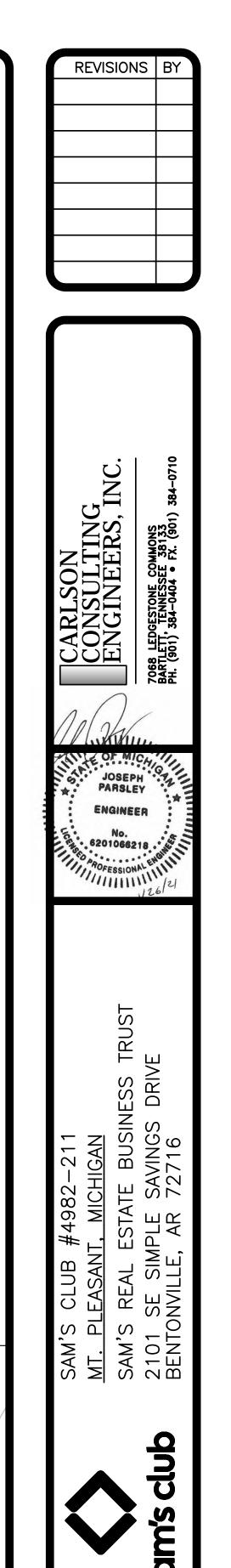
SW-2SWPPP IMPLEMENTATION SEQUENCE AND LIMITS OF WORK

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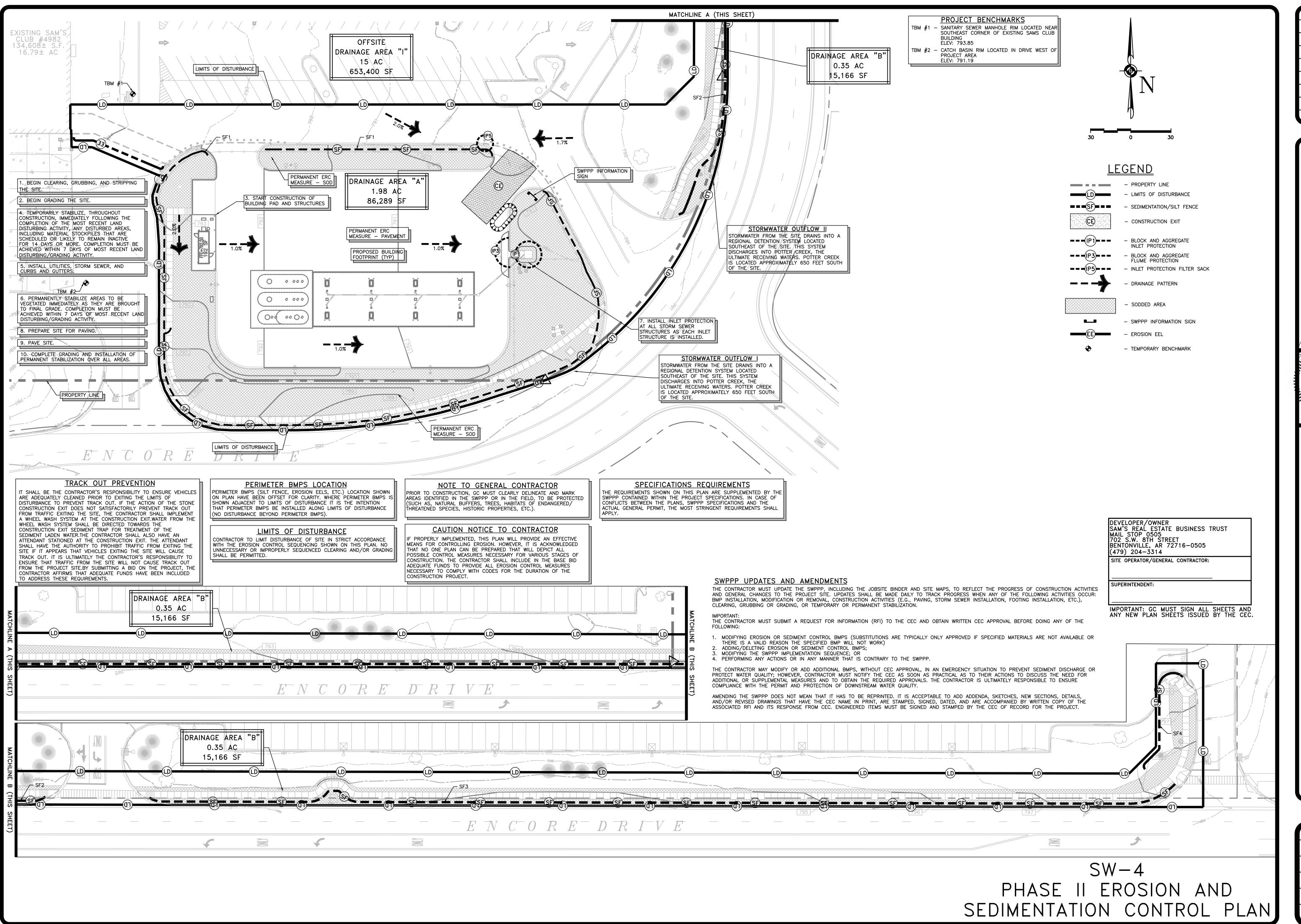
482-21, AICHIGAN ATE BUSINESS SAVINGS DRIV SAM'S MT. PL SAM'S 2101 BENTO

DATE 01/26/2021 N.T.S. JOB No. 4982-211 SHEET 5 OF 27 SHEETS





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1"=30'
JOB No.
4982-211
SHEET
6 OF 27 SHEETS



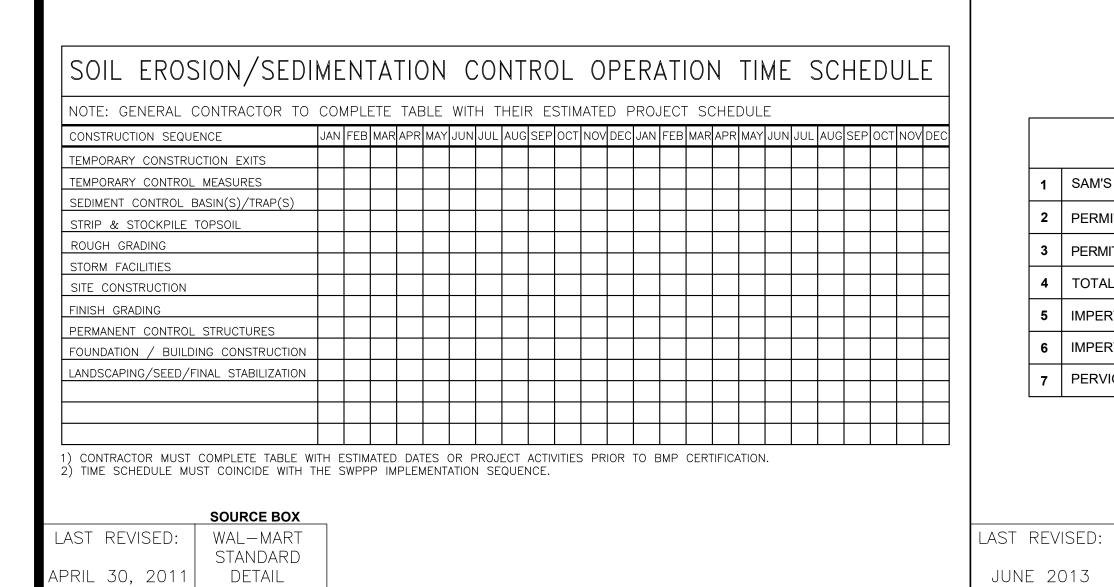
JOSEPH PARSLEY ENGINEER 6201066218 MIIIIIII 382–21 i MICHIGAN FATE BUSINESS SAVINGS DRIV SAM,
MT.
SAM,
2101
BEN1 CHECKED BKM DATE 01/26/2021

164

1"=30'

JOB No. 4982-211

SHEET 7 OF 27 SHEETS



	ACREAGE SUMMARY (IN ACRES)	1
1	SAM'S PROPERTY AREA	16.79
2	PERMITTED AREA WITHIN SAM'S PROPERTY	2.75
3	PERMITTED AREA OUTSIDE OF SAM'S PROPERTY	0.25
4	TOTAL PERMITTED PROJECT AREA	3.00
5	IMPERVIOUS AREA BEFORE PROJECT	1.00
6	IMPERVIOUS AREA AT COMPLETION	2.00
7	PERVIOUS AREA AT COMPLETION	1.00

SOURCE BOX

WAL-MART

STANDARD

DETAIL

OFF-	-SITE	RUN	-ON ;	SUMMA	ARY
OFF-SITE DRAINAGE AREA	FLOW (CFS)	AREA (ACRES)	AVERAGE SLOPE	MAXIMUM SLOPE	COVER TYPE
AREA "I"	77	15	2.00%	33%	PAVED/GRASSED
			-	-	

SI	TE SOILS SUMMARY
SOIL TYPE AND TEXTURE:	PER THE PROJECT GEOTECHNICAL EXPLORATION, SOILS ACROSS THE SITE GENERALLY CONSIST OF SILTY CLAYS OVERLYING SANDS.
AVERAGE DEPTH OF TOPSOIL:	9" PER PROJECT GEOTECHNICAL EXPLORATION.
AVERAGE DEPTH TO GROUNDWATER:	15 FEET PER PROJECT GEOTECHNICAL EXPLORATION.
NOTE: THE ABOVE SOILS INFORMATION IS FOR	R INFORMATION ONLY AND SHOULD NOT BE USED FOR BIDDING PURPOSES,

CONSTRUCTION COSTS OR ESTIMATING.

DETAIL

SOURCE BOX SOURCE BOX WAL-MART LAST REVISED: LAST REVISED: WAL-MART STANDARD STANDARD JUNE 2012 JUNE 2012 DETAIL

RUNOFF COEFFICIENT SU	JMMARY
PRE-CONSTRUCTION SCS TR-55 CURVE NUMBER:	CN = 63
POST-CONSTRUCTION SCS TR-55 CURVE NUMBER:	CN = 86

SITE	E LOCATION SUMMARY
ADDRESS:	4850 ENCORE DRIVE, MT. PLEASANT, MICHIGAN 48058
CENTER OF SITE:	
LATITUDE:	43°34'12" N (43.570024° N)
LONGITUDE:	84*45'32" W (84.758772* W)
ADJACENT SURROUNDING PROPERTIES:	WEST, NORTH AND EAST: COMMERCIAL DEVELOPMENT SOUTH: ENCORE DRIVE FOLLOWED BY A REGIONAL STORMWATER RETENTION POND.

SITE	TOPOGRAPHY SUMMARY
LOWEST ELEVATION OF PROJECT SITE:	789
HIGHEST ELEVATION OF PROJECT SITE:	794
PERCENT SLOPE VARIATION:	SLOPES ACROSS THE SITE VARY FROM 1% IN PAVED AREAS TO 33% IN GRASSED SLOPE AREAS.
TOPOGRAPHY CHANGES:	DUE TO THE SITE BEING IN AN EXISTING COMMERCIALLY DEVELOPED AREA, TOPOGRAPHY ACROSS THE SITE WILL REMAIN RELATIVELY UNCHANGED WITH MINIMAL CUT/FILL OPERATIONS REQUIRED.
VEGETATION:	ALL VEGETATIVE AREAS REMOVED FROM THE SITE DURING CONSTRUCTION WILL BE REPLACED WITH IMPERVIOUS AREA OR RE-VEGETATED UPON COMPLETION OF GRADING ACTIVITIES
AVERAGE SLOPE:	EXISTING SLOPES ACROSS THE SITE RANGE FROM 1% TO 33%

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	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
AVERAGE RAINFALL IN INCHES	1.74	1.38	1.99	2.71	2.99	3.06	2.78	3.01	3.10	2.56	2.23	1.64
THE TOTAL	AVERAGE	ANNUAL	RAINFALL	FOR THE	E PROJEC	T AREA I	S: 29.18	INCHES				

SOURCE BOX LAST REVISED: WAL-MART STANDARD DETAIL JUNE 2012

SOURCE BOX LAST REVISED: WAL-MART STANDARD DETAIL JUNE 2012

SOURCE BOX LAST REVISED: WAL-MART STANDARD JUNE 2013 DETAIL

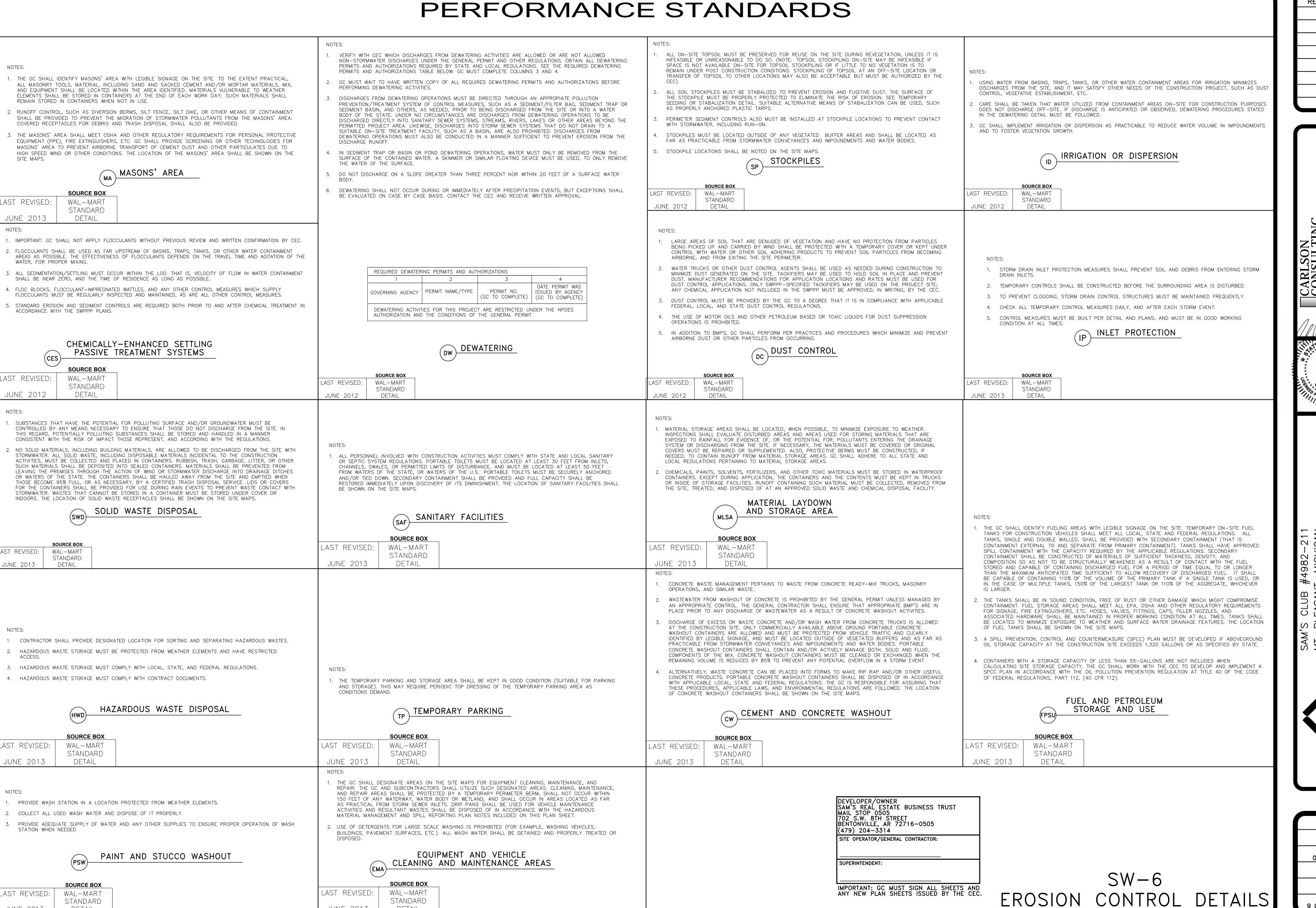
SOURCE BOX LAST REVISED: WAL-MART STANDARD DETAIL JUNE 2012

> DEVELOPER/OWNER
> SAM'S REAL ESTATE BUSINESS TRUST
> MAIL STOP 0505
> 702 S.W. 8TH STREET
> BENTONVILLE, AR 72716-0505
> (479) 204-3314 SITE OPERATOR/GENERAL CONTRACTOR:

IMPORTANT: GC MUST SIGN ALL SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

SW-5
EROSION CONTROL DETAILS

AAS CHECKED BKM DATE 01/26/2021 SCALE NTS JOB No. 4982-211 SHEET 8 OF 27 SHEETS



STANDARD

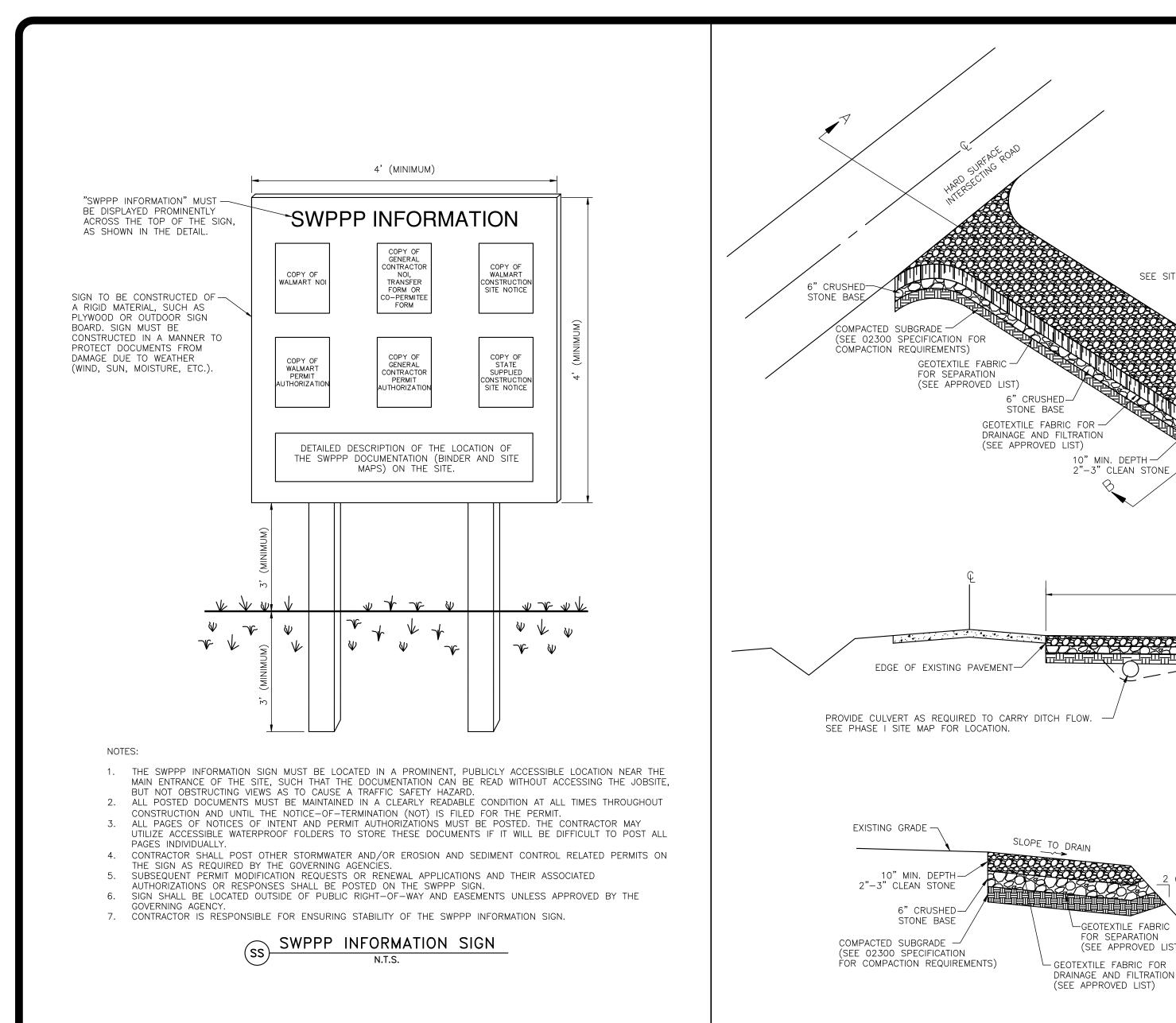
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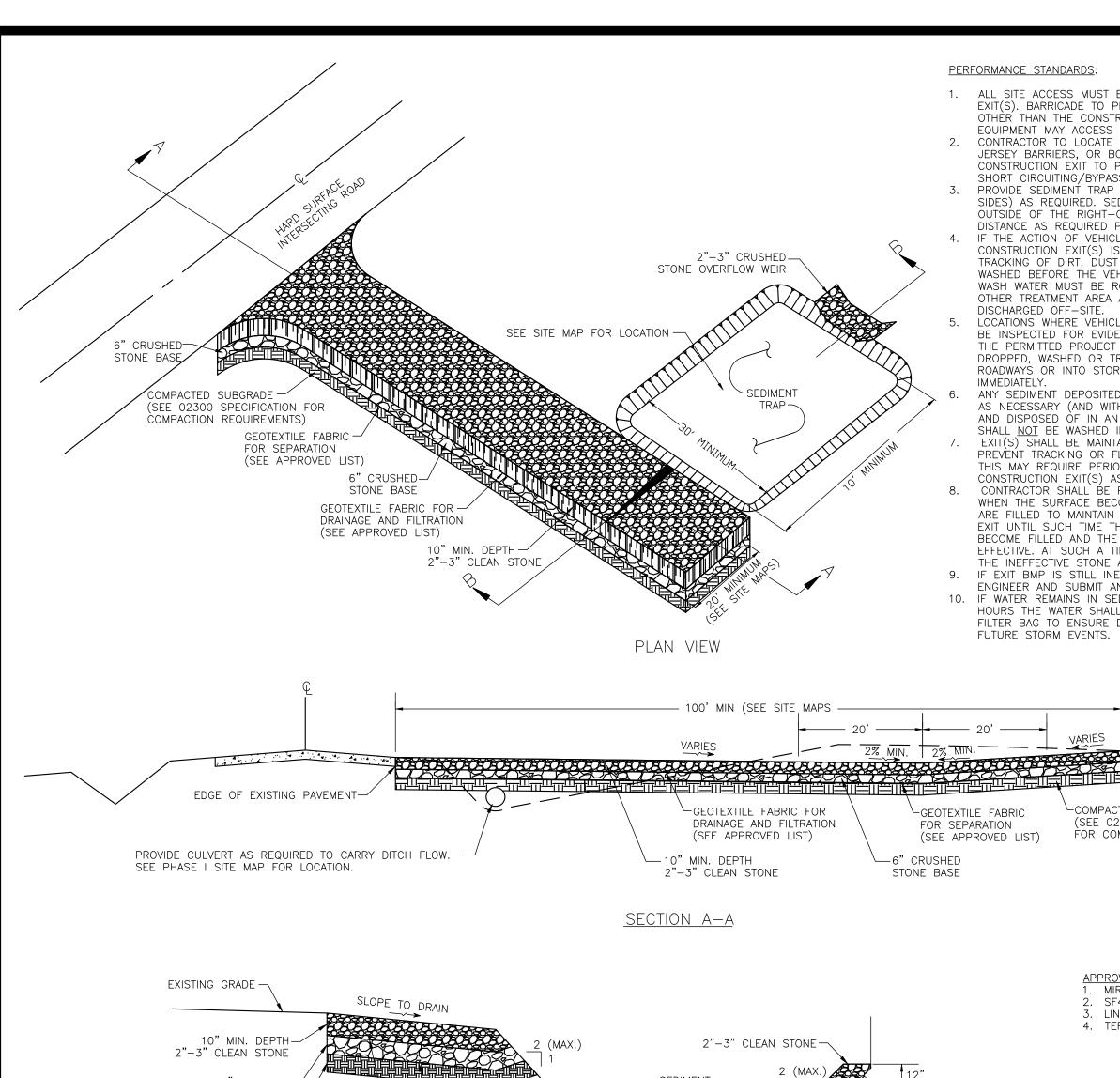
STANDARD

JOSEPH PARSLEY ENGINEER 6201066218

82-21, 11CHIGAN ATE BUSINE AVINGS AVINGS

01/26/2021 NTS JOB No. 4982-211 SHEET 9 OF 27 SHEETS





PERFORMANCE STANDARDS:

- ALL SITE ACCESS MUST BE CONFINED TO THE CONSTRUCTION EXIT(S). BARRICADE TO PREVENT USE OF ANY LOCATIONS OTHER THAN THE CONSTRUCTION EXIT(S) WHERE VEHICLES OR
- EQUIPMENT MAY ACCESS THE SITE. 2. CONTRACTOR TO LOCATE TEMPORARY CONSTRUCTION FENCING, JERSEY BARRIERS, OR BOTH ALONG THE SIDES OF THE CONSTRUCTION EXIT TO PREVENT CONSTRUCTION TRAFFIC FROM
- SHORT CIRCUITING/BYPASSING THE EXIT. PROVIDE SEDIMENT TRAP ON DOWN GRADIENT SIDE (OR BOTH SIDES) AS REQUIRED. SEDIMENT TRAP SHALL BE LOCATED OUTSIDE OF THE RIGHT-OF-WAY AND AT A MINIMUM SETBACK DISTANCE AS REQUIRED PER LOCAL JURISDICTION. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION EXIT(S) IS NOT SUFFICIENT TO PREVENT TRACKING OF DIRT, DÚST OR MUD, THEN TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. ALL WASH WATER MUST BE ROUTED TO A SEDIMENT TRAP OR OTHER TREATMENT AREA AND SHALL NOT BE DIRECTLY
- DISCHARGED OFF-SITE. LOCATIONS WHERE VEHICLES ENTER AND EXIT THE SITE MUST BE INSPECTED FOR EVIDENCE OF SEDIMENT TRACKING BEYOND THE PERMITTED PROJECT AREA. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED
- ANY SEDIMENT DEPOSITED ON THE ROADWAY SHALL BE SWEP AS NECESSARY (AND WITHIN THE SAME DAY AS DISCOVERY) AND DISPOSED OF IN AN APPROPRIATE MANNER. SEDIMENT SHALL NOT BE WASHED INTO STORM SEWER SYSTEMS. EXIT(S) SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD BEYOND THE EXIT(S) THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE
- CONSTRUCTION EXIT(S) AS CONDITIONS DEMAND. CONTRACTOR SHALL BE PERMITTED TO TURN THE STONE WHEN THE SURFACE BECOMES SMOOTH AND SURFACE VOIDS ARE FILLED TO MAINTAIN EFFECTIVENESS OF CONSTRUCTION EXIT UNTIL SUCH TIME THAT VOIDS BELOW THE SURFACE BECOME FILLED AND THE CONSTRUCTION EXIT IS NO LONGER EFFECTIVE. AT SUCH A TIME THE CONTRACTOR SHALL REMOVE THE INEFFECTIVE STONE AND REPLACE PER DETAIL. IF EXIT BMP IS STILL INEFFECTIVE, GC MUST CONTACT THE
- ENGINEER AND SUBMIT AN RFI AS NECESSARY. 10. IF WATER REMAINS IN SEDIMENT TRAP FOR MORE THAN 48 HOURS THE WATER SHALL BE PUMPED OUT THROUGH A FILTER BAG TO ENSURE DESIGN VOLUME IS AVAILABLE FOR FUTURE STORM EVENTS.

COMPACTED SUBGRADE

(SEE 02300 SPECIFICATION

FOR COMPACTION REQUIREMENTS)

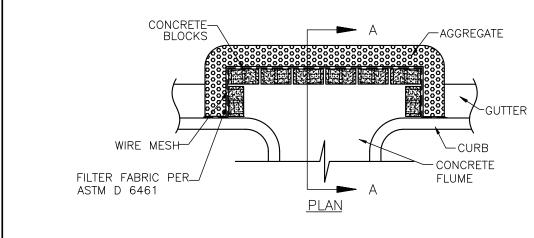
APPROVED GEOTEXTILE FABRICS

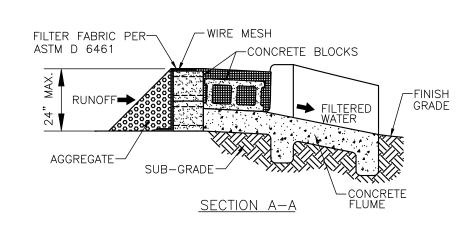
4. TERRATEX HD BY WEBTEC

SF40 OR SF56 BY DUPONT

LINQ GTF-200 OR 300 BY LINQ

MIRAFI HP 370 OR HP 570 BY MIRAFI





1. PLACE CONCRETE BLOCKS IN A SINGLE ROW AROUND PERIMETER OF FLUME ON THEIR SIDES, WITH ENDS OF ADJACENT BLOCKS ABUTTING. 2. HEIGHT OF BARRIER VARIES. USE STACKS OF 4", 8", OR 12" BLOCKS. TOP OF BARRIER MUST BE

LOWER THAN TOP OF CURB ELEVATIONS ADJACENT TO FLUME. MAX. HEIGHT SHALL BE 24".

- 3. PLACE HARDWARE CLOTH/WIRE MESH W/ MAX. 1/2" OPENINGS OVER VERTICAL FACE OF CONCRETE 4. THE AGGREGATE SHALL BE 3/4" - 2" ANGULAR CLEAN STONE WHICH WILL SLOW THE FLOW OF WATER
- AND ALLOW IT TO FILTER THROUGH AND OVER THE MATERIAL BEFORE ENTERING THE FLUME. 5. IF ROAD OR PARKING AREA IS OPEN TO PUBLIC, VERIFY SUITABILITY OF BMP WITH AGENCIES HAVING JURISDICTION AND WITH CEC.

# MAINTENANCE NOTES:

- INLET PROTECTION DEVICES MUST BE INSPECTED FOR SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN (IF USING INSERT-TYPE DEVICE) OR UPGRADIENT OF THE INLET. REMOVAL OF SEDIMENT ACCUMULATED IN OR ADJACENT TO A STORM DRAIN INLET MUST BEGIN
- IMMEDIATELY UPON DISCOVERY, WITH COMPLETION OF THE ACTIVITY OCCURRING NO LATER THAN THE END OF THE FOLLOWING BUSINESS DAY.
- INLET PROTECTION DEVICES SHALL BE INSPECTED FOR UNINTENDED BYPASS OR IMPROPER FLOW-RATES THAT MAY CAUSE DOWNSTREAM FLOODING.
- CONTACT THE CEC FOR ALTERNATE INLET PROTECTION IF THE DESIGNED PROTECTION MAY IMPACT DOWNSTREAM BMPS, ADJACENT SLOPES, ETC., DUE TO PONDING ISSUES. ENSURE THAT NO UNDERMINING OF INLET PROTECTION DEVICES HAS OCCURRED.
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.



STANDARD

DETAIL

JUNE 2012

SOURCE BOX LAST REVISED: CEC

LAST REVISED:

CTOBER 2013

SOURCE BOX

WAL-MART

STANDARD

DETAIL

- 1. THE GC IS REQUIRED TO, AT A MINIMUM, INITIATE SOIL STABILIZATION MEASURES IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY
- 2. THE GC HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. THE GC
- 4. ALTERNATIVE STABILIZATION MEASURES TO SEEDING, SUCH AS ANCHORED MULCH APPLICATION (WITHOUT SEEDING), MAY BE UTILIZED DURING PERIODS WHEN VEGETATIVE GROWTH IS UNLIKELY (E.G. WINTER MONTHS).
- CELLULOSE FIBER MULCH, SPRAY-ON SOIL GLUES/BINDERS, AND ROLLED EROSION CONTROL PRODUCTS.
- 7. ALL ROLLED EROSION CONTROL PRODUCTS SHALL HAVE CURRENT QDOR(TM) STATUS ISSUED BY THE EROSION CONTROL TECHNOLOGY COUNCIL (ECTC) PLUS ANY STATE OR AGENCY-SPECIFIC REQUIREMENTS. EVIDENCE OF QDOR(TM) APPROVAL SHALL ACCOMPANY THE PRODUCT SHIPPED TO THE JOBSITE FOR READY IDENTIFICATION BY THE CONTRACTOR OR AGENCY INSPECTOR.

# PERMANENT SEEDING, SOD OR MULCHING

1. PERMANENT STABILIZATION SHALL BE ACCOMPLISHED IN ALL DISTURBED AREAS BY COVERING THE SOIL WITH

2. THE GC IS REQUIRED TO INITIATE PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY UPON REACHING FINAL GRADE. FOR THOSE AREAS NOT AT FINAL GRADE THAT WILL NOT BE DISTURBED FOR GREATER THAN 14 DAYS,

THE CONTRACTOR SHALL INITIATE TEMPORARY STABILIZATION PER THE TEMPORARY SEEDING OR STABILIZATION

3. THE GC HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. THE GC ALSO HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETELY INSTALL NON-VEGETATED MEASURES, IF

4. SOILS MUST BE PREPARED BEFORE INSTALLATION OF SOD OR SEED. SEE 02900 SPECIFICATION FOR INSTRUCTION

COVER MEETING VEGETATIVE DENSITY REQUIREMENTS IN THE GENERAL PERMIT, OR MULCH PER LANDSCAPE PLAN,

5. AT THE COMPLETION OF GROUND-DISTURBING ACTIVITIES, THE ENTIRE SITE MUST HAVE PERMANENT VEGETATIVE

6. SEEDED AREAS SHALL BE PROTECTED WITH STRAW MULCH, HYDRAULIC MULCH OR A ROLLED EROSION CONTROL PRODUCT. STRAW MULCH MUST BE TACKIFIED OR CRIMPED BY DISC OR OTHER MACHINERY, AND ROLLED EROSION

CONTROL PRODUCTS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. ONLY ROLLED EROSION

7. ALL AREAS TO BE SEEDED MUST MEET TOPSOIL DEPTH, PH AND ORGANIC CONTENT REQUIREMENTS AS SPECIFIED

8. FINAL SITE STABILIZATION IS ACHIEVED WHEN PERENNIAL VEGETATIVE COVER PROVIDES PERMANENT STABILIZATION

WITH A UNIFORM DENSITY GREATER THAN 70 PERCENT OVER THE ENTIRE AREA TO BE STABILIZED BY VEGETATIVE

PAVEMENT, BUILDING STRUCTURES, VEGETATION, OR OTHER FORMS OF SOIL STABILIZATION.

IN ALL AREAS NOT COVERED BY HARDSCAPE (STONE, PAVEMENT, BUILDINGS, ETC.).

CONTROL PRODUCTS ARE PERMITTED TO BE USED IN FLOW CONVEYANCES.

IN THE 02900 SPECIFICATION - PLANTING OR XERISCAPE SPECIFICATION.

COVER. THIS AREA IS EXCLUSIVE OF AREAS THAT ARE COVERED WITH ROCK (CRUSHED GRANITE, GRAVEL, ETC.) OR LANDSCAPE MULCH, PAVED OR HAVE A BUILDING OR OTHER PERMANENT STRUCTURE ON THEM.

DEVELOPER/OWNER SAM'S REAL ESTATE BUSINESS TRUST MAIL STOP 0505 702 S.W. 8TH STREET BENTONVILLE, AR 72716-0505 (479) 204-3314 SITE OPERATOR/GENERAL CONTRACTOR: SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

SW-7EROSION CONTROL DETAILS

SAM, MT. SAM, 2101 BEN]

REVISIONS

JOSEPH

PARSLEY

ENGINEER

6201066218

ES

-21 IGAN BUSINE AVINGS 7716

Milling

CHECKED BKM DATE 01/26/2021 NTS JOB No. 4982-211 SHEET 10 OF 27 SHEETS

**SOURCE BOX** .AST REVISED: WAI - MART STANDARD DETAIL JUNE 2012

- 1. CONSIDERATION MUST BE GIVEN TO ANTICIPATED CLIMATE AND SEASONAL CONDITIONS WHEN PLANTING SEED. . SEED SHALL BE FREE OF WEEDY SPECIES AND APPROPRIATE FOR SITE SOILS AND REGIONAL CLIMATE. SEED AND MULCH PER THE CONSTRUCTION DRAWINGS AND THE 02900 PLANTING SPECIFICATION IMMEDIATELY AFTER TOPSOIL IS APPLIED AND FINAL GRADE IS REACHED.
- 3. THE SITE HAS ACHEIVED FINAL STABALIZATION ONCE ALL AREAS ARE COVERED WITH BUILDING FOUNDATION OR PAVEMENT, OTHER LANDSCAPING COVER (STONE, MULCH, ETC.), OR HAVE A STAND OF GRASS WITH A MINIMUM OF 70 PERCENT DENSITY OVER THE ENTIRE VEGETATED AREA, OR GREATER IN ACCORDANCE WITH THE GENERAL
- VEGETATED AREAS MUST BE WATERED, FERTILIZED, AND RESEEDED AS NEEDED TO ACHIEVE THIS REQUIREMENT THE VEGETATIVE DENSITY MUST BE MAINTAINED THROUGH PROJECT COMPLETION TO BE CONSIDERED STABILIZED. AREAS PROTECTED BY EROSION CONTROL BLANKETS ARE NOT PERMANENTLY STABILIZED UNTIL THE APPLICABLE GENERAL PERMIT REQUIREMENT FOR FINAL VEGETATIVE DENSITY IS ACHIEVED.
- 6. RIP-RAP, MULCH, GRAVEL, DECOMPOSED GRANITE OR OTHER EQUIVALENT PERMANENT STABILIZATION MEASURES MAY BE EMPLOYED IN LIEU OF VEGETATION BASED ON SITE-SPECIFIC CONDITIONS, DESIGN AND GOVERNING AUTHORITY APPROVAL.
- 7. ALL SEED AREAS SHALL BE INSPECTED REGULARLY TO CONFIRM THAT A HEALTHY STAND OF GRASS IS MAINTAINED.

# SEEDING/VEGETATION REQUIREMENTS

	<b>SOURCE BOX</b>
LAST REVISED:	WAL-MART
	STANDARD
JUNE 2012	DETAIL

LAST

- PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT LIKELY RESUME FOR A PERIOD EXCEEDING [14] CALENDAR DAYS.
- ALSO HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETELY INSTALL NON-VEGETATED MEASURES, IF
- 3. ALL DISTURBED AREAS MUST BE STABILIZED TEMPORARILY WITH THE USE OF FAST-GERMINATING ANNUAL GRASS/GRAIN VARIETIES APPROPRIATE FOR SITE SOIL AND CLIMATE CONDITIONS. MULCH IS REQUIRED FOR ALL SEEDING APPLICATIONS, AND ALL MULCH APPLICATIONS MUST INCLUDE A SUITABLE FORM OF MULCH ANCHORING TO MINIMIZE MOVEMENT OF MULCH BY WIND OR WATER.
- 5. IT IS NOT ACCEPTABLE TO ALLOW BARE SOIL TO REMAIN EXPOSED AT ANY TIME DURING THE YEAR, REGARDLESS OF WEATHER/TEMPERATURE/SITE CONDITIONS.
- 6. ALTERNATIVE STABILIZATION MEASURES INCLUDE, BUT ARE NOT LIMITED TO: ANCHORED STRAW/HAY MULCH, WOOD
- 8. ROLLED EROSION CONTROL PRODUCTS (NETS, BLANKETS, TURF REINFORCED MATS) AND VEGETATED AREAS NOT MEETING REQUIRED VEGETATIVE DENSITIES FOR FINAL STABILIZATION MUST BE INSPECTED DAILY. RILING, RUTTING AND OTHER SIGNS OF EROSION INDICATE THE SPECIFIED EROSION CONTROL DEVICE IS NOT FUNCTIONING OR INSTALLED PROPERLY AND/OR ADDITIONAL EROSION CONTROL DEVICES ARE WARRANTED.

# TEMPORARY SEEDING OR STABILIZATION

13)		
	SOURCE BOX	
REVISED:	WAL-MART	
	STANDARD	
NE 2012	DETAIL	

NOTE TO GC: THE GOAL OF A CONSTRUCTION EXIT AND ASSOCIATED WHEEL WASH AREAS IS TO ELIMINATE TRACK OUT. SIMPLY MANAGING TRACK OUT THROUGH DESIGNATED OR

-GFOTEXTILE FABRIC

FOR SEPARATION

-6" CRUSHED

STONE BASE

(SEE APPROVED LIST)

CONTINUAL STREET SWEEPING IS NOT AN ACCEPTABLE PRACTICE. WHILE STREET SWEEPING IS AN ACCEPTABLE PRACTICE FOR REMOVING DUST AND MINIMAL AMOUNTS OF FINE SEDIMENT, OBSERVABLE TRACK OUT FROM THE PROJECT SHALL TRIGGER THE USE OF ADDITIONAL MEASURES (WHEEL WASH), CONSIDERATION OF ALTERNATE EXITS, OR DISCONTINUING VEHICLE TRAFFIC UNTIL CONDITIONS ON-SITE HAVE IMPROVED. TRACK OUT IS A SEDIMENT RELEASE. ALL SEDIMENT RELEASES MUST BE REPORTED TO THE SWCT

SECTION B-B VIA THE ONLINE CRITICAL INCIDENT REPORT.

ON PROPER SOIL PREPARATION.

**SOURCE BOX** 

WAL-MART

STANDARD DETAIL

LAST REVISED:

JUNE 2012

CONSTRUCTION EXIT

-GEOTEXTILE FABRIC

(SEE APPROVED LIST)

FOR SEPARATION

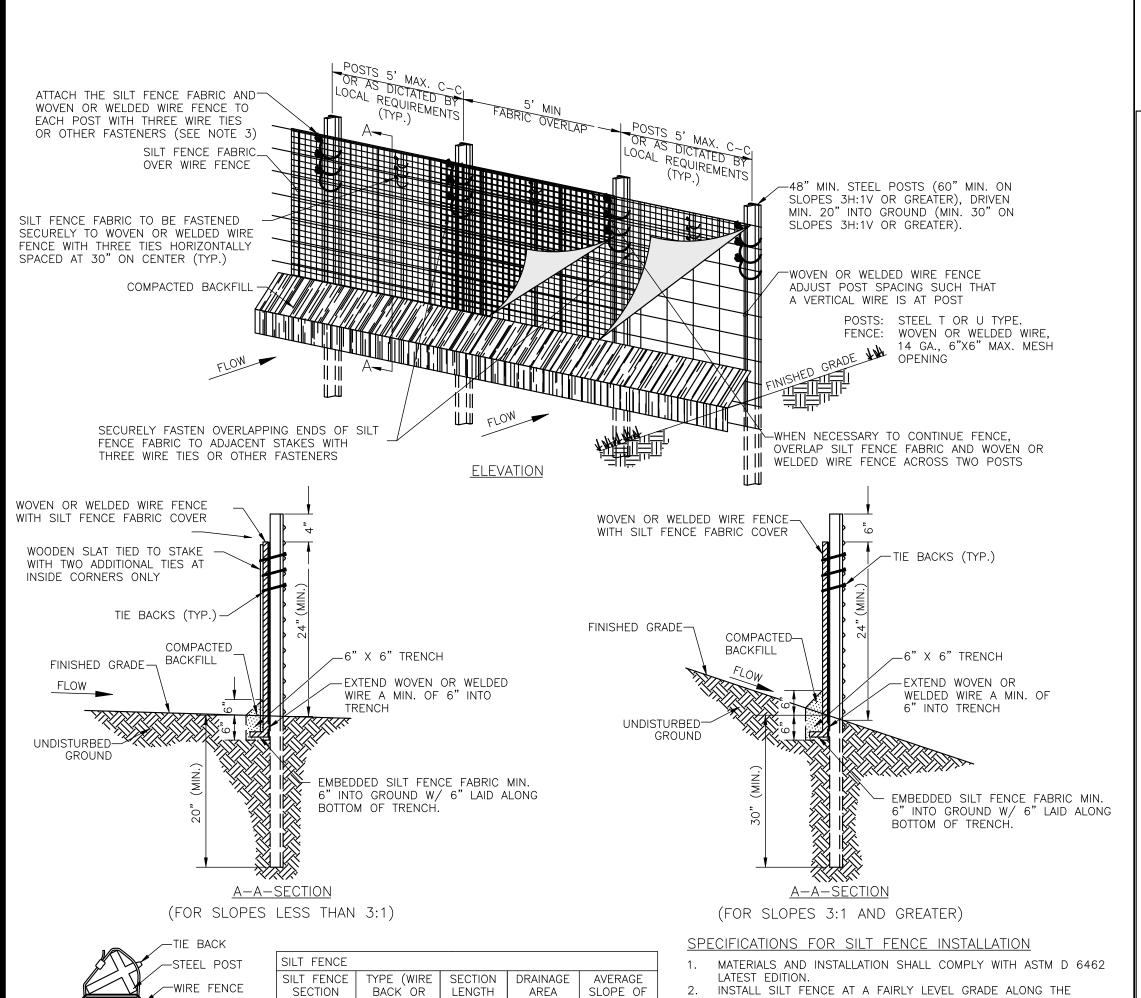


	TABLE 1 Tempo	orary Silt Fence	Material Prope	erty Requirements	6	
		Test Method	Units	Supported⁴ Silt Fence	Unsupported <sup>4</sup> Silt Fence	Type of Value
Grab Strength		ASTM D 4632	N (lbs)			
	Machine Direction			400 (90)	550 (90)	MARV
	X—Machine Direction			400 (90)	450 (90)	MARV
Permittivity <sup>B</sup>		ASTM D 4491	sec-1	0.05	0.05	MARV
Apparent Opening Size <sup>B</sup>		ASTM D 4751	mm (US Sieve #)	0.60 (30)	0.60 (30)	Max. ARV
Ultraviolet Stability		ASTM D 4355	% Retained Strength	70% after 500 h of exposure	70% after 500 h of exposure	Typical

SECTION 1

SLICED)

WIRE BACK

SECTION 3 | WIRE BACK

SECTION 4 | WIRE BACK |

(FT)

680

775

(ACRES)

1.5

0.2

0.2

0.2

AREA

2%

2%

TIGHTENED TO PREVENT SAGGING.

APPLICABLE AGENCY REQUIREMENTS.

SILT FENCES SHALL BE INSPECTED ALONG ITS ENTIRETY AND MUST

HEIGHT OF THE SILT FENCE. MAINTENANCE CLEANOUT MUST BE

REACHING ONE—THIRD THE HEIGHT OF THE SILT FENCE. 2. ALL MATERIAL EXCAVATED FROM BEHIND SILT FENCE SHALL BE

3. SPECIAL ATTENTION SHALL BE PAID TO ENSURE THAT NO

IS OCCURRING AT JOINING SECTIONS.

BE CLEANED WHEN SEDIMENT HAS ACCUMULATED TO ONE-THIRD THE

CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM

STOCKPILED ON AN UPLAND PORTION OF THE SITE IF SUITABLE FOR

UNDERMINING OF SILT FENCE HAS OCCURRED AND THAT NO BYPASS

4. IF EXCESS SEDIMENT IS ACCUMULATING IN ANY SECTION OF SILT FENCE, THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL UPSTREAM STABILIZATION MEASURES OR ADDITIONAL BMPS (PENDING CEC APPROVAL) TO PREVENT EXCESSIVE BUILDUP ON SILT FENCE. 5. SILT FENCÉS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF

POSTS, AS SHOWN.

SECURE WITH 3 TIES.

TOTAL OF FOUR TRIPS.

MAINTENANCE NOTES

REUSE.

A Silt fence support shall consist of 14 gage steel wire with a mesh spacing of 150 mm (6 in.) or prefabricated polymer mesh of BThese default values are based on empirical evidence with a variety of sediments. For environmentally sensitive areas, a review of previous experience and/or site or regionally specific geotextile tests in accordance with Test Method D 5141 shall be performed by the agency to confirm suitability of these requirements. c As measured in accordance with Test Method D 4632. TABLE 1 TAKEN FROM ASTM D 6461-99 (2007)

# SEDIMENTATION/SILT FENCE WITH WIRE BACKING

	<b>SOURCE BOX</b>		
LAST REVISED:	WAL-MART		
	MODIFIED		
JUNE 2012	DETAIL		

- SILT FENCE FABRIC

INSIDE CORNER - PLAN VIEW

IDENTIFY YOUR FRAME STYLE, SIZE, AND MATERIAL CONTOUR WITH THE ENDS CURVED UPHILL TO PROVIDE SUFFICIENT UPSTREAM STORAGE VOLUME FOR THE ANTICIPATED RUNOFF. ATTACH THE GEOTEXTILE OR FABRIC TO THE WOVEN OR WELDED WIRE FENCE WITH THREE WIRE TIES OR OTHER FASTENERS (HORIZONTALLY SPACED EVERY 30"), ALL SPACED WITHIN THE TOP ' OF THE FABRIC. ATTACH EACH TIE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART. AT EACH POST, ATTACH THE GEOTEXTILE OR FABRIC AND THE WOVEN OR WELDED WIRE FENCE TO THE POST AS PREVIOUSLY STATED. IN ADDITION, EACH TIE PLACED ON A POST SHALL BE POSITIONED TO HANG ON A POST NIPPLE WHEN 4. WHEN TWO SECTIONS OF SILT FENCE FABRIC ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED A MINIMUM OF 60" ACROSS TWO ALL SILT FENCE SHALL INCLUDE WIRE SUPPORT. WRAP APPROXIMATELY 6" OF FABRIC AROUND THE END POSTS AND COMPACT THE SOIL IMMEDIATELY NEXT TO THE SILT FENCE FABRIC WITH THE FRONT WHEEL OF THE TRACTOR, SKID STEER, OR ROLLER EXERTING AT LEAST 60 POUNDS PER SQ. INCH. COMPACT THE UPSTREAM SIDE FIRST. COMPACT EACH SIDE TWICE FOR A 8. ADD POST CAPS AS NEEDED BASED ON SITE CONDITIONS AND

UPGRADED FRAMING MATERIAL OPTIONS (STANDARD IS ZINC PLATED) CHROME PLATED FRAMING FOR HIGH SALT EXPOSURE -CHR STAINLESS STEEL FRAMING FOR HIGH SALT AND / OR CHEMICAL EXPOSURE SELECT YOUR FILTER BAG PART NUMBER 22" DEPTH) (12" DEPTH) | CLEAN WATER FLOW | MIN A.O.S. FLEXSTORM FILTER BAGS (US SIEVE) TD BAG P/N SHORT BAG P/N RATE (GPM/SQFT) X: STANDARD WOVEN BAG FX-SFΧ 200 40 X+: WOVEN W/ MYCELX FXP FXP-S 200 O: WOVEN W/OIL BOOM FXO-S 200 FXO 40 C: POST CONSTRUCTION BA PC-S 137 140 C+: PC BAG W/ MYCLEX PCP PCP-S 137 140 LITTER AND LEAF BAG LL-SHIGH 3.5 145 : IDOT NON-WOVEN BAG IL-S

SOURCE BOX

DETAIL

LAST REVISED: MANUFACTURER

APRIL 22, 2013

FLEXSTORM INLET FILTERS

PRODUCT SELECTION AND SPECIFICATION DRAWING

STAINLESS STEEL ROUND INLET FILTERS for

NYLOPLAST CASTINGS

CATCH-ITS SPECIFIED W/ FX or FX-S

MED ROUND (UP TO 20.1"-26" DIA GRATES (A) UP TO 25" DIA OPENINGS (B'

LARGE ROUND (UP TO 26.1"-32.0" DIA GRATES (A) UP TO 30" OPENINGS (B))

ROUND (UP TO 32.1"-39" DIA GRATES (A) UP TO 37" DIA OPENING (B))

SMALL RECT / SQUARE (UP TO 16" (B) x 16" (D) OPENINGS OR 64" PERIMETER)

MED RECT / SQUARE (UP TO 24" (B) x 24" (D) OPENINGS OR 96" PERIMETER)

LARGE RECT / SQUARE (UP TO 36" (B) x 24" (D) OPENINGS OR 120" PERIMETER)

SMALL RECT / SQUARE (REF RECT SIZING; SHIPPED WITH MAGNETIC CURB FLAPS)

MED RECT / SQUARE (REF RECT SIZING; SHIPPED WITH MAGNETIC CURB FLAPS)

LARGE RECT / SQUARE (REF RECT SIZING; SHIPPED WITH MAGNETIC CURB FLAPS)

 $_{ extsf{L}}$  RECT / SQUARE (REF RECT SIZING; SHIPPED WITH MAGNETIC CURB FLAPS

" DIAMETER NYLOPLAST CASTINGS (STAINLESS STEEL FRAMING STANDARD)

5" DIAMETER NYLOPLAST CASTINGS (STAINLESS STEEL FRAMING STANDARD)

RECT/SQUARE (SIDE BY SIDE 2 PC SET TO FIT UP TO 48" (B)x36" (D) OPENINGS

SMALL ROUND (UP TO 20.0" DIA GRATES (A) DIM)

FRAME STYLE AND SIZE

18" DIAMETER NYLOPLAST CA<u>STINGS (STAINLESS STEEL FRAMING STAND</u>ARD) 6218NY 6224NY 4" DIAMETER NYLOPLAST CASTINGS (STAINLESS STEEL FRAMING STANDARD) 6230NY 30" DIAMETER NYLOPLAST CASTINGS (STAINLESS STEEL FRAMING STANDARD) OPEN THROAT GUTTERS — CURB OPENING SIZE JP TO 4' (1 FILTER AND MOUNTING HARDWARE) BETWEEN 4' AND 8' (2 FILTERS AND MOUNTING HARDWARE) 62WM2 62WM3 BETWEEN 8' AND 12' (3 FILTERS AND MOUNTING HARDWARE) 62WM4 BETWEEN 12' AND 16' (4 FILTERS AND MOUNTING HARDWARE) SUFFIX . REMOVE GRATE 3. REPLACE GRATE FRAME P/N FROM | FILTER BAG P/N STEP

WALL MOUNT INLET FILTERS FOR OPEN THROAT GUTTERS SPECIFICATIONS FOR STANDARD BAGS BY NOMINAL SIZE ILTERED FLOW RATE AT 50% MAX NOMINAL STORAGE RETENT **RETENT** (POST (NON) (WOVEN) WOVEN) CONSTR) 8.0 0.9 3.8 1.5 1.6 120 209 3.6 2.4 2.6 192 370 \*PC FILTER BAG AT 50% MAX ABSORPTION CAPACITY \*\*PC FILTER BAG AT 50% CAPACITY AND MYCLEX SKIMMER AT 100% CAPACITY 2. DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR ALL PRODUCTS MANUFACTURED CONCRETE STRUCTURE BY INLET & PIPE PROTECTION, INC DISTRIBUTED BY ADS WWW.INLETFILTERS.COM CREATE YOUR FLEXSTORM INLET FILTER PART NUMBER (866) 287-8655 PH (630) 355-3477 FX INFO@INLETFILTERS.COM

-STAINLESS CLAMPING

REPLACEABLE SEDIMENT -

BAGS WITH GEOTEXTILE

FILTER FABRIC

-STANDARD 2"

OVERFLOW AREA

TYPICAL RECTANGULAR INLET FILTER

FRAMING

MATERIAL

REAR CURB GUARD

TIE DOWNS

COMBINATION INLET FILTER

FOR CURB HOODS

FRAME P/N:

62SRD

62LRD

62XLRD

62SSQ

62MSQ

62LSQ 62XLSQ

62SCB

62MCB

62LCB

62XLCB

6212NY

6215NY

FILTER BAG

FLAP WITH MAGNETIC

\$\$\$\\$\\$\\$\\$\\$\\$\\$\\$\\$\\$\\$

STEP 2

NOTICE TO CONTRACTOR WHERE FILTER BAGS ARE SPECIFIED, THE CONTRACTOR

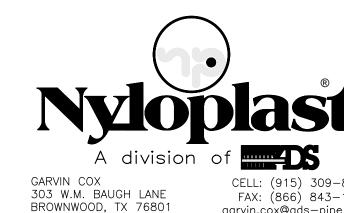
— 11 GAUGE STEEL

TYPICAL ROUND INLET FILTER

SUSPENSION SYSTEM

SHEET 1 OF 1

SHALL USE FLEXSTORM INLET FILTERS BY NYLOPLAST® FOR INLET PROTECTION. SINCE THE INLET FILTERS ARE CUSTOMIZED FOR EACH INLET, THE DETAIL PROVIDED SHALL BE USED FOR GENERAL INFORMATION ONLY. IT SHALL BE THI CONTRACTOR'S RESPONSIBILITY TO ORDER THE APPROPRIATE FLEXSTORM INLET FILTER FOR EACH EXISTING, OR PROPOSED INLET TYPE REQUIRING PROTECTION. THE CONTRACTOR SHALL CONTACT GARVIN COX, OR THE LOCAL NYLOPLAST® SALES REPRESENTATIVE, FOR ORDERING INFORMATION. AT A MINIMUM, THE CONTRACTOR SHALL BE PREPARED TO PROVIDE THE NYLOPLAST® SALES REPRESENTATIVE INFORMATION RELATED 1 INLET TYPE AND DIMENSIONS FOR EACH INLET REQUIRING PROTECTION.

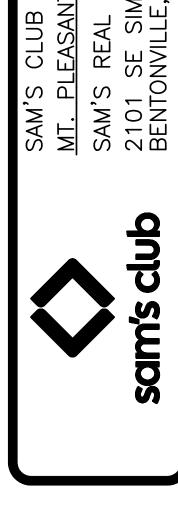


CELL: (915) 309-8259 FAX: (866) 843-1147 BROWNWOOD, TX 76801 garvin.cox@ads-pipe.com

SAM'S REAL ESTATE BUSINESS TRUST MAIL STOP 0505 702 S.W. 8TH STREET BENTONVILLE, AR 72716-0505 (479) 204-3314 SITE OPERATOR/GENERAL CONTRACTOR: SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

SW-8EROSION CONTROL DETAILS



JOSEPH

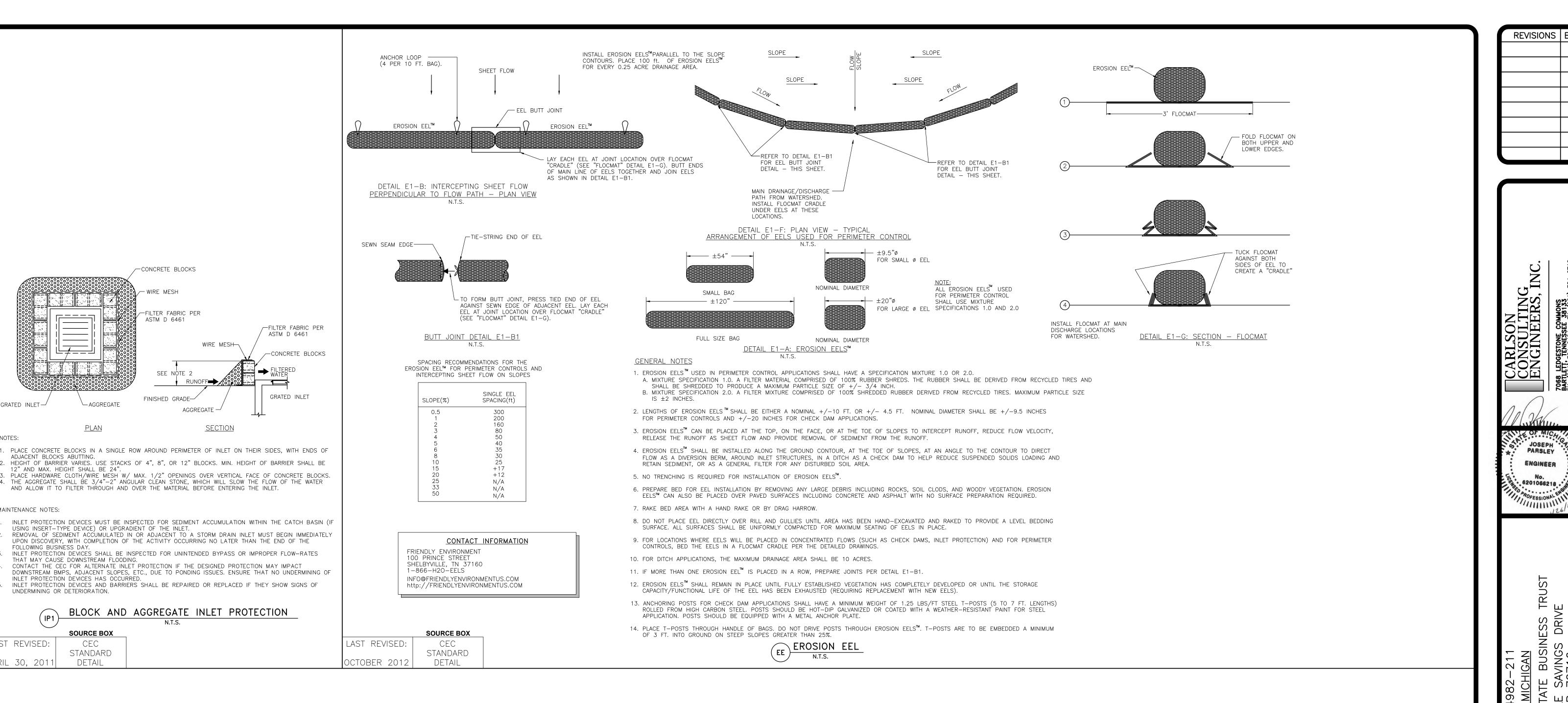
PARSLEY

ENGINEER

6201066218

JB #4982–211
ANT, MICHIGAN
L ESTATE BUSINESS
SIMPLE SAVINGS DRIV
LE, AR 72716

CHECKED BKM DATE 01/26/2021 **SCALE** NTS JOB No. 4982-211 SHEET 11 OF 27 SHEETS



CONCRETE BLOCKS

- WIRE MESH

ASTM D 6461

FINISHED GRADE-

AGGREGATE -

— AGGREGATE

USING INSERT-TYPE DEVICE) OR UPGRADIENT OF THE INLET.

<u>PLAN</u>

GRATED INLET-

MAINTENANCE NOTES:

LAST REVISED:

PRIL 30, 2011

ADJACENT BLOCKS ABUTTING.

12" AND MAX. HEIGHT SHALL BE 24".

THAT MAY CAUSE DOWNSTREAM FLOODING.

SOURCE BOX

STANDARD

DETAIL

UNDERMINING OR DETERIORATION.

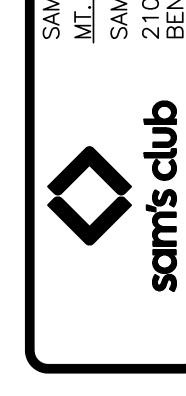
NOTES:

FILTER FABRIC PER

DEVELOPER/OWNER
SAM'S REAL ESTATE BUSINESS TRUST
MAIL STOP 0505
702 S.W. 8TH STREET
BENTONVILLE, AR 72716-0505 (479) 204-3314 SITE OPERATOR/GENERAL CONTRACTOR: SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL SHEETS AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

SW-9EROSION CONTROL DETAILS



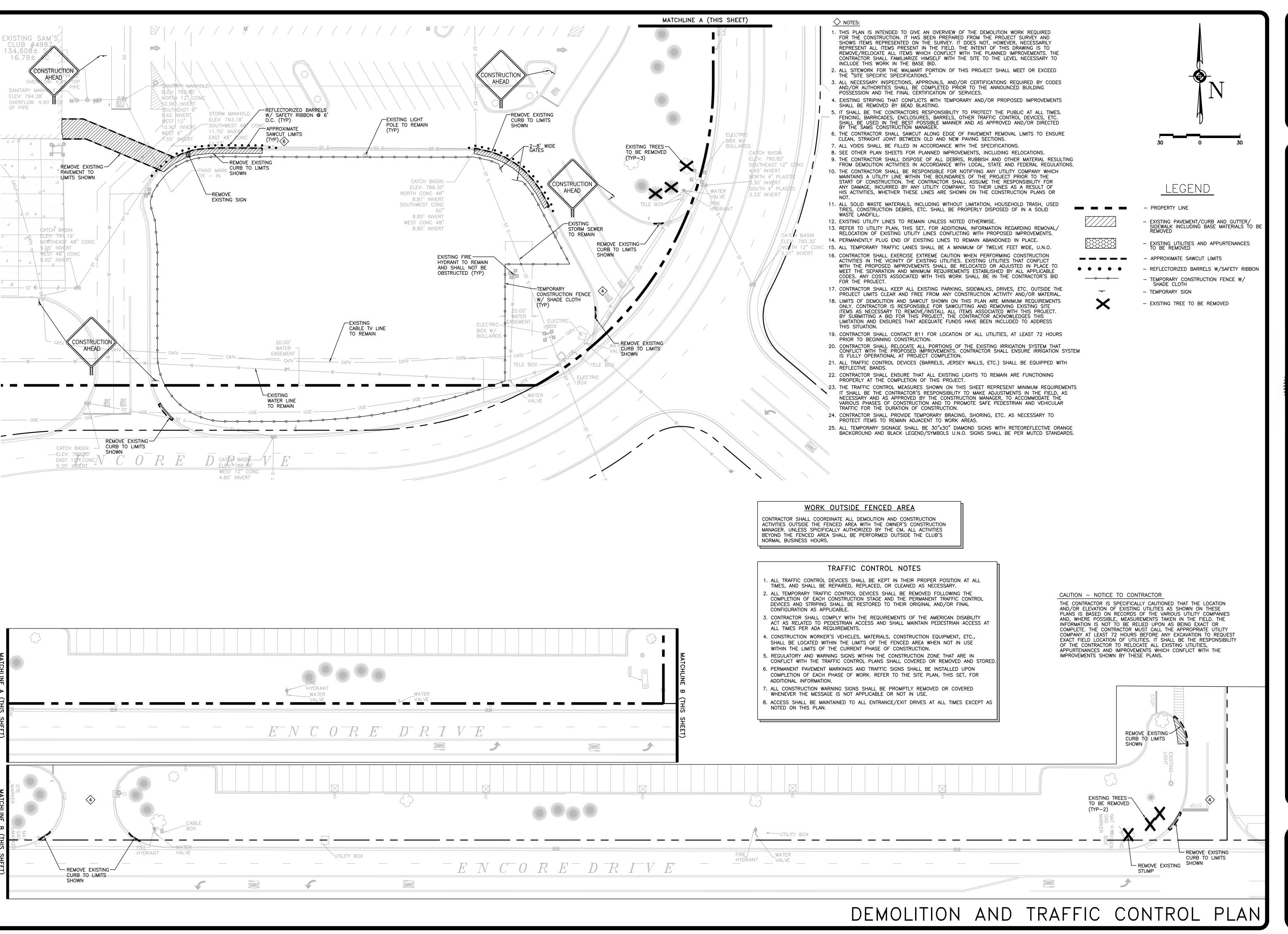
JOSEPH

PARSLEY

ENGINEER

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AAS CHECKED BKM DATE 01/26/2021 SCALE NTS JOB No. 4982-211 SHEET 12 OF 27 SHEETS

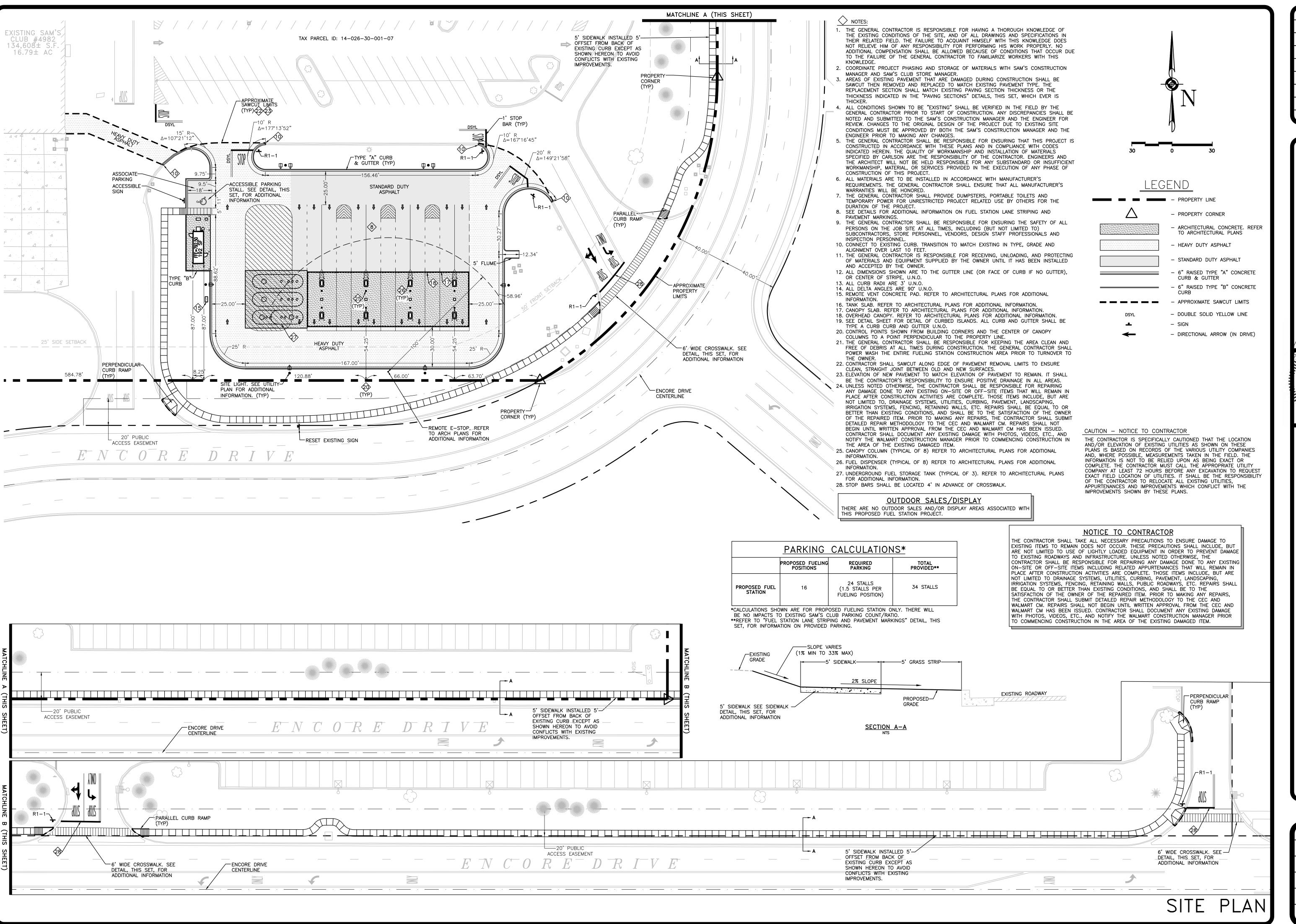


JOSEPH PARSLEY ENGINEER 6201066218 MIIIIIII

#4982-211 MICHIGAN STATE BUSINE PLE SAVINGS I

SAM'S MT. PL SAM'S 2101 BENTO

CHECKED BKM DATE 01/26/2021 1"=30" JOB No. 4982-211 SHEET 13 OF 27 SHEETS



C.

JOSEPH

PARSLEY

ENGINEER

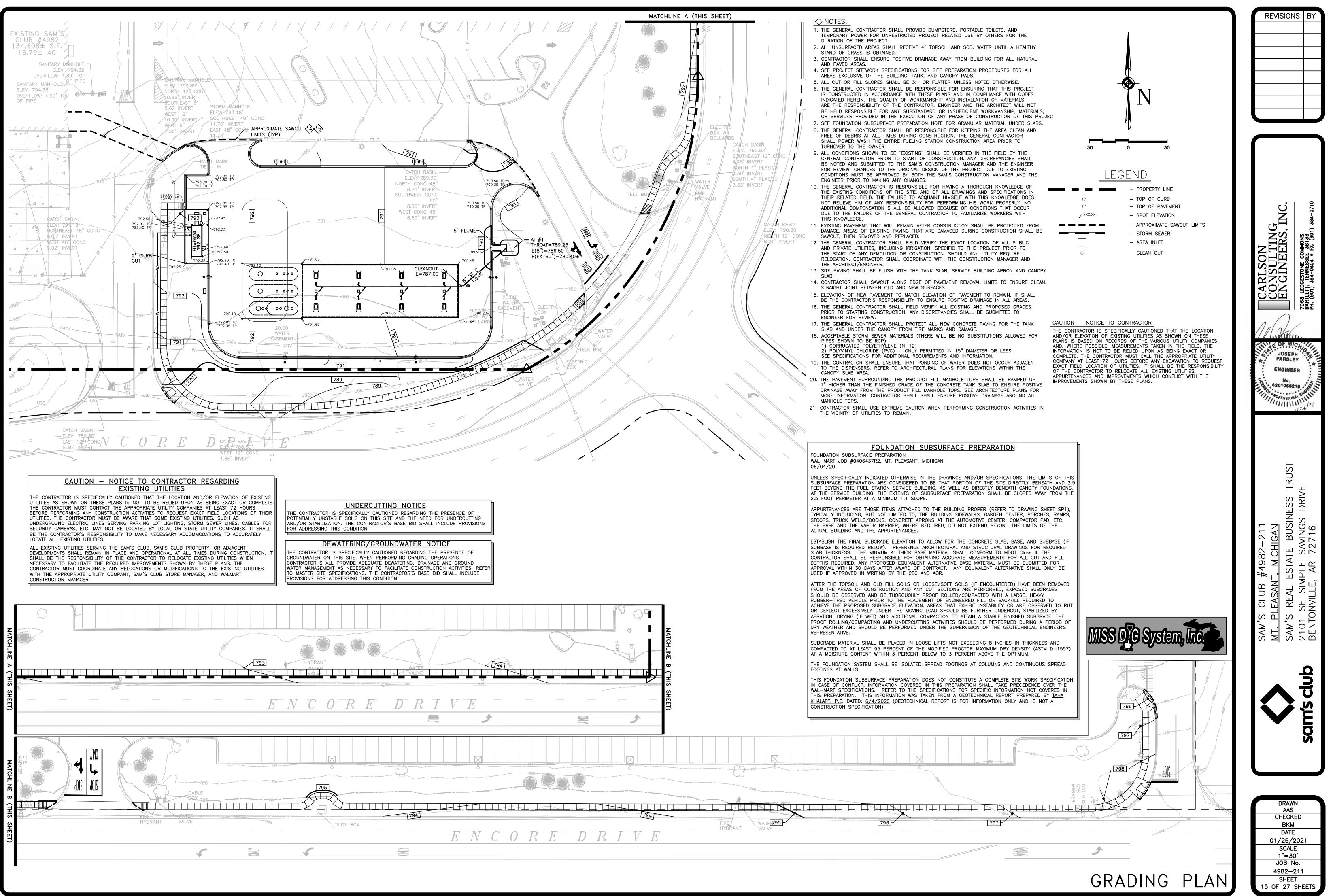
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MIIIIIII

SAM,
MT.
SAM,
2101
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JB #4982-211
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LE, AR 72716

CHECKED BKM DATE 01/26/2021 1"=30' JOB No. 4982-211 SHEET 14 OF 27 SHEETS



JOSEPH "

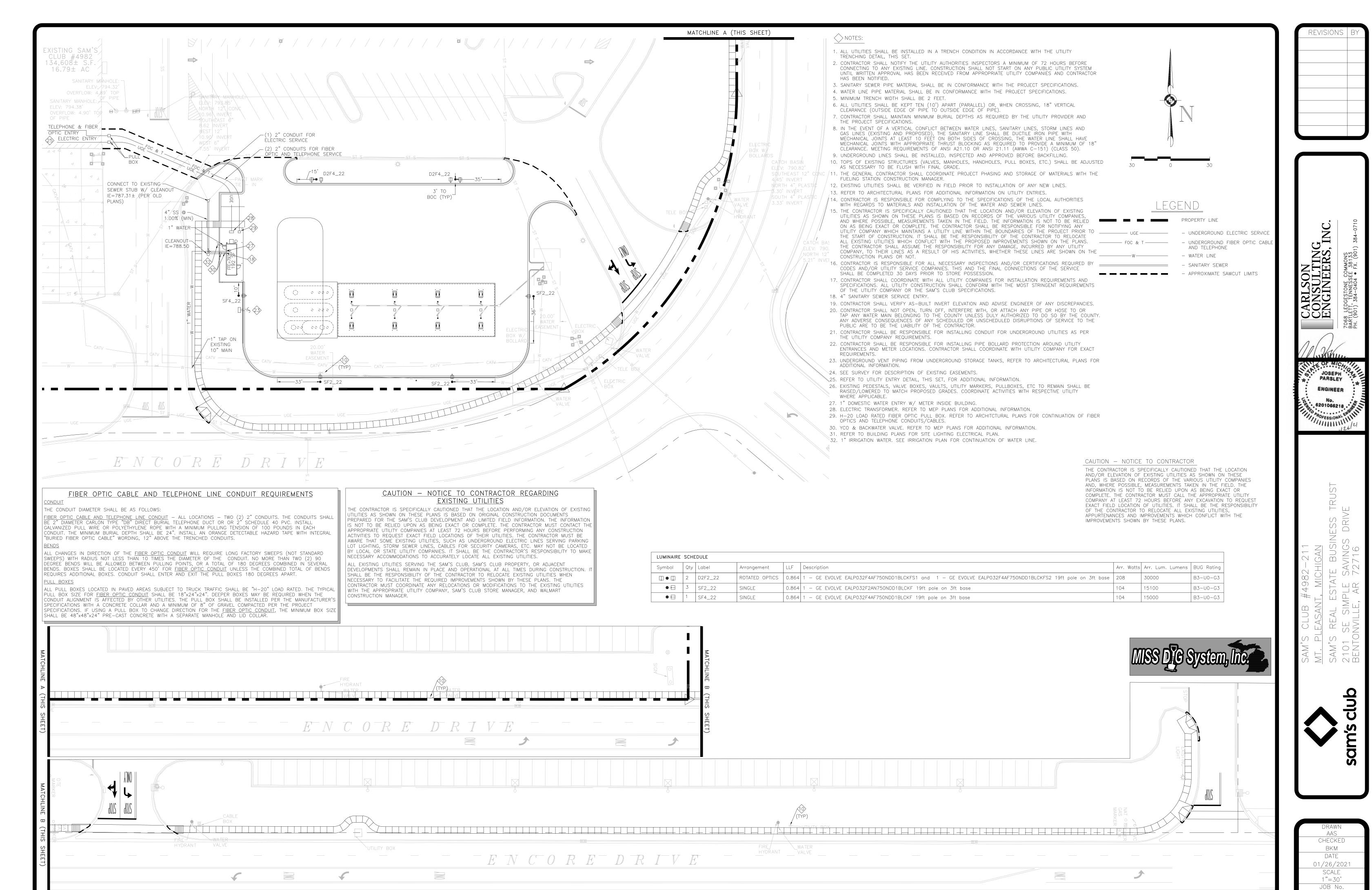
PARSLEY

ENGINEER

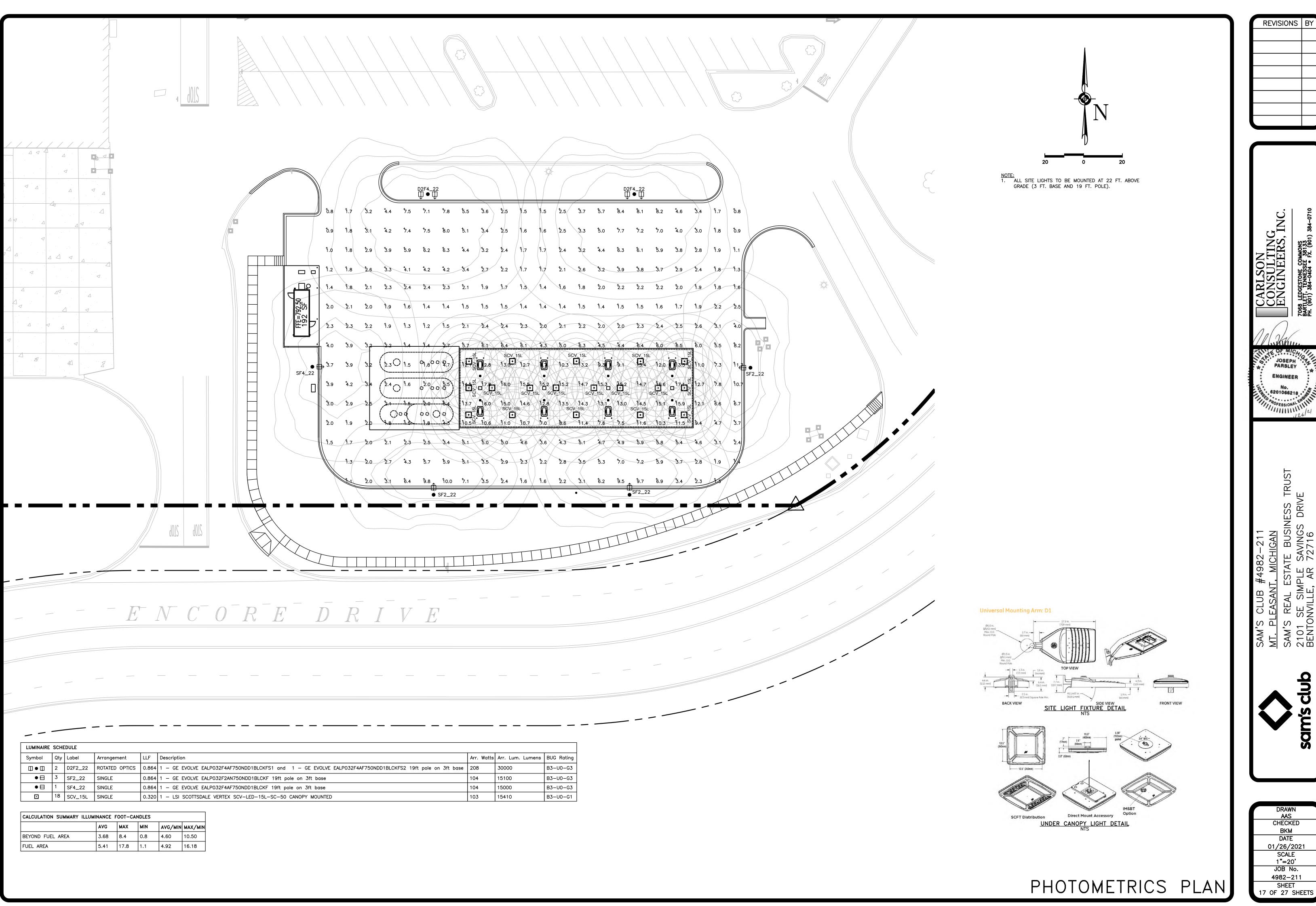
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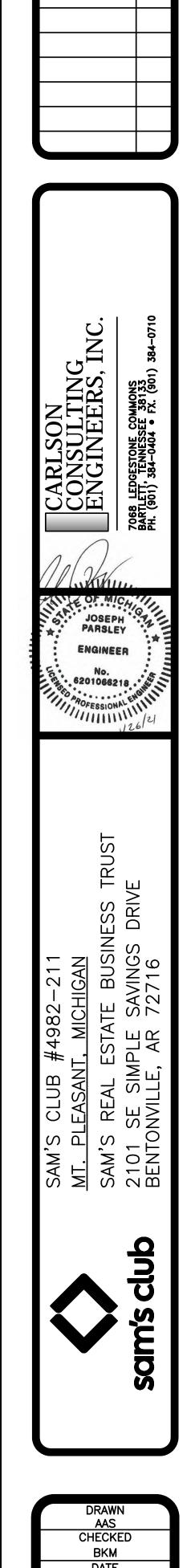
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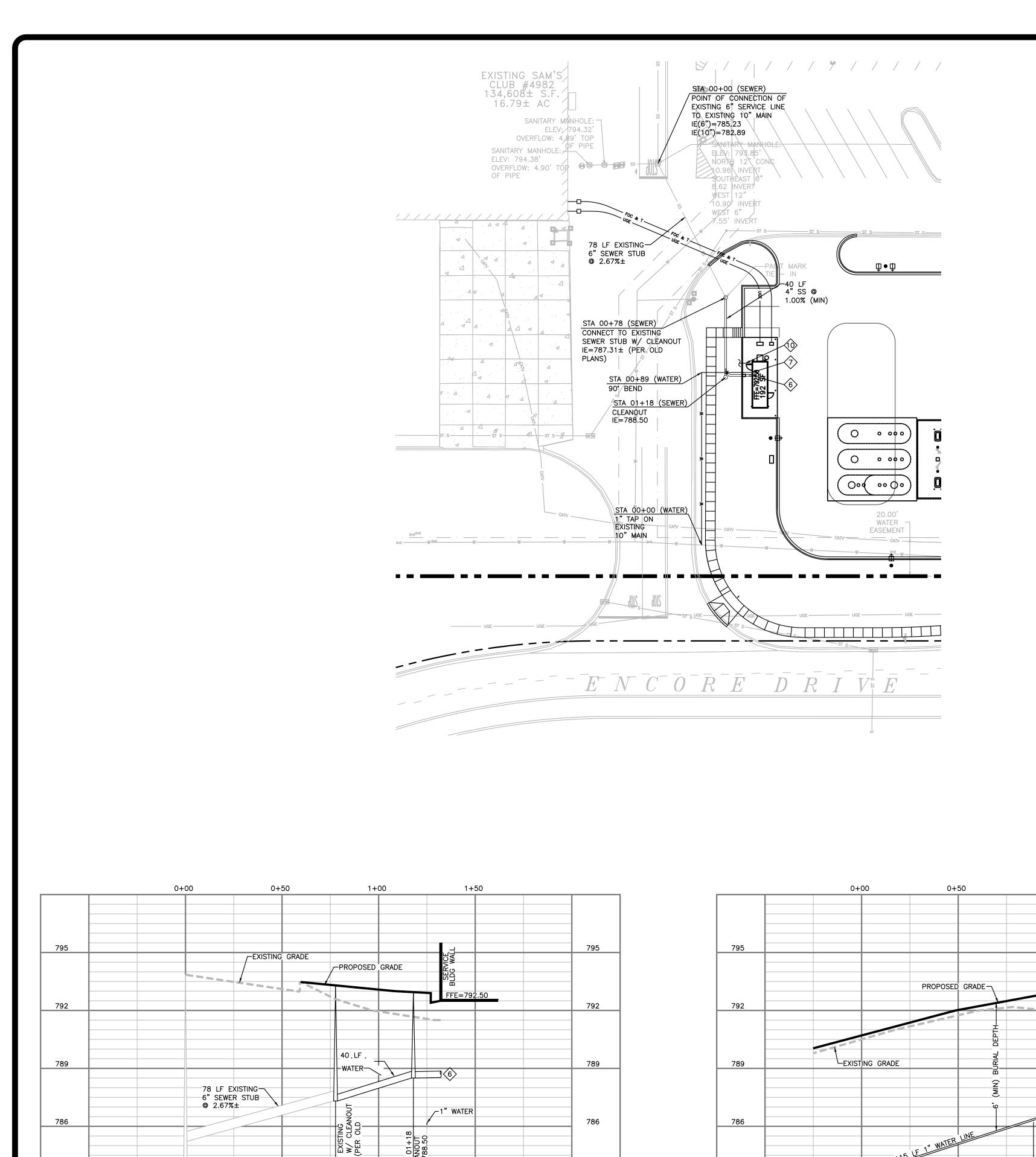
CHECKED BKM DATE 01/26/2021 1"=30" JOB No. 4982-211 SHEET 15 OF 27 SHEETS



4982-211 SHEET 6 OF 27 SHEET







783

780

777

SANITARY SEWER SERVICE LINE
HORIZ: 1" = 30'
VERT: 1" = 3'

783

1+00

WATER SERVICE LINE
HORIZ: 1" = 30'
VERT: 1" = 3'

1+50

FFE=792.50

∕-4" SEWER

795

792

789

783

780

ALL DESIGN CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE TOWNSHIP'S CURRENT STANDARDS, SPECIFICATIONS, AND DETAILS.
 ALL ELEVATIONS SHALL BE BASED UPON USGS OR NGVD DATUM.

3. NO CONNECTION RECEIVING STORM WATER OR GROUNDWATER SHALL BE MADE TO SANITARY

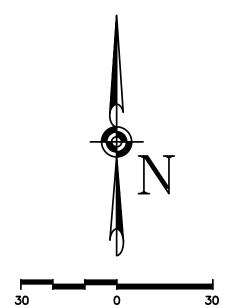
CROSSINGS. 6. 4" SANITARY SEWER SERVICE ENTRY.

9. WATER SERVICE LINES SHALL BE PVC, 200 PSI AQUA JET TUBING.

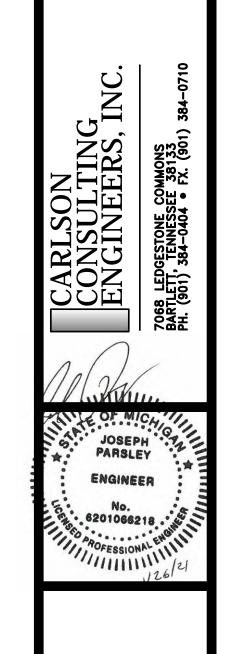
SEWER.

4. THE CONTRACTOR MUST HAVE WRITTEN APPROVAL FROM THE TOWNSHIP AND THE PROJECT ENGINEER BEFORE ANY CHANGE IN DESIGN IS MADE.

5. MAINTAIN A MINIMUM 10' HORIZONTAL AND 18" VERTICAL SEPARATION AT ALL WATER AND SEWER 7. 1" DOMESTIC WATER ENTRY W/ METER INSIDE BUILDING. 8. SEWER SERVICE LINES SHALL BE SCHEDULE 40 PVC. 10. 1" IRRIGATION WATER. SEE IRRIGATION PLAN FOR CONTINUATION OF WATER LINE.

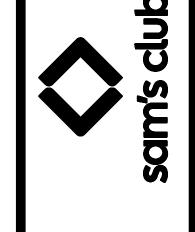






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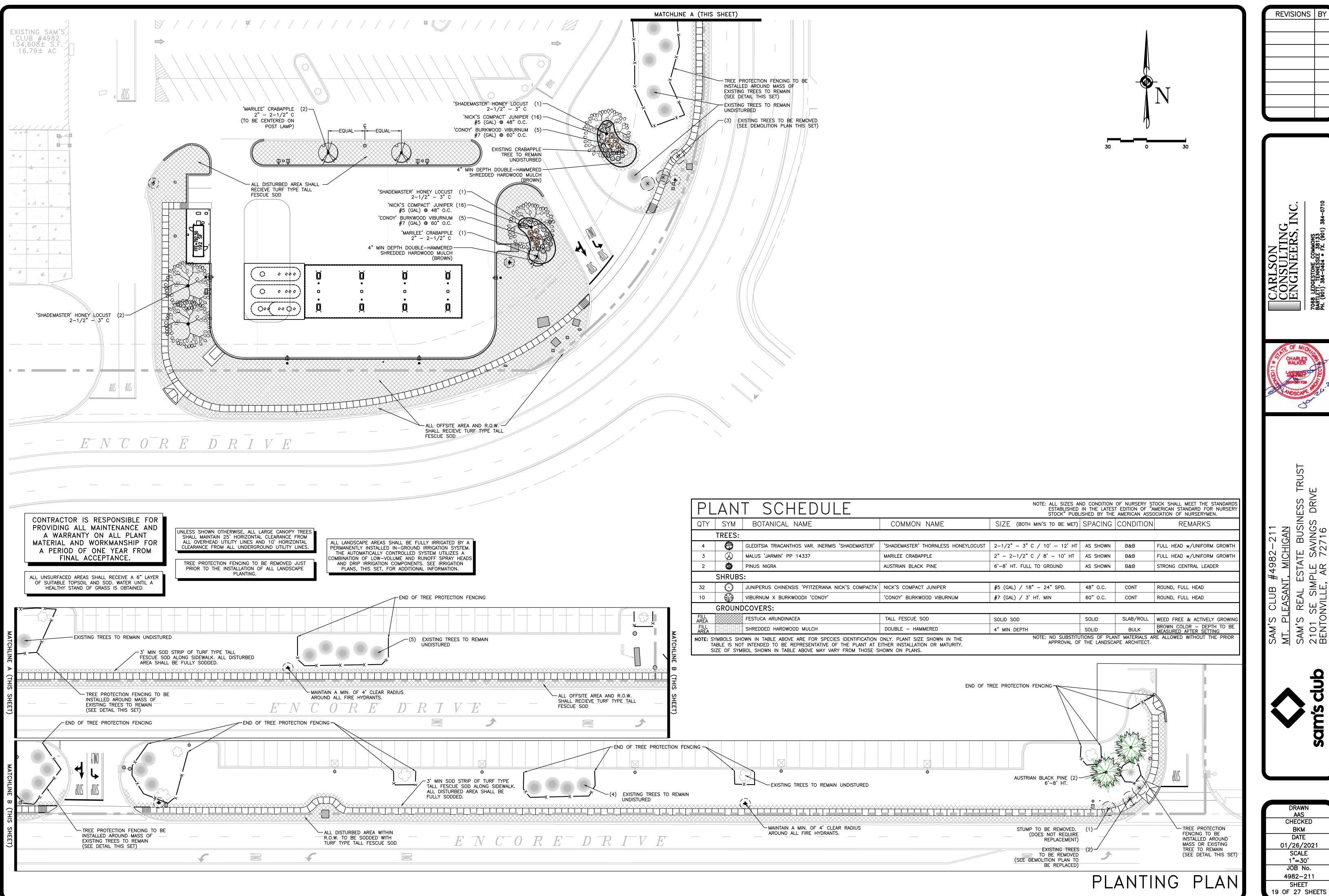


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CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OF COMPRETE THE CONTRACTOR MIST. ONLY THE APPROPRIATE ATTRICT. COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY
COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST
EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES, APPURTENANCES AND IMPROVEMENTS WHICH CONFLICT WITH THE IMPROVEMENTS SHOWN BY THESE PLANS.

SEWER AND WATER SERVICE LINES PLAN AND PROFILE

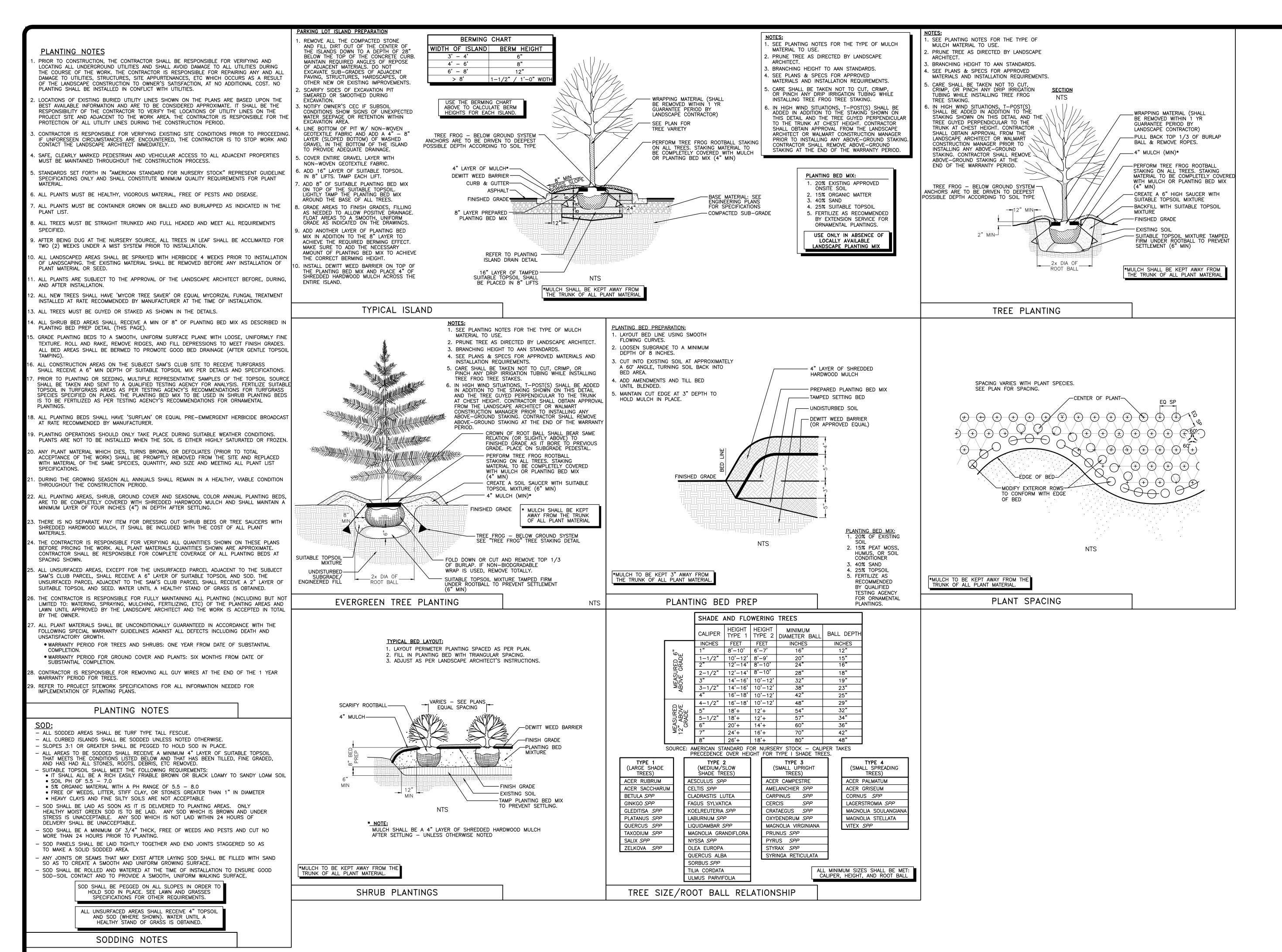


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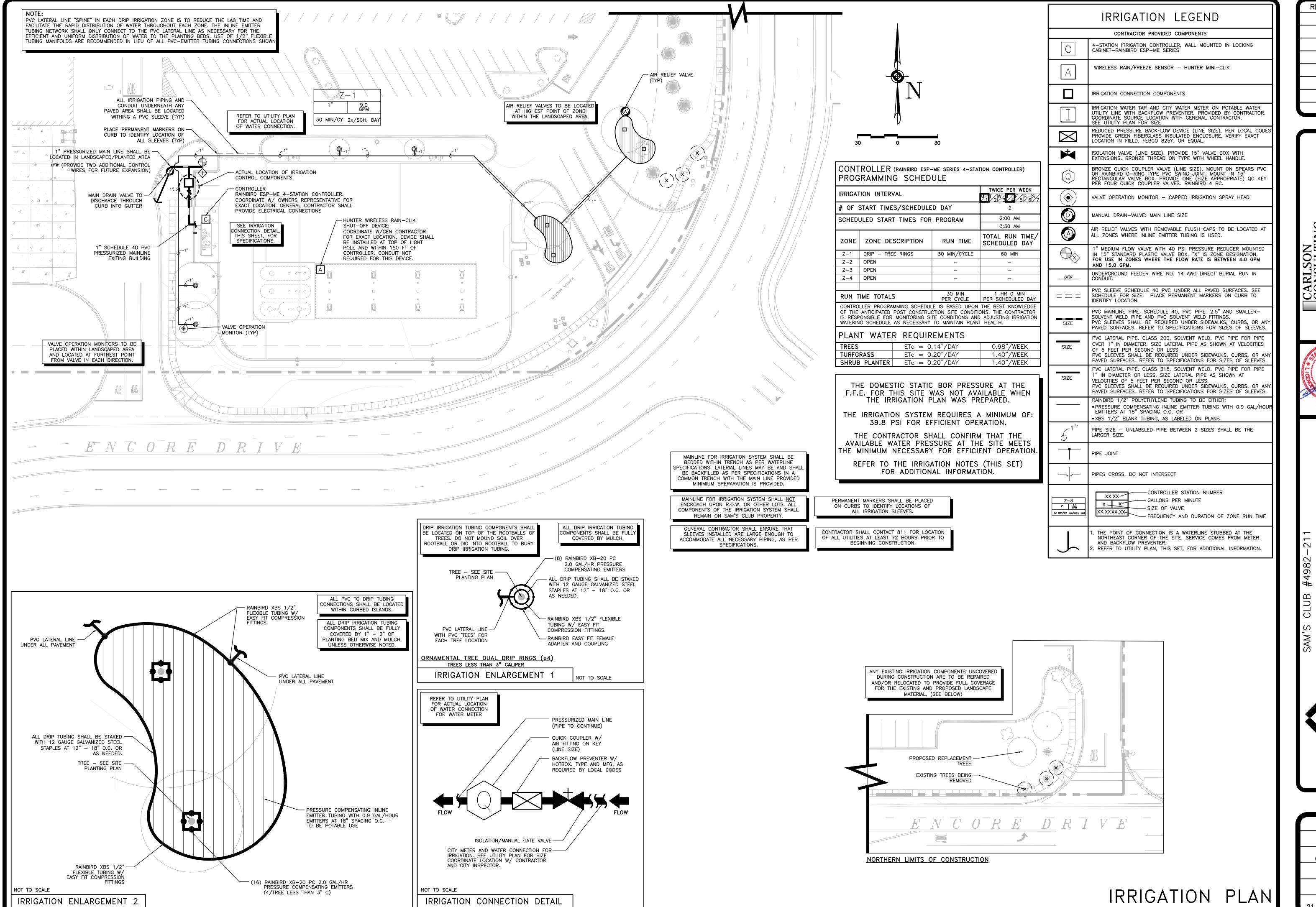


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PLANTING DETAILS



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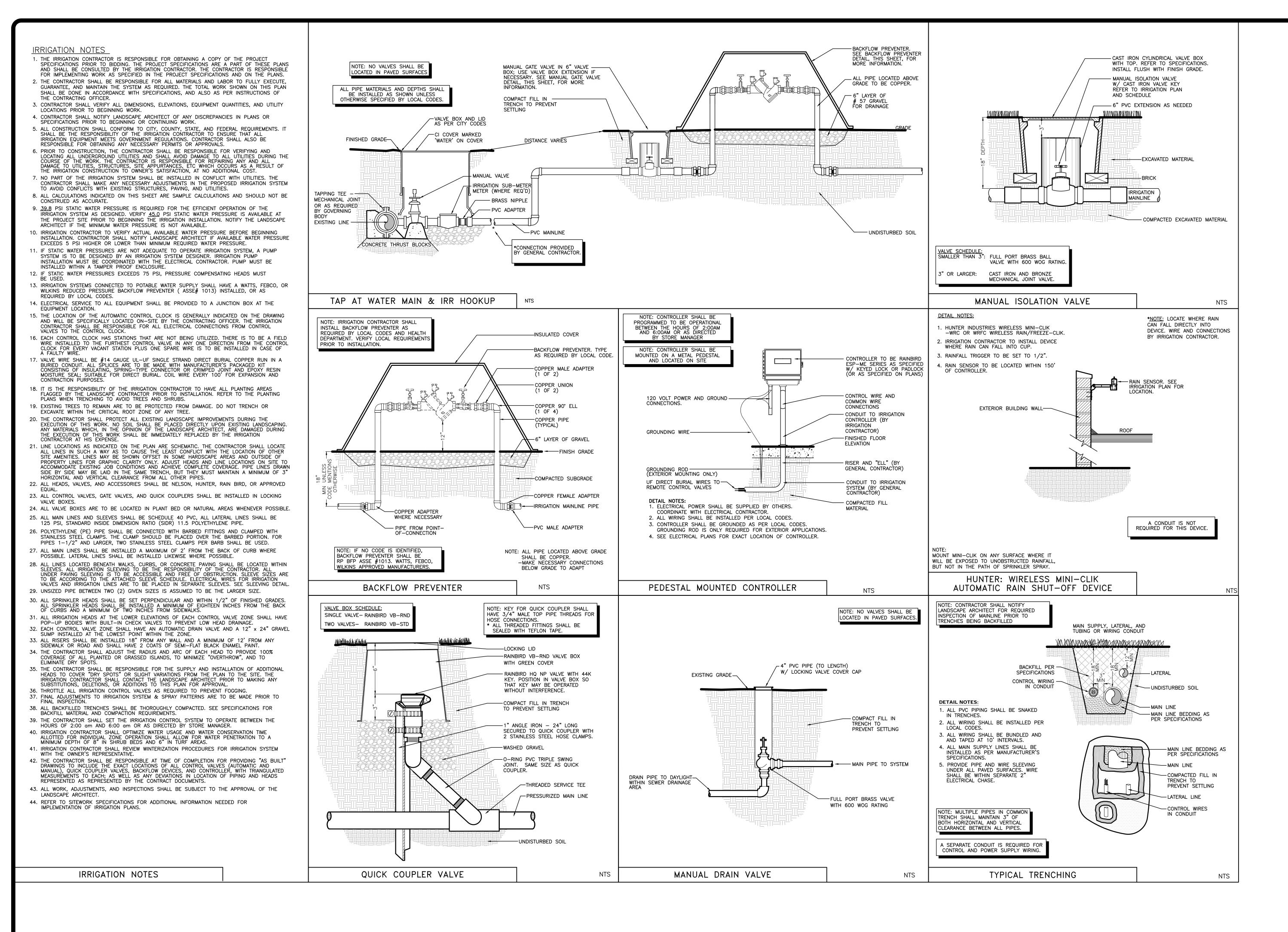
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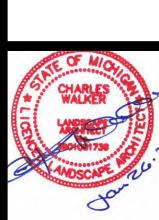


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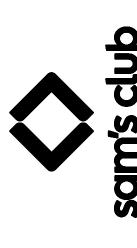
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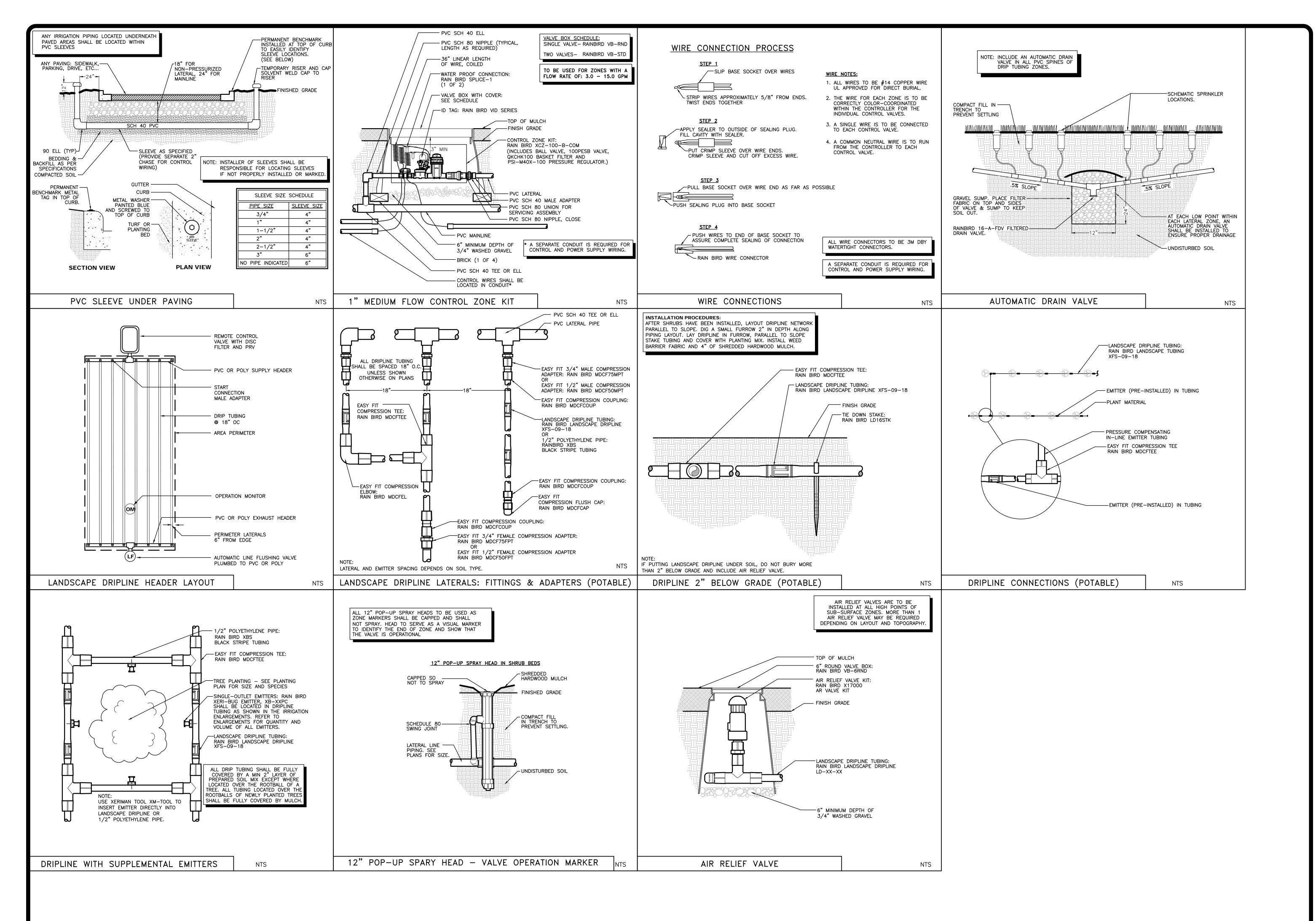
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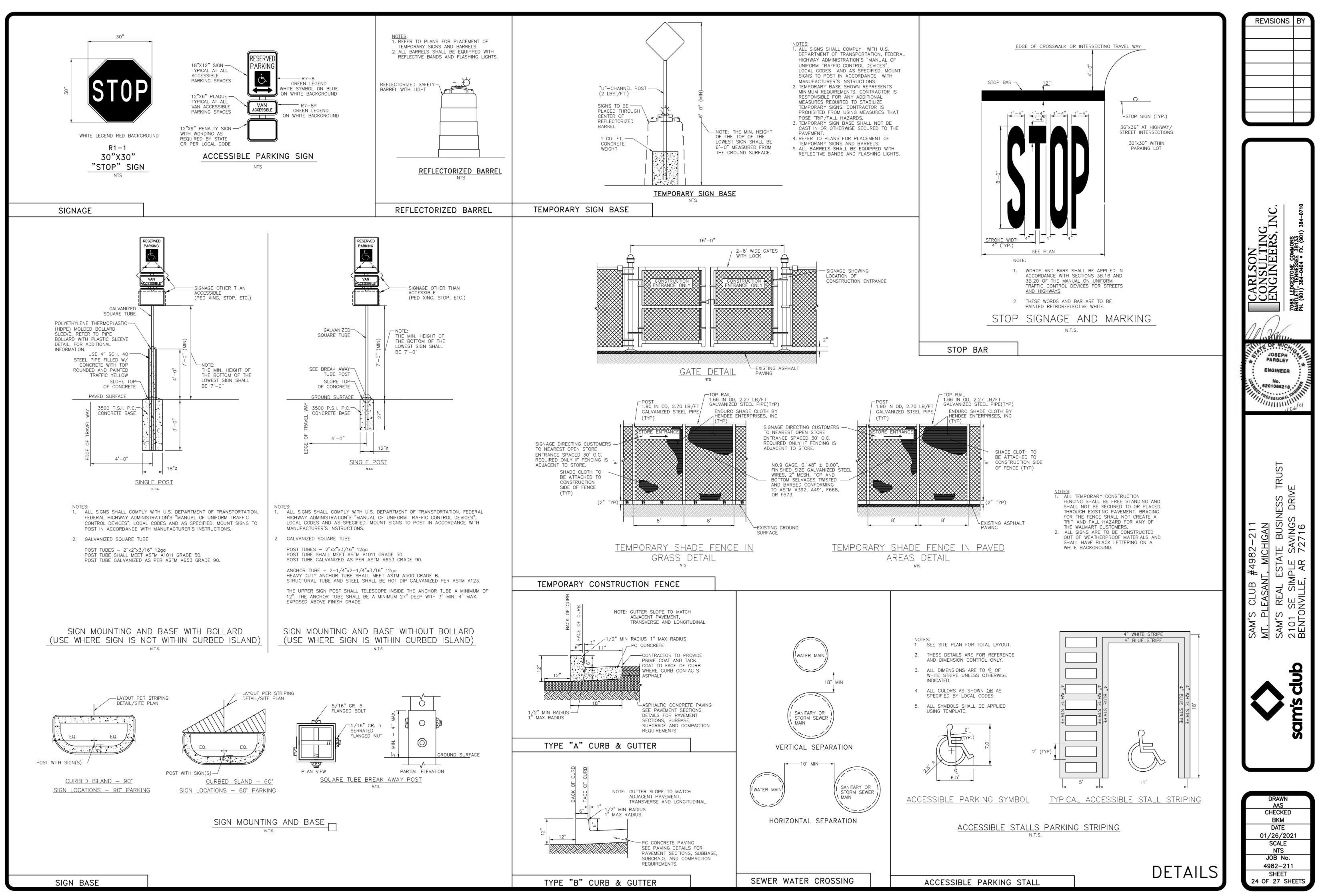
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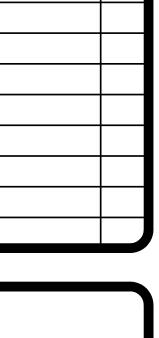
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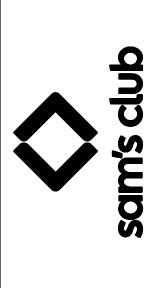
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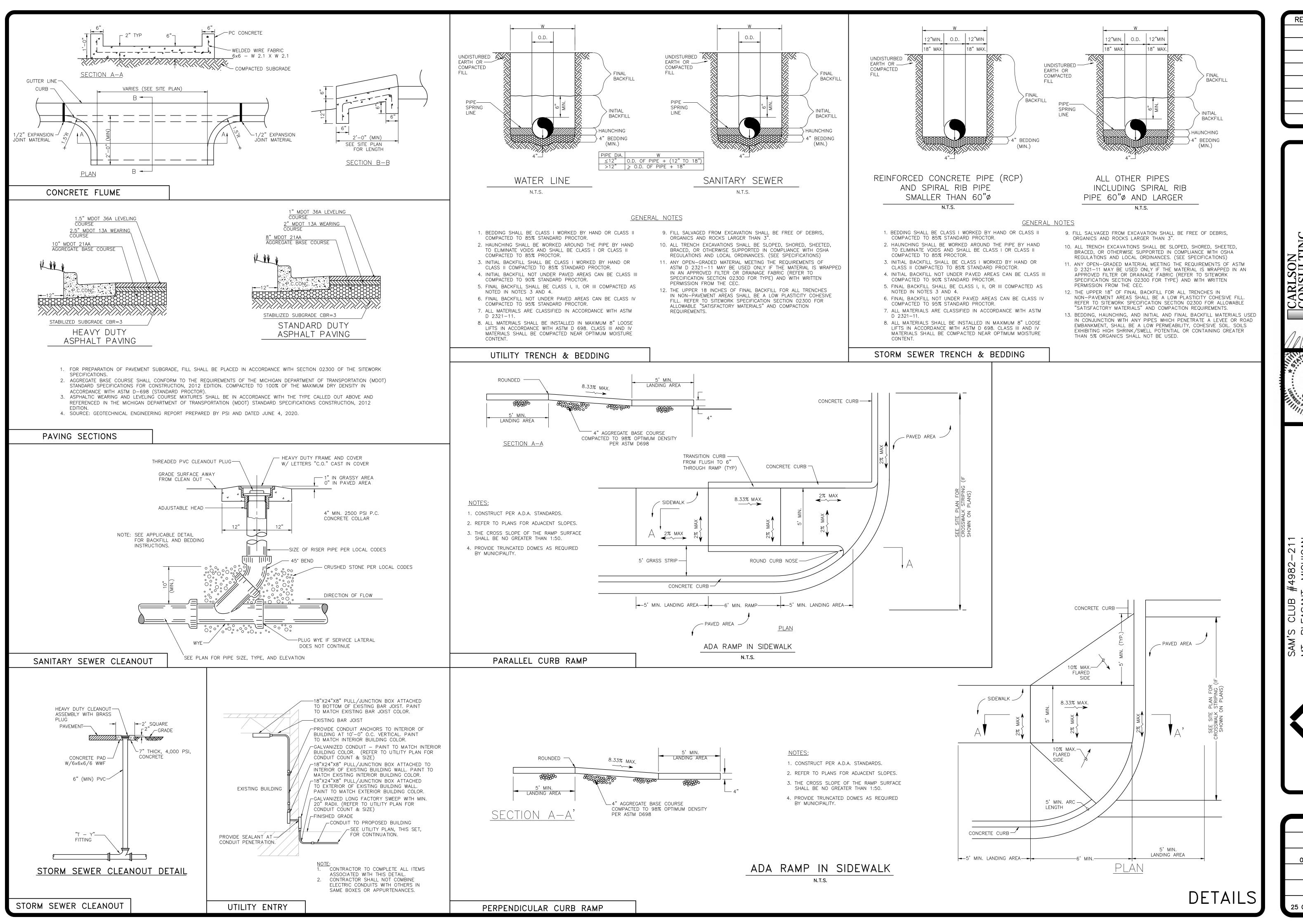
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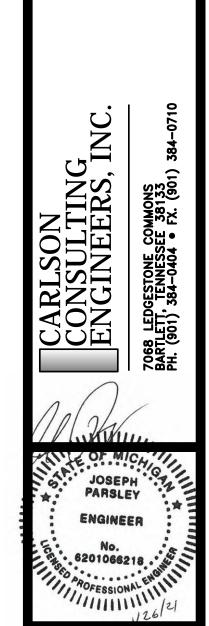




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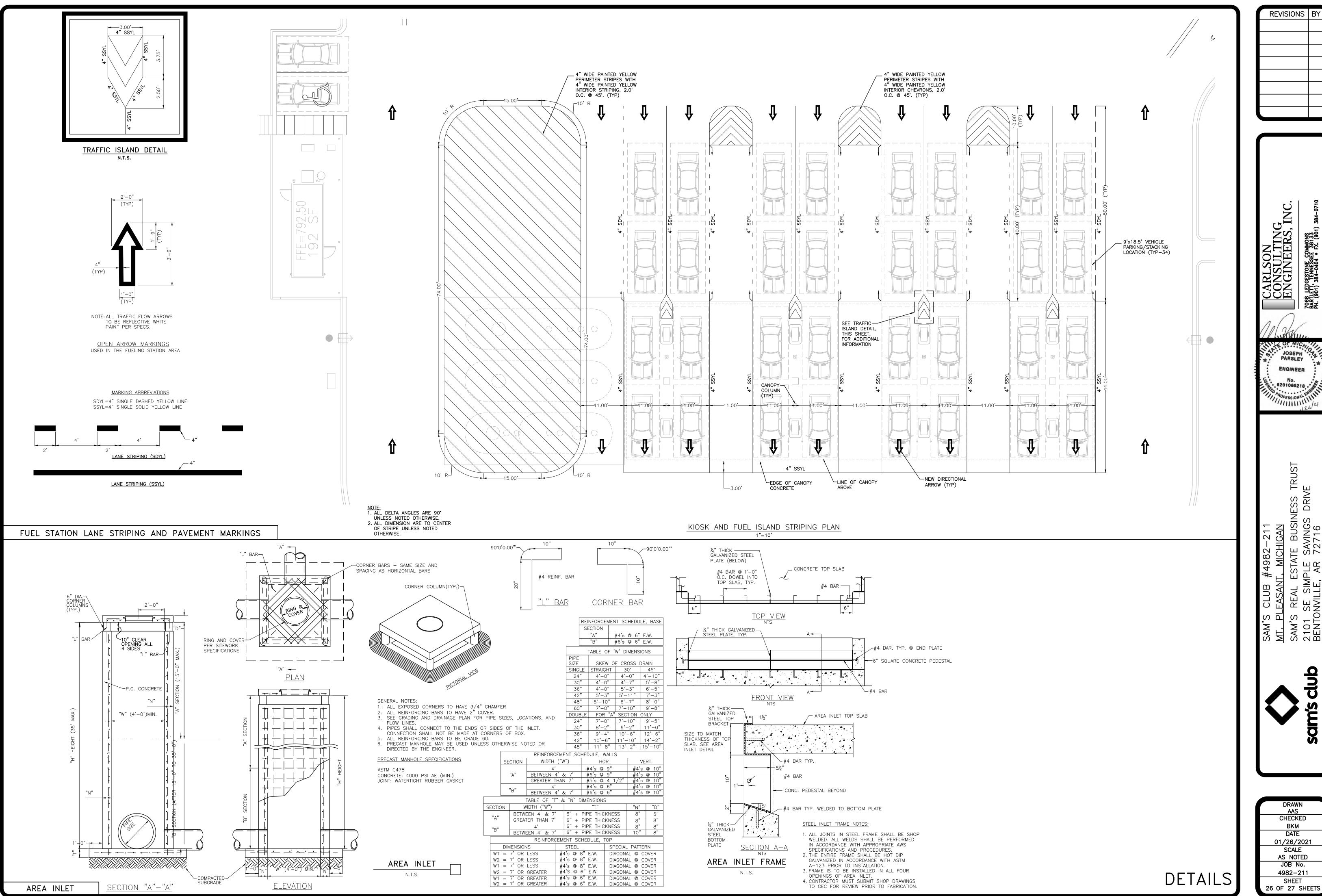
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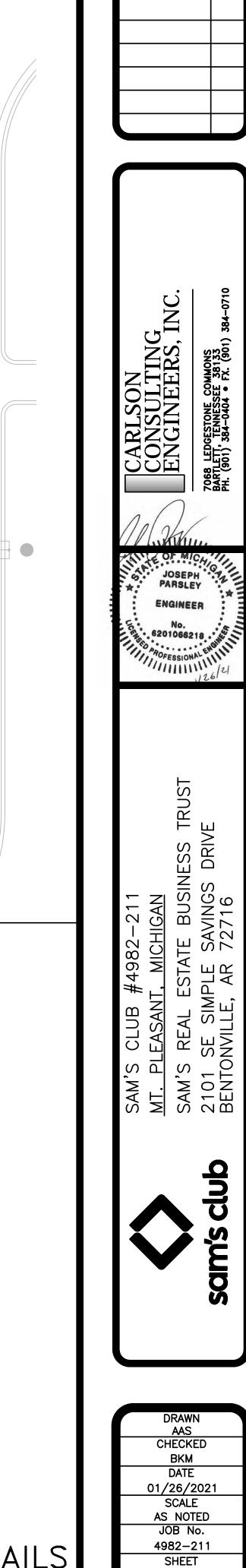


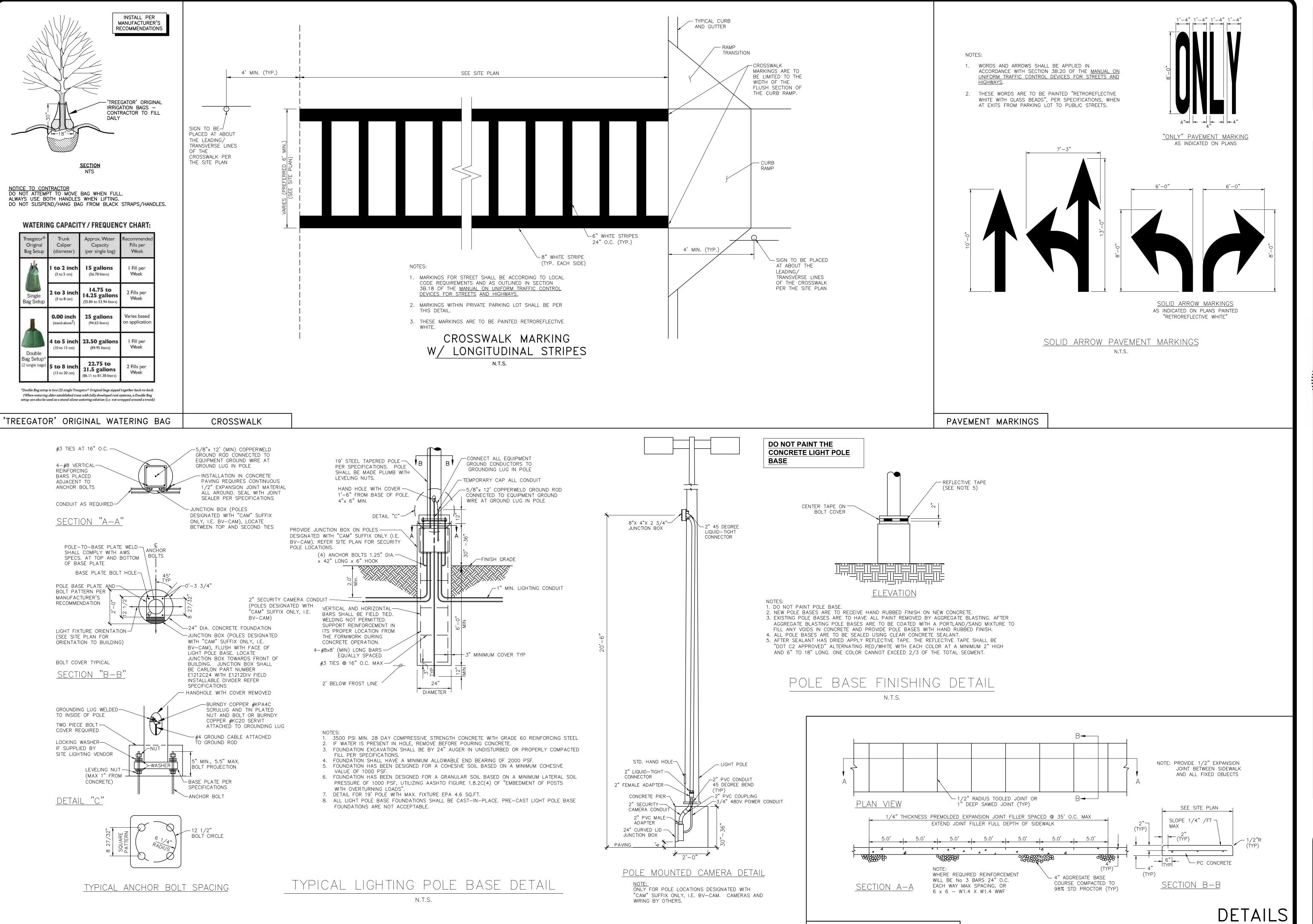
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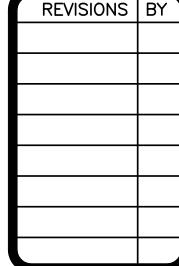
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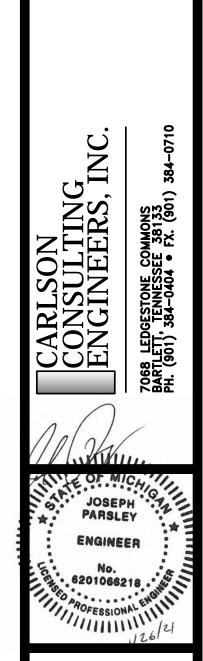






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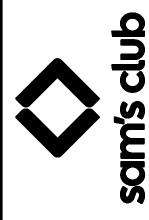
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# <u>Draft Motions</u>: PSPR 21-01 Sam's Club Filling Station Final Site Plan Review Application



# **Community and Economic Development Department**

2010 S. Lincoln Rd. Mt. Pleasant, MI 48858 989-772-4600 ext. 232

# SPECIAL USE PERMIT REPORT

TO: Planning Commission DATE: February 9, 2021

FROM: Rodney C. Nanney, AICP ZONING: AG Agricultural

Community and Economic Development Director District

PROJECT: PSUP20-03 Special Use Permit Application for the new Isabella County Jail and

Sheriff's Office.

PARCEL(S): PID 14-024-20-001-00

OWNER(S): Isabella County (purchase agreement); 75000 LLC

**LOCATION:** Approximately 36.26 acres on the west side of S. Summerton Rd. and south side

of E. Remus Rd. in the NE 1/4 of Section 24.

**EXISTING ADJACENT** Agriculture (AG) and Single-Family Residential **USE:** Vacant, farmland. **ZONING:** (R-1); same in Chippewa Twp. to the east.

**FUTURE LAND USE DESIGNATION:** *Rural Buffer* - Rural Buffer areas generally do not have sewer and water, but are appropriate for agricultural, low density residential, and other uses allowed by zoning. Typically this buffer is located on the fringe between rural and more urbanized areas.

**ACTION REQUESTED:** To set a public hearing for the PSUP20-03 Special Use Permit Application for the new Isabella County Jail and Sheriff's Office to be held during the March 16, 2021 regular meeting.

# **Background Information**

Isabella County has determined that it has become necessary to replace the existing jail and Sheriff's Office adjacent to the County Courthouse in the City of Mt. Pleasant. Concerns about the existing facilities include internal utility infrastructure and HVAC system deficiencies, excessively high maintenance costs, and the need for substantial upgrades to better provide for the health and safety of inmates and county personnel. The county has also determined that rebuilding on the same or an immediately adjacent downtown site is impractical.

The county evaluated a number of potential sites for the new 59,406 square-foot facility. Prior to pursuing this location, the project's architect and engineer evaluated in detail the existing conditions and available infrastructure for at least one other site in Union Township. After the county identified this parcel as their preferred location, the project engineer contacted the Township's Public Services Department related to availability of municipal water and sewerage systems. The proposed site has been owned by a limited liability corporation (75000 LLC), but the signed purchase agreement included with the application provides the permission necessary for the county to seek this special use permit and associated site plan approvals.

# **Review Comments**

Section 14.03 of the Zoning Ordinance establishes the standards for special use permit applications, which are subject to a Planning Commission public hearing and recommendation to the Board of Trustees. The Board of Trustees retains final authority to approve or deny any special use permit. The Planning Commission's recommendation should include "affirmative findings of fact and records adequate data, information, and evidence" to support a conclusion that the proposed special use conforms to Section 14.03.J. (Standards for Special Use Approval).

Each of the seven (7) standards from this Section are listed below in bold printed text. Staff review comments follow under each standard. Please note that, for clarity and readability purposes, staff has divided standards #2 and #7 into several subsections:

	Section 14.3.J. (Standards for Special Use Approval)		
1	The proposed land use is identified in Section 3 as a special use in the zoning district.  The proposed facility is a type of public and institutional building and use, which is allowed as a special use in the AG (Agricultural) zoning district (Section 3.6).		
	The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of <a href="mailto:traffic">traffic</a>		
2(a)	The proposed use conforms to this standard. S. Summerton Rd. and E. Remus Rd. are both paved public roads with sufficient capacity to support the proposed use. Anticipated vehicular traffic would be limited to automobiles, vans, and delivery vehicles. The proposed locations of the access drives have been offset from the adjacent residences to minimize any impacts from headlight glare. The level of anticipated traffic into and out of this facility is not expected to warrant any road or intersection improvements, but this will be subject to county Road Commission review and action.	Conforms	
	The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason ofnoise		
2(b)	The proposed use can conform to this standard. The predominant sources of potential noise from this facility are associated with HVAC equipment, vehicles, inmates, and use of sirens by deputies responding to an emergency call. The HVAC equipment is required to be screened and will be located well away from adjacent residences. Vehicular noise will also be mitigated by distance. No noise issues associated with inmates are anticipated, because the proposed jail facility does not have windows (only skylights) and the cells are not located on any exterior walls by design.	Can Conform	
	During the initial presentation, Sheriff Main noted that state laws dictate how sirens are to be used by deputies responding to emergency calls. He also noted that, within those limitations, he was considering operational policies that could help to minimize noise impacts on neighbors. Staff recommends that the Planning Commission consider requesting more information from the applicant regarding the Sheriff's plans for noise mitigation, which could be referenced as part of any recommendation for special use permit approval.		

	Section 14.3.J. (Standards for Special Use Approval)		
	cation, design, activities, processes, materials, equipment, and operational ions of the special use will not be hazardous, detrimental or injurious to the nment or the public health, safety or general welfare by reason ofvibration, fumes, odors, dust, glare, light, drainage, (or) pollution		
2(c)	The proposed use conforms to this standard. There is more than sufficient land area to provide for adequate stormwater management on the site in a manner that does not impact neighboring properties or roads. All exterior lighting for the facility will be required to be fully shielded per Section 8.2 (Exterior Lighting) standards. No vibration, smoke, fumes, odors, dust, glare, or pollution impacts are anticipated from the facility.	Conforms	
	The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason ofother adverse impacts.		
2(d)	It is possible for the proposed use to conform to this standard, but additional information or clarifications are needed from the applicant. The county has not yet confirmed that they will take the actions necessary to secure Public Services Department approval to extend and connect into the Township's municipal water system. Instead, the county has indicated an interest in connecting into a water line that serves the Saginaw Chippewa Tribal Nation's Makwa Business Park, which is part of the tribal trust lands in the Township. This water line was installed under a franchise agreement between the Township and the Tribe that specifically limits service to land in the Business Park.	More information needed to	
_(.,	Use of a water system not under the Township's jurisdiction to serve the proposed facility will imperil the ability of the Township to carry out its responsibilities under the Michigan Building Code and state fire code requirements to verify that the internal fire suppression system and external fire hydrants will function as intended during an emergency.	verify conformance	
	Because the Tribe is a sovereign nation, the Township has no legal authority to enforce the Township's standards for water quality and line maintenance, and would have no mechanism in place to monitor water pressure or ensure that deficiencies are corrected in a timely manner. Connecting the proposed facility into the tribal water line would adversely impact the safety and welfare of inmates, visitors, and county personnel by placing the Township in the untenable position of having responsibility for public safety and emergency response without the authority to maintain the system and supply that would be essential to saving lives and protecting property in a fire emergency.		
3	The special use will be designed, constructed, operated, and maintained in a manner compatible with adjacent uses, the surrounding area, and the intent of the zoning district. Where determined necessary by the Planning Commission or Township Board, the applicant has provided adequately for any restrictions on hours or days of operation, minimization of noise, and screening improvements or other land use buffers to ensure land use compatibility and minimize adverse impacts.	Can Conform	
	The proposed use can conform to this standard, subject to the details of proposed screening and land use buffers being finalized as part of the site plan approval process. As the jail and Sheriff's Office must operate around the clock, there will be no option for the Planning Commission to place any restrictions on the hours of operation.		

Section 14.3.J. (Standards for Special Use Approval)		
4	The special use location and character is consistent with the general principles, goals, objectives, and policies of the adopted Master Plan.  Staff would have no objection to a Planning Commission determination that the proposed use conforms to this standard. The Master Plan does not include specific policy direction related to the preferred locations of public or institutional buildings. The Rural Buffer is intended for "agricultural, low density residential, and other uses allowed by zoning," which would include the proposed facility. The Rural Buffer areas "generally do not have sewer and water," but in this case there is an existing sanitary sewer line directly adjacent to the site on E. Remus Rd. and two (2) feasible options for extending the Township's municipal water system to serve the site.  In addition, the site is located a short distance south of three (3) other regional public or institutional buildings serving the Township and surrounding areas:  Mid-Michigan College on the SW corner of S. Summerton Rd. and E. Broadway Rd.;  The USDA Farm Service Agency offices on the NW corner of the intersection; and  The Michigan Works! building just to the west at 5889 E. Broadway Rd.	Conforms
5	The proposed special use conforms to all applicable requirements or standards of this Ordinance or other Township ordinances.  The proposed use can conform to this standard, subject to confirmation of compliance with all applicable Township ordinances as part of the required preliminary and final site plan approvals for this development. The proposed development will be subject to applicable site development and other requirements of the Zoning Ordinance, and to the applicable standards of other Township ordinances, including the Sidewalk and Pathway Ordinance No. 2009-02 and the Stormwater Management Ordinance No. 1992-09.	Can Conform
6	Approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.  The proposed use can conform to this standard, subject to the details of proposed screening and land use buffers being finalized as part of the site plan approval process. There are two (2) existing single-family dwellings located at the northeast corner of the parcel, but the applicant has taken steps to provide both a large open space setback area and additional screening and land use buffer improvements around the perimeter of these lots to mitigate any land use incompatibilities.	Can Conform
7(a)	The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to roads, policeprotection services, (and) refuse disposal  The proposed use conforms to this standard. For road impacts, please see our comments under standard 2(a) above.  Adequate correctional facilities and a functional office space for law enforcement personnel and support staff are essential for the Sheriff to fulfil his duties under the Michigan Constitution and state and local laws.  The applicant has provided for a secured trash dumpster enclosure area on the site, which would be serviced by a private contractor.	Conforms

	Section 14.3.J. (Standards for Special Use Approval)	Status
7(b)	The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited tofire protection services (and) municipal watersystems  It is possible for the proposed use to conform to this standard, but additional information or clarifications are needed from the applicant. As noted under standard 2(d) above, a failure by the county to take the actions necessary to secure Public Services Department approval to connect the proposed facility into the Township's municipal water system will adversely impact the capacity of the Township to fulfil its responsibilities to provide fire protection services.	
7(c)	The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to municipalsewerage systems  The proposed use can conform to this standard, provided that either:  (1) The Public Services Department determines that there is adequate capacity in the existing municipal sanitary sewer line and pump station on E. Remus Rd. to serve this more intensive institutional use without adversely impacting existing Township residents or the planned capacity for future sewer connections to future planned rural residential development on land abutting this line; or  (2) Upgrades to the municipal sanitary sewer line and/or pump station on E. Remus Rd. determined necessary by the Public Services Department to serve this more intensive institutional use are resolved by the applicant consistent with the Department's requirements and engineering standards.	Can Conform
7(d)	The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited toother utilities, drainage facilities, and public or private wells	
7(e)	The proposed use will not create additional requirements at public cost for services or infrastructure that will be detrimental to the economic welfare of the community.  It is possible for the proposed use to conform to this standard, but additional information or clarifications are needed from the applicant. Extension of the tribal water service to the proposed facility would eliminate a significant institutional use from the Township's customer base, which would have the effect of increasing the Township's costs for any future extension of the Township's municipal water system to serve additional residents and properties along S. Summerton Rd. or E. Remus Rd. [see also comments under standards 2(d), 7(b), and 7(c) above].	More information needed to verify conformance

# **Objective**

Following a public hearing that is anticipated to be held during the Planning Commission's regular March meeting, the Planning Commission shall review the application materials, together with any reports and recommendations, and any public comments. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to recommend to the Township Board approval, approval with conditions, or denial of the special use permit application; or to postpone further consideration of the application to a date certain in accordance with the provisions of Section 14.3.F.4.

# **Key Findings**

- 1. The Master Plan does not include specific policy direction related to the preferred locations of public or institutional buildings, other than that uses in the designated Rural Buffer areas should be as allowed by the Zoning Ordinance. The proposed County Jail and Sheriff's Office facility is a type of public and institutional building and use, which is allowed as a special use in the AG (Agricultural) zoning district.
- 2. It is possible for the proposed facility to conform to all of the standards for special use permit approval listed in Section 14.03J. of the Zoning Ordinance, but additional information and clarifications are needed from the applicant to verify conformance to several of the standards. However, the application is sufficiently complete for Planning Commission review and the setting of a public hearing date.
- 3. Failure by the county to connect the proposed facility into the Township's municipal water system will imperil the ability of the Township to fulfil its public safety responsibilities under the Michigan Building Code and state fire code requirements.

# Recommendations

Based on the above findings, I would ask that the Planning Commission consider taking action to set a public hearing for the PSUP20-03 Special Use Permit Application for the new Isabella County Jail and Sheriff's Office to be held during the March 16, 2021 regular meeting.

Please contact me at (989) 772-4600 ext. 232, or via email at rnanney@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Rodney C. Nanney, AICP

Community and Economic Development Director



Large Firm Resources. Personal Attention.,,,

January 13, 2021

Mr. Rodney Nanney Charter Township of Union 2010 S. Lincoln Road Mt. Pleasant, MI 48858

RE: Isabella Sheriff's Office and Correction Facility - Special Use Permit Application

Dear Mr. Nanney:

On behalf of Isabella County, ROWE Professional Services Company is pleased to submit the Isabella Sheriff's Office and Correction Facility project for consideration for a special use designation within the agricultural district. The proposed project is located at 3110 S. Summerton Road, at the southwest quadrant of S. Summerton Road and E. Remus Road.

As the Sheriff stated during the project introduction to the township board on December 16, 2020, the existing correction facility located in downtown Mount Pleasant is in disrepair. A new facility is needed to provide the community with safe and controlled means of inmate housing and an overall modern Sheriff's office and correction facility that will serve the Isabella County community for years to come.

In addition to bettering the community, the proposed facility has been sited and designed with the neighboring residents and landowners in mind. Careful attention has been given to building placement as well as utilizing landscaping and "berming" to screen the facility from neighboring residents as much as possible. The facility has been located deep within the parcel, maintaining a natural site buffer and setback from the primary roadways to the north and east, while still allowing area future growth. In addition, the architectural character of the facility is not that of a stereotypical decade's old jail. Rather, a strong and approachable civic presence has been created in the public facades that will be visible along both Remus Road and Summerton Road. Finally, vehicular access has been orchestrated to provide separate staff and visitor entrances and related internal site circulation.

Per section 14.3. J of the zoning ordinance, the Charter Township of Union has seven standards for special use approval. The following identify how the Isabella Sheriff's Office and Correction Facility meet those standards.

- 1. Public and institutional buildings are a permitted special use in the agricultural zoning district per section 3.4 of the zoning ordinance.
- 2. The proposed facility will have no hazardous or detrimental impacts to the environment or the public health and safety of the community. As noted above, the facility has been located on the site and designed with the neighboring residents and community in mind. There will be strategic landscape features on site to screen the facility from neighboring residents and potential noise and light pollution. The building will have a civic and approachable design, not typical of a decades old jail. Its design will incorporate modern features and technology to ensure the safety of its staff, visitors, and the surrounding community.

Mr. Rodney Nanney Charter Township of Union January 13, 2021 Page 2

- 3. The design of the proposed facility will be compatible with the surrounding area. It will incorporate modern design features that create an enduring, civic, and approachable feel. The height of the facility that face roadways are single-story, with "back-of-house" and inmate housing being protected from views in the southeast corner of the site. The site will also feature landscape and natural features to blend the site and facility into the natural surroundings.
- 4. Located in a "rural buffer" zone, the parcel has been developed with careful building siting that is sensitive to the surrounding community, including its residential uses. Setbacks from roadways have been maximized to create rural-like buffers along roadways, with landscaping and site berms being additive to further the buffering to neighboring parcels. Internal site circulation, including parking, has been placed immediate to the building to reduce development impact closer to public roadways and neighboring parcels, maintaining a naturally appointed site around the parcel perimeter.
- 5. The design of the proposed facility and associated site conform to all applicable requirements and standards of the township ordinance.
- 6. The site for the proposed facility was carefully chosen, among other strategic features, due to the absence of dense residential neighboring parcels. Again, the design of the facility and site has had the neighboring residents and surrounding community in mind from the very beginning. We are very sensitive to this and will continue to be cognizant of the neighboring residents not only during the design and construction phases, but after the facility is occupied.
- 7. We are currently working with the township to determine that the addition of the proposed facility will not exceed the existing or planned capacity of the municipal water and sewer systems. We will be providing information to the township as requested so that it can be confirmed that the existing water and sewer systems are adequate with the addition of the proposed facility.

We are very excited about this project and look forward to working with the Charter Township of Union as we continue forward and doing our part to better the communities of Isabella County and the Charter Township of Union.

Sincerely,

**ROWE Professional Services Company** 

Troy R. Grunder, P.E.
Project Manager

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# **Charter Township of Union**

# **APPLICATION FOR SPECIAL USE PERMIT APPROVAL**

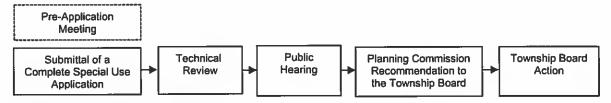
Section 14.3 (Special preliminary site plants	il Use Permits); and an application per Se	information required pobe accompanied by a sepection 14.02.C. (Site Plan	parate minor site plan Approval Required).	n or Preli	or Site Plan minary Site Plan
Name of Proposed Dev	/elopment/Project	Isabel	la Sheriff's Office an	d Correction Facil	ity
Common Description o	of Property & Addr	ess (if issued) 3	110 S. Summerton F	Road, Mt. Pleasan	t, MI 48858
Applicant's Name(s)		ROWE Profes	ssional Services Con		
Phone/Fax numbers	(98	9) 772-2138	Email	tgrunder@row	epsc.com
Address	127 S.	Main Street	City:	Mt. Pleasant	Zip:_48858
Legal Description:	Attached 🗸	ncluded on Site Plan	Tax Parcel ID Num	nber(s): 14-0	24-20-001-00
Existing Zoning: AG	-			cant Agricultural	Field
ATTACHED: Letter d	escribing the propose	ed use and how it conforn	ns to Section 14.3.J. (St	andards for Special	Use Approval)
Firm(s) or Individuals(s) who	1. Name: ROV	VE Professional Servic	es Co. Phone: 7	72-2138 Emailgr	
prepared site plan(s)	City:	Mt. Pleasant		State:	Zip: 48858
	Contact Person:_	Troy F	R. Grunder, P.E.	Pho	one 772-2138
Legal Owner(s) of	1. Name:		County		(989) 772-0911
Property.	Address:		200 N. Main Street		(0050
All persons having	City:	Mt. Pleasant_		State:	Zip: <u>48858</u>
legal interest in the	Signature:	WI A- A	Inter	rest in Property:_	owner
property must sign	3 Name:				
this application.					
Attach a separate				State:	Zip:
sheet if more space is needed.				rest in Property:_	
I do hereby affirm that true and accurate to the the owners of the prop approval. Approval of the Ordinance or other app	t all the statements he best of my knov perty. False or inac the requested spec	i, signatures, description vledge and that I am au curate information may ial use shall not constit	ons, exhibits submittents ons the cause for revocation in	ed on or with this application and a ation of the specia	application are ct on behalf of all I use permit
Turk	20			12/22/20	20
Sig	nature of Applican	t		Date	
		Office Use (	Only		
Application Received B	Ву:			Fee Paid: \$	
Date Received:			Escrow Dep	osit Paid: \$	

# Section 14.3 Special Use Permits (excerpts)

### E. Application Information.

The following minimum information shall be required with any application for special use permit approval:

- The name, address, and contact information for the applicant, and the applicant's legal interest in the
  property. If the applicant is not the owner, the name, address, and contact information for the owner(s)
  and the signed consent of the owner(s) shall also be required.
- Signature(s) of the applicant(s) and owner(s), certifying the accuracy of the information.
- 3. A legal description of the property, including street address(es) and tax code number(s).
- 4. A detailed description of the proposed use.
- Supporting statements, evidence, data, information, and exhibits that address the standards and requirements of this Section and Ordinance that apply to the proposed use, applicable requirements and standards of this Ordinance or other Township ordinances, including standards for special use approval in Subsection 14.3(J).
- 6. A survey drawing or plan view of the subject property drawn to a standard engineer's scale and correlated with the legal description and clearly showing the property's location, lot boundaries, road rights-of-way, easements, existing structures, fences, and other improvements. Where required per Section 14.2, a site plan shall satisfy this requirement.
- 7. Any other information determined necessary by the Township Planner, Planning Commission or Township Board to verify compliance with this Ordinance or other Township ordinances.



# **Special Use Review Process**

- J. Standards for Special Use Approval. No special use permit shall be granted unless the Township Board makes affirmative findings of fact and records adequate data, information, and evidence showing that:
  - 1. The proposed land use is identified in Section 3 as a special use in the zoning district.
  - 2. The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of traffic, noise, vibration, smoke, fumes, odors, dust, glare, light, drainage, pollution or other adverse impacts.
  - 3. The special use will be designed, constructed, operated, and maintained in a manner compatible with adjacent uses, the surrounding area, and the intent of the zoning district. Where determined necessary by the Planning Commission or Township Board, the applicant has provided adequately for any restrictions on hours or days of operation, minimization of noise, and screening improvements or other land use buffers to ensure land use compatibility and minimize adverse impacts.
  - The special use location and character is consistent with the general principles, goals, objectives, and policies of the adopted Master Plan.
  - The proposed special use conforms to all applicable requirements or standards of this Ordinance or other Township ordinances.
  - Approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.
  - 7. The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to roads, police and fire protection services, refuse disposal, municipal water or sewerage systems, other utilities, drainage facilities, and public or private wells. The proposed use will not create additional requirements at public cost for services or infrastructure that will be detrimental to the economic welfare of the community.

# Charter Township Of Union

# **Community and Economic Development Department**

2010 S. Lincoln Rd. Mt. Pleasant, MI 48858 989-772-4600 ext. 232

# PRELIMINARY SITE PLAN REPORT

TO: Planning Commission DATE: February 9, 2021

FROM: Rodney C. Nanney, AICP ZONING: AG Agricultural

Community and Economic Development Director District

**PROJECT:** PSPR 20-18 Preliminary Site Plan Application for the new Isabella County Jail and

Sheriff's Office.

**PARCEL(S):** PID 14-024-20-001-00

OWNER(S): Isabella County (purchase agreement); 75000 LLC

**LOCATION:** Approximately 36.26 acres on the west side of S. Summerton Rd. and south side

of E. Remus Rd. in the NE 1/4 of Section 24.

**EXISTING ADJACENT** Agriculture (AG) and Single-Family Residential **USE:** Vacant, farmland. **ZONING:** (R-1); same in Chippewa Twp. to the east.

**FUTURE LAND USE DESIGNATION:** *Rural Buffer* - Rural Buffer areas generally do not have sewer and water, but are appropriate for agricultural, low density residential, and other uses allowed by zoning. Typically this buffer is located on the fringe between rural and more urbanized areas.

**ACTION REQUESTED:** To review the PSPR 20-18 preliminary site plan dated December 22, 2020 for the new Isabella County Jail and Sheriff's Office located on the west side of S. Summerton Rd. and south side of E. Remus Rd. in the northeast quarter of Section 24 and in the AG (Agricultural) zoning district.

# **Site Plan Approval Process**

Per Section 14.2.C. of the Zoning Ordinance, both preliminary site plan approval and final site plan approval are required for this project. Per Section 14.2.J., approval of a preliminary site plan by the Planning Commission "shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas." Planning Commission approval of a final site plan "constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met" (Section 14.2.L.). Documentation of applicable outside agency permits and approvals will be required as part of a final site plan application.

# **Preliminary Site Plan Review Comments**

The following comments are based on the standards for preliminary site plan approval and specific elements of the proposed site plan:

1. **Section 14.2.P.** (Required Site Plan Information). With the exception of the following corrections (which can be incorporated into the final site plan submittal), the site plan conforms to Section 14.2.P. Required Site Plan Information) for a preliminary site plan:

Missing Preliminary Site Plan Information	
Add a new revision date to each plan sheet when the sheet is updated, and update the site plan set's cover sheet revision date accordingly for reference purposes.	
Correct the zoning district references on sheet C100 as follows:  Correct PID 14-013-40-011-03 & -04 from "AG Agricultural" to "R-1 Rural Residential."  Correct PID 02-019-10-001-00 from "AG Agricultural" to "Agriculture (Chippewa Twp.)."  Correct PID 02-019-10-001-02 from "AG Agricultural" to "Tribal Land (Chippewa Twp.)."	
Add details for the proposed perimeter fencing around the secured employee parking area to show compliance with Section 7.6 (Fences and Walls), including typical cross-section, materials, and height above grade.	

		Correct PID 02-019-10-001-00 from "AG Agricultural" to "Agriculture (Chippewa Twp.)."
	t	add details for the proposed perimeter fencing around the secured employee parking area o show compliance with Section 7.6 (Fences and Walls), including typical cross-section, naterials, and height above grade.
2.		ction 8 (Environmental Performance Standards). The following details will need to be dressed by the applicant as part of the final site plan submittal:
		Provide a completed Hazardous Substances Reporting Form (see application forms) and associated list of any hazardous substances and polluting materials which are expected to be used, stored or generated on-site.
		Provide a corrected Permit Information Checklist for Final Site Plans. The initial form provided with the application included a checked box indicating that no state, county or Township permits or approvals are required for this project. This is not an accurate statement (see items 4, 5, 6, 11, and 26). In addition to the listed items, any other state approvals specific to a correctional facility should be noted on the form.
3.	wit	ction 7.10 (Sidewalks and Pathways). Applicant has proposed to provide sidewalks thin the site and along the abutting road rights-of-way. The following sidewalk details I need to be addressed by the applicant as part of the final site plan submittal:
		Widen the internal sidewalks abutting parking spaces to a minimum of seven (7) feet to accommodate vehicle overlap.
		Widen all other proposed sidewalks as needed to a minimum of five (5) feet to better accommodate barrier free accessibility and seasonal maintenance.
		Connect the internal sidewalks and building entrances to the proposed public sidewalks along E. Remus Rd. and S. Summerton Rd.
		Adjust the sidewalks adjacent to E. Remus Rd. and S. Summerton Rd. to accommodate an anticipated future 86.0-foot right-of-way width and provide easement details. A copy of the as-recorded easement document will need to be submitted to the Zoning Administrator prior to issuance of a building permit for this project.
		Adjust the ends of the sidewalks adjacent to E. Remus Rd. and S. Summerton Rd. to angle in to meet the abutting parcel boundaries at locations one (1) foot inside the existing 66.0-foot road rights-of-way.

- 4. **Section 3.6. Dimensional Standards.** The proposed building conforms to the 35-foot maximum height requirement and the perimeter yard setback dimensions on the site plan conform to the minimum requirements of the AG District.
- 5. **Section 9 (Parking, Loading, and Access Management).** With the exception of the following detail that will need to be addressed by the applicant on the final site plan, the parking calculations and arrangement of proposed parking and loading facilities on the site plan generally conform to the requirements of Section 9:
  - ☐ Add the required bicycle parking facilities for visitors and employees per the requirements of Section 9.1.C.5. (Bicycle Parking).

# **Additional Comments for Preparation of the Final Site Plan**

6.	<b>Section 8.2 Exterior Lighting.</b> Exterior lighting details are not required until the final site plan stage, but the applicant has provided some information for review. The exterior lighting information is sufficient for preliminary site plan approval, but the following details will need to be addressed by the applicant on the final site plan:
	☐ Extend the photometric plan out from all proposed fixtures to the point at which anticipated illumination levels drop below 0.5 foot-candles. Showing anticipated illumination levels only on the paved surfaces of the development is insufficient to confirm compliance with Section 8.2 standards.
	Add an elevation drawing of the proposed pole lighting showing the full height above grade, which will need to conform to Section 8.2.E. (Height).
	Add a picture or drawing of each fixture type and the manufacturer's specifications to the final site plan set (include them in the site plan, not as a separate document).
	☐ Delete the proposed plantings and the perimeter border of 0.0 foot-candles from the photometric plan to improve legibility.
	☐ Correct the photometric plan sheet numbering to eliminate the duplication of "L2XX."
7.	<b>Section 10. – Landscaping and Screening.</b> A detailed landscape plan is not required until the final site plan stage, but the applicant has chosen to provide some information for review. The plan on sheet LP1-0 includes provisions for new berms and various plantings, and notes about preservation of some existing trees and vegetation around the perimeter of the site. The landscape installation and maintenance notes conform to Section 10.5 standards. A complete schedule of plantings detailing amounts, species, and size at planting will be required as part of the final site plan submittal. The following landscaping and screening details will need to be addressed by the applicant on the final site plan:
	☐ Update the plan to apply the standards of Section 10.2.B. (Landscaping Adjacent to Roads) to the full length of the parcel's frontage on both E. Remus Rd. and S. Summerton Rd. Some required plantings along E. Remus Rd. are missing, and no landscape improvements are proposed along the S. Summerton Rd. frontage.
	☐ Update the screening around the perimeter of the parking lots to more effectively and

consistently screen headlight glare from off-site residents. This could be accomplished by a combination of a low berm and evergreen hedgerow plantings. As an option to consider, required perimeter shrub plantings adjacent to the roads could be relocated to serve as part of this hedgerow. If this is done, please add a note to the plan to request the modification per Section 10.7 of the Zoning Ordinance.

Adjust the design and arrangement of the proposed berms as needed to prevent ponding of surface water or alteration of the runoff patterns for adjacent lots, with details provided on the final site plan.
Adjust the number and arrangement of evergreen tree plantings on the proposed perimeter berms to be more fully consistent with the requirements of Section 10.2.E.
Adjust the proposed plantings where needed to remove conflicts with overhead electrical lines. In these areas, additional berm height and/or alternative plantings with a lower height at maturity may be required to provide adequate screening.
Adjust the proposed plantings and perimeter fencing as needed to minimize conflicts between anticipated patterns of snow plowing/storage and these improvements.

Where existing vegetation is intended to provide part of the required screening, add a more detailed description of the height and character of the vegetation to the plan.
 Outside agency approvals. The applicant shall be responsible for obtaining all necessary

8. **Outside agency approvals.** The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval. These approvals include the State of Michigan, Mt. Pleasant Fire Department, Township Public Services Department, Isabella County Road Commission, Isabella County Transportation Commission, and the and Storm Water approval from the Isabella County Drain office. Copies of all outside agency permits and approval letters should be submitted to Peter Gallinat, Zoning Administrator.

# **Objective**

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

# **Key Findings**

- 1. The site plan as presented <u>does not</u> conform to the following standards for preliminary site plan approval found in Section 14.2.S. (Standards for Site Plan Approval):
  - The proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances.
- 2. If updated consistent with the details noted in this report, the preliminary site plan can fully conform to Section 14.2.S. (Standards for Site Plan Approval).

- 3. Some enhancements to the proposed screening elements are needed for consistency with Zoning Ordinance requirements and to minimize conflicts with adjacent uses.
- 4. The site plan is missing some items of required preliminary information but is sufficiently complete for Planning Commission review. If the Planning Commission is inclined to approve this preliminary site plan contingent upon final approval of the special use permit by the Board of Trustees, the various site development details noted in this report can be addressed by the applicant as part of the final site plan process.

# Recommendations

Please note that no formal action should be taken on this application until after a public hearing has been held and the Planning Commission has taken action to make recommendations to the Board of Trustees for the associated PSUP20-03 special use permit application for this project.

However, I would recommend that the Planning Commission provide direction to the applicant with regards to the adequacy of proposed screening and other site elements that may need to be adjusted or enhanced to minimize any potential land use conflicts.

Based on the above findings and following the required public hearing, I would have no objection to a Planning Commission action to approve the PSPR 20-18 preliminary site plan dated December 22, 2020 for the new Isabella County Jail and Sheriff's Office located on the west side of S. Summerton Rd. and south side of E. Remus Rd. in the northeast quarter of Section 24 and in the AG (Agricultural) zoning district, subject to the following conditions:

- 1. Preliminary site plan approval is contingent upon Board of Trustees final approval of the PSUP2 20-03 special use permit for this project.
- 2. Provide all items of required information on the final site plan per Section 14.2.P.
- 3. Revise the off-street parking, screening, exterior lighting, and sidewalk details on the final site plan as necessary for compliance with Township ordinance requirements.

Please contact me at (989) 772-4600 ext. 232, or via email at rnanney@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Rodney C. Nanney, AICP

Community and Economic Development Director

# **Charter Township of Union**

# **APPLICATION FOR SITE PLAN REVIEW**

	Minor Site Plan Preliminary	Site Plan	Final Site Plan	
A Completed Applicat	tion will contain all the information required	per the Zoning Ordinan	nce, Section 14.2 (Site Pl	an Review).
Name of Proposed Dev	relopment/Project Isabe	lla Sheriff's Office ar	nd Correction Facility	
Common Description o	of Property & Address (if issued)3	110 S. Summerton	Road, Mt. Pleasant, N	/II 48858
Common Bestription of Froperty Critical Last (i. 1888-17)				
Applicant's Name(s)	ROWE Profe	ssional Services Co	mpany	+
Phone/Fax numbers	(989) 772-2138	Email	tgrunder@roweps	sc.com
Address	127 S. Main Street	City:_	Mt. Pleasant	Zip:48858
Legal Description:	Attached / Included on Site Plan	Tax Parcel ID N	lumber(s): 14-024	4-20-001-00
Existing Zoning: AG	Land Acreage: 36.26 Existing	use(s):	Vacant Agricultural F	ield
ATTACHED: Letter d	describing the project and how it conforms	to Section 14.2.5. (Sta	ndards for Site Plan Ap	proval)
			770.0400 5 300000	1-0
Firm(s) or	1. Name: ROWE Professional Service			rer@rowepsc.cgg
Individuals(s) who prepared site plan(s)	2. Address:	127 O. Want Ou		Zip: 48858
hiebared site bioi(s)	Contact Person: Troy			
Legal Owner(s) of			Phone: (9	89) 772-0911
Property.	Address: Mt. Pleasant	200 N. Main Stree	State:	7in: 48858
All persons having legal interest in the	0-			
property must sign	Signature Cult M	Inte	erest in Property:	owner
this application.	2. Name:			
Attach a separate	Address:		<i>c.</i> .	71
sheet if more space	Citỳ:		State:	ZIP:
is needed.	Signature:	Inte	erest in Property:	
	t all the statements, signatures, descripti	one avhibite submit	ted on or with this ar	onlication are
true and accurate to the	he hest of my knowledge and that I am a	outhorized to file thi:	s application and act	on behalf of
true and accurate to the best of my knowledge and that I am authorized to file this application and act on behal all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation		evocation of		
any permits issued pur	suant to site plan approval and/or remove	val of work installed.	Approval of this plan	shall not
constitute the right to	violate any provisions of the Zoning Ordi	nance or other applic	cable codes and ordir	nances.
			4.0.000.0000	
14no	1	41.	12/22/2020	*
Sig	nature of Applicant		Date	
•		Onles		
	Office Use	only		
Application Received B	Зу:		Fee Paid: \$	
Date Received:		Escrow De	posit Paid: \$	

# **Preliminary Site Plan Review Procedure**

Each preliminary site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

# **Effect of Preliminary Site Plan Approval**

Approval of a preliminary site plan by the Planning Commission shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas in accordance with the standards for preliminary site plan approval specified in subsection 14.2(S). The Planning Commission may, at its discretion and with appropriate conditions attached, authorize limited work to begin for soils exploration, incidental site clearing, and other preliminary site work as specified in the authorization.

# **Outside Agency Approvals**

The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval.

# **Final Site Plan Review Procedure**

Each final site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

# **Effect of Final Site Plan Approval**

Approval of a final site plan by the Planning Commission constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met.

# Minor Site Plan Review Procedure

A minor site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee, and two (2) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and site plans, at a maximum sheet size of 11 inches by 17 inches, at the Township Hall. The Zoning Administrator shall review the application materials and site plan for completeness, accuracy, and compliance with all applicable requirements and standards of this Ordinance and other Township ordinances.

The minor site plan shall be approved by the Zoning Administrator upon determination that all required information for the type of site plan has been provided per subsection 14.2(P), the site plan satisfies the applicable standards for site plan approval per subsection 14.2(S); and the site plan conforms to all other applicable requirements and standards of this Ordinance and other Township ordinances.

# **CHARTER TOWNSHIP OF UNION**

# SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business:	
Name of business owner(s):	
Street and mailing address:	
Telephone:	
Fax:	
Email:	
affirm that the information submitte	ed is accurate.
Owner(s) signature and date:	
Information compiled by:	

# Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum

COMMON NAME	CHEMICAL NAME (components)	FORM	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
	KEY:			KEY:
	Lic, = Ilquid			AGT = above ground tank
	P.11Q = pressurized liquid			DM = drums
	14			UGT = underground tank
NON	Egas			Cy = cylinders
				CM = metal cylinders
				CW = wooden or composition
				container

# Section 14.2 Site Plan Review (excerpts)

#### A. Purpose and Scope.

The purposes of this Section are to establish uniform requirements of procedure for review of site plans for new development in the Township; to confirm compliance with this Ordinance and other Township ordinances prior to the start of construction; and to ensure that development in the Township is consistent with the adopted policies of the Township's Master Plan.

#### B. Authority.

Flexible standards have been established to ensure that the type of review and amount of required information is proportional to the project's scale and intensity. The Planning Commission shall have the authority to review and take action on preliminary site plan and final site plan applications and the Zoning Administrator shall have authority to review and take action on minor site plan applications, all in accordance with this Section and Ordinance.

- Preliminary site plan. Requirements for a preliminary site plan are intended to allow for review of the general character of the proposed use(s), general site layout, and location of structures and other site improvements; and to confirm that the overall development can conform to Ordinance requirements.
- 2. <u>Final site plan</u>. A final site plan is a set of engineering, architectural, and/or landscape design drawings that satisfy all applicable requirements of this Ordinance and outside agencies with jurisdiction, which are prepared by registered design professionals based on an approved preliminary site plan and depict all planned building, pedestrian access, parking, grading, drainage, infrastructure, exterior lighting, and other site improvement details for a given lot and development project.
- Minor site plan. The reduced information requirements for a minor site plan submittal, as specified in Section 14.2(P) (Required Site Plan Information), are intended to allow for administrative review of a limited range of low intensity projects that do not include significant engineering or design details.

#### C. Site Plan Approval Required.

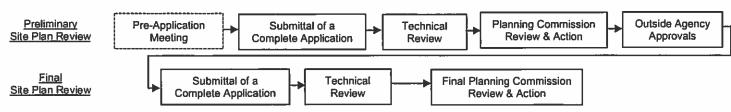
No permits shall be issued, no construction of or addition to any structure shall take place, and no land use for which site plan approval is required shall be established or expanded until all required site plans have been approved in accordance with this Section and Ordinance. Except as permitted in accordance with this Section, no grading, grubbing, cutting of trees or other vegetation, excavation, landfilling, or construction of improvements shall commence for any development for which site plan approval is required until all required site plans have been approved in accordance with the following:

	Туре	of Approv	al Requir	ed
Site Plan Approval Required	Preliminary Site Plan	Final Site Plan	Minor Site Pian	Exempt
Adult foster care large group homes, group child day care homes, and home-based limited businesses subject to special use permit approval in the zoning district per Section 3.			~	
All other land uses subject to special use permit approval in the zoning district, and all land uses for which site plan approval is otherwise required by provisions of this Ordinance.		<b>&gt;</b>		
Farm-based tourism and entertainment activities (agri-tourism), public stables, permanent auction facilities, and religious institutions as allowed in the Agricultural (AG) District per Section 3.		•		
Private off-road courses as allowed in the Agricultural (AG) District per Section 3.			~	
Customary agricultural operations, private stables, and greenhouses as allowed in the Agricultural (AG) and Rural Residential (R-1) zoning districts per Section 3, provided that the structures and improvements shall conform to all applicable Ordinance standards.	o <u>l</u>			•
Construction, relocation or alteration of a two family (duplex) dwelling detached single family dwelling or customary accessory structures or a single lot, provided that the structures and improvements shall conform to all applicable Ordinance standards.	n			•

	Туре	of Approv	/al Requir	ed
Site Plan Approval Required	Preliminary Site Plan		Minor Site Plan	Exempt
Home occupations that conform to the requirements of Section 6.19.				~
Family day care homes, adult foster care family homes and small group homes, and child foster family homes and family group homes, as licensed by the State of Michigan.				~
Multiple-family residential buildings and uses, independent or dependent senior housing, assisted living facilities, nursing homes; homes for the aged, and religious institutions as allowed in the Residential Districts per Section 3.		•		
All land uses allowed in the Business Districts and Industrial Districts per Section 3.	~	>		
All planned unit development (PUD) projects, as approved by the Township Board in accordance with Section 3.18.	~	<b>&gt;</b>		
Construction or expansion of buildings, equipment storage yards, and associated above-ground site improvements occupied by or intended for occupancy by essential services in any zoning district.		>		
The improvement, expansion, extension or abandonment of public or private overhead or underground utility lines or easements.				~
Any development which would, if approved, provide for the establishment of more than one principal use or building on a lot.	~	~		
Establishment or alteration of a condominium subdivision of an existing building into separate units in accordance with the Condominium Act and Section 5.1 of this Ordinance provided that no new construction or alteration of existing buildings or site improvements are proposed or required, and compliance with the requirements and standards of this Ordinance will not be affected.			•	
Establishment or alteration of any other condominium subdivision in accordance with the Condominium Act and Section 5.1.	~	~		
A change in use for an existing multiple-family, mixed use or non- residential building where the Zoning Administrator has determined that no new construction or alteration of the building or site improvements are required and compliance with the requirements and standards of this Ordinance will not be affected.			•	
Any other change in use for an existing multiple-family, mixed use or non-residential building.	~	~		
Expansion of an existing multiple-family, mixed use or non-residential principal building of up to ten percent (10%) of the gross floor area, and any alterations that affect the exterior appearance, pedestrian access or function of the building without a floor area increase.	1		~	
Expansion of an existing multiple-family, mixed use or non-residential principal building exceeding ten percent (10%) of the gross floor area.		~		
Relocation of a multiple-family, mixed use or non-residential building.	~	~		
Establishment or alteration of a multiple-family, mixed use or non- residential accessory use or structure where the Zoning Administrator has determined that compliance with the requirements and standards of this Ordinance will not be affected.	ł		•	
Any other establishment or alteration of any other multiple-family, mixed use or non-residential accessory use or structure,	1	~		
Expansion of any multiple-family, mixed use or non-residential off- street parking facility by up to 2,750 square feet.			~	

	Туре	of Approv	al Requir	ed
Site Plan Approval Required	Preliminary Site Plan	Final Site Pian	Minor Site Plan	Exempt
Expansion of any multiple-family, mixed use or non-residential off- street parking facility exceeding 2,750 square feet.	~	~		
Construction, extension or alteration of a private road, as authorized by Ord. No. 2009-09, that is located outside of a subdivision plat.	~	~		
Incidental changes during construction due to unanticipated site constraints or outside agency requirements, and minor landscaping changes or species substitutions, consistent with an approved final site plan.			•	
Incidental building modifications that do not significantly alter the facade, height or floor area of a multiple-family, mixed use or non-residential building.			~	
Changes to a site required to comply with State Construction Code requirements.			~	
Sidewalk or pedestrian pathway construction, or barrier-free improvements.			~	
Construction of fences, exterior lighting improvements, or installation of screening around a waste receptacle, mechanical unit or similar equipment for a multiple-family, mixed use or non-residential use.			¥	
Re-occupancy of an existing multiple-family, mixed use or non- residential building that has been vacant for more than 365 calendar days, provided that no variances to the requirements of this Ordinance are required and the proposed use will be conducted within a completely enclosed building, and will not require access changes or other substantial modifications to the existing site.			•	

- Extraction operations. For extraction operations as authorized under the Township's Extraction
  Ordinance No. 20-01, Planning Commission approval of an Extraction Permit and associated
  mining and reclamation plans shall also constitute site plan approval for the use under this
  Ordinance.
- Mobile home parks. Construction, expansion or alteration of a mobile housing park shall be subject
  to preliminary plan approval in accordance with Section 3.12 and the procedures and standards
  established under Section 11 of the Mobile Home Commission Act (Public Act 96 of 1987, as
  amended), as summarized below:
  - The preliminary plan shall include the location, layout, general design, and general description of the project. The preliminary plan shall not include detailed construction plans.
  - b. In preparing the preliminary plan and when reviewing the plan, the developer and Planning Commission shall generally follow the review procedure outlined in this Section for preliminary site plan approval, where applicable, except where pre-empted by requirements of the Mobile Home Commission Act or Manufactured Housing Rules.
  - c. Pursuant to Section 11 of the Mobile Home Commission Act, the Planning Commission shall take action on the preliminary plan within 60 days after the Township officially receives the plan.
- D. Summary of the Site Plan Review Processes.



NOTE: Applicant may combine preliminary and Final Site Plan Review, per Section 14.2(M)

# P. Required Site Plan Information.

The following minimum information shall be included with any application for site plan approval, except where the Township Planner, Zoning Administrator or Planning Commission determines that an item of information is not applicable or necessary for review of the site plan:

Minimum Site Plan Information	Minor Site Plan	Preliminary Site Plan	Final Site Plan
SITE PLAN DESCRIPTIVE INFORMATION			
Name, address, and other contact information for the applicant and property owners, along with proof of ownership and signed consent if applicant is not the owner.	•	•	•
Name, address, and other contact information of the firm or individual preparing the site plan. Site plans prepared by an architect, community planner, engineer, landscape architect or land surveyor shall bear the individual's professional seal.		•	•
A final site plan shall be prepared and sealed by an architect, engineer, landscape architect or land surveyor registered in the State of Michigan.			•
Location, address(es), and tax identification number(s) of subject parcel(s); dimensions of the site, and the gross and net land area.	•	•	•
Legal description(s) of the subject parcel(s).		•	•
Legal description of the proposed development site and any non-contiguous open space area(s), if different from the subject parcel(s), with lot line angles or bearings indicated on the plan. Dimensions, angles, and bearings shall be based upon a boundary survey prepared by a registered surveyor.		•	•
Details of existing and proposed covenants or other restrictions imposed upon land or buildings, including bylaws, deed restrictions, and articles of incorporation for a cooperative, condominium, or homeowners' association.			•
Description of applicant's intentions regarding selling or leasing of all or portions of land, dwelling units or building spaces.		•	•
Residential projects: Gross and net dwelling unit density, lot area per dwelling unit, and a schedule of the number, sizes (bedrooms, floor areas), and types of dwellings.		•	•
A detailed use statement describing proposed use(s); including land or building areas for each use, number of units, number of anticipated employees, or other applicable information to verify Ordinance compliance.		•	•
SITE PLAN DATA AND NOTES			
Minor site plans shall be drawn to a scale appropriate for the sheet size and of such accuracy that the Zoning Administrator can readily interpret the plan.	•		
Preliminary and final site plans shall be drawn to an engineer's scale not greater than 1:50 and legible at the required sheet size. For a large development shown in sections on multiple sheets, one overall composite sheet shall be provided for clarity.		•	•
Vicinity map showing the general location of the site, map scale, north arrow, initial plan date, and any revision date(s).	•	•	•
Existing zoning classification(s) for the subject parcel(s) and surrounding parcels (including across road rights-of-way).		•	•
Owners' names, existing uses, and location of structures, drives, and improvements on surrounding parcels (including across rights-of-way).		•	•
Identification of all adjacent property in which the applicant(s), developer(s), or owner(s) have an ownership interest.		•	•
Dimensions of all property boundaries and interior lot lines.	•	•	•
Calculations for parking, lot coverage, total ground floor area, and other applicable Ordinance requirements.	•	•	•

Minimum Site Plan Information	Minor Site Plan	Preliminary Site Plan	Final Site Plan
EXISTING CONDITIONS			
Location of existing structures, fences, and driveways on the subject property, with notes regarding their preservation or alteration.	•	•	•
Location of existing walls, signs, utility poles and towers, pipelines, excavations, bridges, culverts, and other site features on the subject property, with notes regarding their preservation or alteration.		•	•
SITE PLAN DETAILS			
Delineation of required yards, and other setback areas and open space.	•	•	•
Identification of general location(s) and area(s) of each development phase; and the planned construction program and schedule for each development phase.		•	•
Location, width, purpose, and description of all existing and proposed easements and rights-of-way on or adjacent to the site.	•	•	•
Location, type, area, height, and lighting specifications of proposed signs.	•		•
An exterior lighting plan with all existing and proposed lighting locations, heights from grade, specifications, lamps types, and methods of shielding.	•		•
Location, area, and dimensions of any outdoor sales, display or storage areas.	•	•	•
Location of proposed outdoor waste receptacle enclosures; with size, elevation, and vertical cross-section showing materials and dimensions; indication how recycling will be implemented.		•	•
BUILDING DESIGN AND ORIENTATION			
Location, outline, ground floor area, and height of proposed structures; and of existing structures to remain on-site.	•	•	•
Dimensions, number of floors, and gross and net floor area of proposed principal buildings; and of existing principal buildings to remain on-site.		•	•
Separation distances between adjacent buildings, and between buildings and adjacent lot boundaries.		•	•
Detailed exterior building façade elevation drawings for all proposed dwellings, principal buildings, and additions, drawn to an appropriate scale and indicating types, colors, and dimensions of finished wall materials.		•	•
Finished floor elevations and contact grade elevations for proposed principal buildings and existing principal buildings to remain on-site, referenced to a common datum acceptable to the Township Engineer.			•
ACCESS AND CIRCULATION			
Locations, layout, surface type, ceriterlines, road pavement and right-of-way widths, and indication of public or private road status for all existing and proposed roads and access drives serving the site.		•	•
Conceptual locations, layout, and surface type for all parking lots, sidewalks, and pedestrian pathways within and accessing the site.	•	•	•
Locations and dimensions of vehicle access points, and distances between adjacent or opposing driveways and road intersections.	•	•	•
Details of the location, width, and paving of proposed sidewalks and pedestrian ways, including alignment, cross section, connections to existing or planned off-site facilities, and easement or right-of-way dedications.			•
Parking space dimensions, pavement markings, and traffic control signage.	•	•	•

Minimum Site Plan Information	Minor Site Pian	Preliminary Site Plan	Final Site Plan
Parking space angles; maneuvering aisle, island, and median dimensions; surface type; fire lanes; drainage patterns; location of loading areas; and typical cross-section showing surface, base, and sub-base materials.		•	•
Identification of proposed names for new public or private roads serving the site.		•	•
Spot elevations for existing roads on and adjacent to the subject parcel(s), including surface elevations at intersections with the internal roads and drives serving the proposed development; curve-radii and road grades; location and details of curbs, and turning lanes; and typical road cross sections showing surface, base, and sub-base materials and dimensions.			•
NATURAL FEATURES AND OPEN SPACE AREAS			
A general description and preliminary delineation of existing natural features on and abutting the site.		•	•
Details of all existing natural features on the site; indications of features to be preserved, removed, or altered; and any mitigation measures as may be required by Township ordinance or state statute.			•
Outdoor open space and recreation areas; location, area, and dimensions.		•	•
Description of the organization that will own and maintain open space and recreation areas, and a long-term maintenance plan for such areas.			•
SCREENING AND LANDSCAPING	,		
General layout of proposed landscaping and screening improvements; including plantings, topographic changes, and similar features.	•	•	•
A detailed landscape plan, including location, size, quantity and type of proposed plant materials and any existing plant materials to be preserved.			•
Planting list for all landscape materials, with the method of installation, botanical and common name, quantity, size, and height at planting.			•
Landscape maintenance plan, including notes regarding replacement of dead or diseased plant materials.			•
Proposed fences, walls, and other screening devices, including typical cross section, materials, and height above grade.	•	•	•
Screening methods for any waste receptacle areas, ground-mounted generators, transformers, mechanical (HVAC) units, and similar devices.	•	•	•
UTILITIES, STORMWATER MANAGEMENT, AND GRADING			
General layout of existing and proposed water supply systems, sanitary sewerage or septic systems, and stormwater management facilities.		•	•
Details of the location, layout, and size or capacity of the existing and proposed potable water supply and sewage treatment and disposal facilities serving the site, including line sizes, inverts, hydrants, flow patterns, manholes, and catch basins.			•
Location, size, and slope of proposed detention or retention ponds; and location and size of underground tanks and drain lines where applicable.			•
Calculations for capacity of stormwater management and drainage facilities.			•
Location and size of existing and proposed telephone, gas, electric, and similar utility lines and surface-mounted equipment.			•
General areas of intended filling or cutting.		•	•
Directional arrows showing existing and proposed drainage patterns on the lot.	•		•

Minimum Site Plan Information	Minor Site Plan	Preliminary Site Pian	Final Site Plan
A detailed grading plan, with details of proposed filling or cutting, existing and proposed topography at a minimum of two (2) foot contour levels, stormwater runoff drainage patterns, and a general description of grades within 100 feet of the site. All finished contour lines are to be connected to existing contour lines within the site or at the parcel boundaries.			•
Locations, dimensions, and materials of proposed retaining walls, with fill materials and typical vertical sections.	!	•	•
Description of measures to control soil erosion and sedimentation during construction operations, and until permanent groundcover is established.			•
Other information as requested by the Township Planner, Zoning Administrator or Planning Commission to verify compliance with the standards and conditions imposed by this Ordinance, the policies of the Township Master Plan, and other applicable Township ordinances or state statutes.	•	•	•

# Q. Expiration and Extension of Site Plan Approval.

Site plan approvals shall expire and may be extended in accordance with the following:

- Expiration of preliminary site plan approval. Approval of a preliminary site plan shall be valid for a
  period of 545 calendar days from the date of approval and shall expire and be of no effect unless an
  application for final site plan approval for all or part of the area included in the approved preliminary site
  plan is filed with the Township Clerk within that time period.
- Expiration of final site plan approval. A final site plan shall expire and be of no effect unless
  construction has begun on the property and is diligently pursued in conformance with the approved final
  site plan within 545 calendar days of the final site plan approval.
- 3. Extension of preliminary or final site plan approval. The Planning Commission may, at its discretion and upon written request and showing of good cause by the applicant, grant an extension of a preliminary or final site plan approval for up to 365 calendar days, provided that site conditions have not changed in a way that would affect the character, design or use of the site, and that the approved site plan remains in conformance with applicable provisions of this Ordinance.
- 4. Expiration of Minor Site Plan Approval. A minor site plan shall expire and be of no effect unless, within 365 calendar days of approval, appropriate permits have been approved, construction has begun on the property, and such work is diligently pursued in conformance with the approved minor site plan. No extensions of minor site plan approval shall be granted by the Zoning Administrator.

#### R. Phasing of Development.

The applicant may divide the development into two (2) or more phases. Phasing shall be subject to the following requirements:

- 1. In the case of a phased development, the preliminary site plan shall cover the entire property involved and shall clearly indicate the location, size, and character of each phase.
- In the case of a phased development, a final site plan shall be submitted for review and approval for each phase.
- A phase shall not be dependent upon subsequent phases for safe and convenient vehicular and pedestrian access, adequate utility services, or open spaces and recreation facilities, and shall be capable of substantial occupancy, operation, and maintenance upon completion of construction and development.
- 4. The Township Planner or Planning Commission may require the applicant to post an acceptable performance guarantee to ensure that vehicular and pedestrian ways, utility services, open space and recreation facilities, and other amenities and infrastructure planned for later phases of the development are completed in a timely fashion.

S. Standards for Site Plan Approval.
In reviewing a minor, preliminary or final site plan, the Zoning Administrator or Planning Commission shall determine that the following standards are met, as applicable to the type of site plan:

Standards for Site Plan Approval	Minor Site Plan	Preliminary Site Plan	Final Site Pan
The applicant is legally authorized to apply for site plan approval, and all required information has been provided.	•	•	•
The proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances.	•	•	•
The final site plan is consistent with the policies of the Master Plan and other adopted Township planning documents, and with the approved preliminary site plan.			•
The proposed development will be harmonious with and not harmful, injurious, or objectionable to the environment or land uses in surrounding area.	•	•	•
The proposed development respects natural topography, floodways, and floodplains; and minimizes the amount and extent of cutting and filling.		•	•
Organic, wet, or other soils that are not suitable for development will be undisturbed or modified in such fashion as to make development feasible.		•	•
The movement of the vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will be safe and convenient.	•	•	•
The proposed development is adequately coordinated with improvements serving the area, and with other existing or planned development in the vicinity.		•	•
Satisfactory and harmonious relationships will exist between the proposed development and the existing and planned development of contiguous lands and the surrounding area, including provisions for proper extensions of public roads and sidewalks through the development in accordance with the Township ordinances.		•	•
Development phases are in logical sequence so that any phase will not depend upon a subsequent phase for access, utilities, drainage or erosion control.		•	•
The plan, including all engineering drawings, meets Township standards for fire and police protection, water supply, sewage disposal or treatment, storm drainage, and other public facilities and services.			•
The drainage plan conforms to applicable drainage and stormwater management standards, and any proposed improvements are adequate to handle anticipated stormwater runoff and accommodate upstream drainage without causing undue runoff on to neighboring property or overloading of area watercourses.			•
Proposed screening, buffering, and landscaping improvements are adequate for the location and intended purpose and conform to the standards of this Ordinance.	•		•
Exterior lighting conforms to Ordinance requirements and standards, and will not adversely affect adjacent or neighboring properties or traffic on adjacent roads.	•		•
The parking layout and vehicular circulation patterns and access points to the site are adequate to serve the proposed uses and will not adversely affect the flow of traffic on adjacent roads or create pedestrian-vehicle conflicts.	•		•
Grading or filling will not destroy or adversely affect the character of the property, adjacent properties or the surrounding area.			•
Erosion will be controlled during and after construction and will not adversely affect adjacent or neighboring property or public facilities or services.			•
The plan meets applicable standards of governmental agencies with jurisdiction, and necessary outside agency approvals have been obtained or are assured.	•		•

# PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

# Michigan.gov/EGLEpermits

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: Michigan.gov/EHSguide. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

Но	w Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes	No II
1)	Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), <u>Permit Section</u>	Υ□	N
2)	Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, <u>Asbestos Program</u> , 517-284-6777	Υ□	N□
3)	Please consult the <u>Permitting at the Land and Water Interface Decision Tree document</u> to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - <u>Joint Permit Application</u> , 517-284-5567:		
	Does the project involve construction of a building or septic system in a designated     Great Lakes high risk erosion area?	Y	N□
	b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Υ□	N□
	<ul> <li>c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?</li> <li>d. Does the project involve construction of a dam, weir or other structure to impound</li> </ul>	Υ□	N
	flow?	Υ□	N□
4)	Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? Union Township and Isabella County	Y	Ν□
5)	Does the project involve the construction or alteration of a water supply system system? Union Township Public Services Department and Drinking Water & Environmental Health Division (DWEHD), 517-284-6524	Υ□	N□
6)	Does the project involve construction or alteration of any sewage collection or treatment facility? <b>Union Township Public Services Department</b> and WRD, Part 41 Construction Permit Program (staff), 906-228-4527, or EGLE District Office	Y	N
7)	Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? <b>Union Township</b> and <a href="Public Swimming Pool">Public Swimming Pool</a> <a href="Program">Program</a> , 517-284-6541, or <a href="EGLE District Office">EGLE District Office</a>	Y	N
8)	Does the project involve the construction or modification of a campground? <b>Union Township</b> and DWEHD,Campgrounds program, 517-284-6529	Y	N□

9) Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), <u>Solid Waste</u> , 517-284-6588, or <u>EGLE District</u> <u>Office</u>	VΠ	N□
10) Does the project involve the construction of an on-site treatment, storage, or disposal facilit for hazardous waste? MMD, Hazardous Waste Section, <u>Treatment, Storage and Disposal</u> , 517-284-6562	y Y	N□
Who Regulates My Drinking (Potable) Water Supply?		
11) I am buying water from the municipal water supply system Contact the Union Township Public Services Dept.	Y	N□
12) I have a Non-Community Water Supply (Type II) <u>Guide</u> , <u>Contact (District or County) Local</u> <u>Health Department</u> , 517-485-0660	Υ□	N□
13) I am a community water supply (Type I) <u>Community Water Supply, DWEHD District Office</u> <u>Community Water Supply Program</u> , 517-284-6512	Υ□	N□
14) Do you desire to develop a <u>withdrawal of over 2,000,000 gallons of water per day</u> from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	y □	N□
Who Regulates My Wastewater Discharge System?		
15) NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, <u>EGLE District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u> , 517-284-5568	Υ□	N□
16) Does the facility have industrial activity that comes into contact with storm water that enter storm sewer, drain, lake, stream, or other surface water? WRD, Permits Section, or EGLE District Office, 517-284-5588	rs a	N
17) Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurfa disposal or irrigation)? WRD, <u>Groundwater Permits Program</u> , 517-290-2570	ace Y□	N□
18) Does the project involve the drilling or deepening of wells for waste disposal? Oil, Gas and Minerals Division (OGMD), 517-284-6841	Y	N□
What Operational Permits Are Relevant to My Operation and Air Emissions?		
19) Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of an hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, Permit Section, 517-284-6634	Y C	N□
20) Does your facility have an electric generating unit that sells electricity to the grid and burns fossil fuel? AQD, <u>Acid Rain Permit Program</u> , 517-780-7843	a Y□	N□
What Operational Permits Are Relevant to My Waste Management?		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? MN 517-284-6588 or EGLE District Office	<u>MD</u> , Y□	N□
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? MMD, <u>Hazardous and Liquid Waste</u> , 517-284-6562	Υ□	N□
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (Hazardous Waste Program Forms & License Applications) MMD, EGLE District Office, 517-284-6562	e Y□	N

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, <u>Radioactive Materia and Standards Unit</u> , 517-284-6581	il Y⊏	ןא [
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD Radioactive Material and Standards Unit, 517-284-6581	Y	] א□
26) Does the project involve the generation of medical waste or a facility that treats medical wa prior to its disposal? MMD, <u>Medical Waste Regulatory Program</u> , 517-284-6594	ste Y□	] N[
What Sector-Specific Permits May be Relevant to My Business?		
<u>Transporters</u> 27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste?	Y	] N_
MMD, <u>Transporter Program</u> , 517-284-6562  28) Does the project involve the <i>transport</i> of hazardous waste? MMD, <u>Transporter Program</u> , 517-284-6562	Y	] N 🗆
29) Do you engage in the business of transporting bulk water for drinking or household purpose (except for your own household use)? DWEHD, Water Hauler Information, 517-284-6527	rs Y	] N□
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, <u>Septage Program</u> , 517-284-6535	Y	] N□
31) Do you store, haul, shred or process scrap tires? MMD, Scrap Tire Program, 517-284-6586	Y	] N□
Sectors		
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solved in the cleaning process? AQD, <u>Dry Cleaning Program</u> , 517-284-6780	nt Y	) N□
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purpo of the Safe Drinking Water Act? <u>Laboratory Services Certifications</u> , 517-284-5424	ses Y	] א
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, <u>Public Swimmin</u> <u>Pools Program</u> , 517-284-6529	g Y	] N□
35) Does the project involve the operation of a <i>campground</i> ? <b>Union Township</b> and DWEHD, <u>Campgrounds</u> , 517-284-6529	Y	] N[]
What Permits Do I Need to Add Chemicals to Lakes and Streams?		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, Aquatic Nuisance Control, 517-284-5593	Y	] N[
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, <a href="Surface Water Assessment Section">Surface Water Assessment Section</a> , 517-331-5228	er Y	םא [

Why would I be subject to Oil, Gas and Mineral Permitting?		
38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, Petroleum Geology and Production Unit, 517-284-6826	Y	N□
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, Sand Dune Mining Program, 517-284-6826	Υ□	Ν□
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, <u>Radioactive Protection Programs</u> , 517-284-6581	Υ□	N□
Petroleum & Mining, OGMD, 517-284-6826		-
41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Υ□	N□
42) Does the project involve the surface or open-pit mining of metallic mineral deposits?	Υ□	
43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Υ□	N□
44) Does the project involve mining coal?	Υ□	***
45) Does the project involve changing the status or plugging of a mineral well?	Y	N
46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y	N□

Contact Union Township and EGLE Permits & Bonding, OGMD, 517-284-6841



Large Firm Resources. Personal Attention. sm

January 13, 2021

Mr. Rodney Nanney Charter Township of Union 2010 S. Lincoln Road Mt. Pleasant, MI 48858

RE: Isabella Sheriff's Office and Correction Facility - Special Use Permit Application

Dear Mr. Nanney:

On behalf of Isabella County, ROWE Professional Services Company is pleased to submit the Isabella Sheriff's Office and Correction Facility project for consideration for a special use designation within the agricultural district. The proposed project is located at 3110 S. Summerton Road, at the southwest quadrant of S. Summerton Road and E. Remus Road.

As the Sheriff stated during the project introduction to the township board on December 16, 2020, the existing correction facility located in downtown Mount Pleasant is in disrepair. A new facility is needed to provide the community with safe and controlled means of inmate housing and an overall modern Sheriff's office and correction facility that will serve the Isabella County community for years to come.

In addition to bettering the community, the proposed facility has been sited and designed with the neighboring residents and landowners in mind. Careful attention has been given to building placement as well as utilizing landscaping and "berming" to screen the facility from neighboring residents as much as possible. The facility has been located deep within the parcel, maintaining a natural site buffer and setback from the primary roadways to the north and east, while still allowing area future growth. In addition, the architectural character of the facility is not that of a stereotypical decade's old jail. Rather, a strong and approachable civic presence has been created in the public facades that will be visible along both Remus Road and Summerton Road. Finally, vehicular access has been orchestrated to provide separate staff and visitor entrances and related internal site circulation.

Per section 14.3.J of the zoning ordinance, the Charter Township of Union has seven standards for special use approval. The following identify how the Isabella Sheriff's Office and Correction Facility meet those standards.

- Public and institutional buildings are a permitted special use in the agricultural zoning district per section 3.4 of the zoning ordinance.
- 2. The proposed facility will have no hazardous or detrimental impacts to the environment or the public health and safety of the community. As noted above, the facility has been located on the site and designed with the neighboring residents and community in mind. There will be strategic landscape features on site to screen the facility from neighboring residents and potential noise and light pollution. The building will have a civic and approachable design, not typical of a decades old jail. Its design will incorporate modern features and technology to ensure the safety of its staff, visitors, and the surrounding community.

Mr. Rodney Nanney Charter Township of Union January 13, 2021 Page 2

- 3. The design of the proposed facility will be compatible with the surrounding area. It will incorporate modern design features that create an enduring, civic, and approachable feel. The height of the facility that face roadways are single-story, with "back-of-house" and inmate housing being protected from views in the southeast corner of the site. The site will also feature landscape and natural features to blend the site and facility into the natural surroundings.
- 4. Located in a "rural buffer" zone, the parcel has been developed with careful building siting that is sensitive to the surrounding community, including its residential uses. Setbacks from roadways have been maximized to create rural-like buffers along roadways, with landscaping and site berms being additive to further the buffering to neighboring parcels. Internal site circulation, including parking, has been placed immediate to the building to reduce development impact closer to public roadways and neighboring parcels, maintaining a naturally appointed site around the parcel perimeter.
- The design of the proposed facility and associated site conform to all applicable requirements and standards of the township ordinance.
- 6. The site for the proposed facility was carefully chosen, among other strategic features, due to the absence of dense residential neighboring parcels. Again, the design of the facility and site has had the neighboring residents and surrounding community in mind from the very beginning. We are very sensitive to this and will continue to be cognizant of the neighboring residents not only during the design and construction phases, but after the facility is occupied.
- 7. We are currently working with the township to determine that the addition of the proposed facility will not exceed the existing or planned capacity of the municipal water and sewer systems. We will be providing information to the township as requested so that it can be confirmed that the existing water and sewer systems are adequate with the addition of the proposed facility.

We are very excited about this project and look forward to working with the Charter Township of Union as we continue forward and doing our part to better the communities of Isabella County and the Charter Township of Union.

Sincerely, ROWE Professional Services Company

Troy R. Grunder, P.E. Project Manager

R:\Projects\20M0010\Docs\Permits\Letter Proposed Use.docx

Isabella County Contact for Execution of Union Township SPR/SUP Application:

Nicole F. Frost Isabella County Deputy Administrator/Controller <a href="mailto:nfrost@isabellacounty.org">nfrost@isabellacounty.org</a>

Cell: (989) 423-6741

MM

#### **PURCHASE AND SALE AGREEMENT**

This Purchase and Sale Agreement ("Agreement"), dated this \_\_\_\_\_ day of September, 2020, between **75,000 LLC**, a Michigan limited liability company, whose address is P.O. Box 653, Mt. Pleasant, MI 48804-0653, ("Seller") and ISABELLA COUNTY, a Michigan political subdivision, whose address is 200 N. Main St., Mt. Pleasant, MI 48858 ("Purchaser").

#### RECITALS

WHEREAS, Seller is the owner of certain real property located in the Township of Union, Isabella County, Michigan, more particularly described in the Exhibit "A" attached hereto (the "Property"); and

WHEREAS, Seller desires to sell the Property, and Purchaser desires to acquire the Property, on the terms and conditions set forth below.

NOW THEREFORE, Seller and Purchaser covenant and agree as follows:

#### **AGREEMENT**

- 1. Purchase Price. The purchase price of the Property (the "Purchase Price") shall be and No/100 Dollars and No/100 Dollars payable to Seller at Closing (as defined below).
- 2. <u>Earnest Money</u>. As security for Purchaser's performance of its obligations under this Agreement, Purchaser shall deposit with Mt. Pleasant Abstract & Title ("Title Company"), as escrow agent ("Escrow Agent"), simultaneously with Purchaser's execution and delivery of this Agreement, the sum of Five Thousand and No/100 Dollars (\$5,000.00) as earnest money (the "Earnest Money"). The Earnest Money shall be deposited by the Escrow Agent in an interest-bearing account, and any interest earned on this sum shall accrue to the benefit of the Purchaser.

In the event this transaction is closed pursuant to the terms of this Agreement, Escrow Agent shall pay the Earnest Money plus accrued interest to Seller at Closing and Purchaser shall receive a credit against the Purchase Price in the amount of the Earnest Money plus accrued interest. If the transaction does not close pursuant to the terms of this Agreement, then the Earnest Money plus accrued interest shall be disposed of by Escrow Agent pursuant to the provisions of this Agreement.

3. <u>Title</u>. Seller shall convey to Purchaser such good and marketable title to the Property as will enable Title Company to issue its full-coverage, standard, revised ALTA Owner's Policy of Title Insurance ("Title Insurance"), in the amount of the Purchase Price, subject, however, to the permitted title exceptions ("Permitted Title Exceptions"),

but without exception as to matters of survey (except as otherwise permitted by this Agreement) or to mechanics' or similar liens, and free and clear of any and all other mortgages, liens, judgments, encumbrances, leases, parties in possession, licenses, covenants, conditions, restrictions, easements, encroachments and any other matters of any nature affecting the Title, except as permitted in this Agreement.

- a. <u>Examination of Title</u>. Purchaser shall have fifteen (15) days after the receipt of a title commitment to examine the Title to the Property and notify Seller in writing of any defects in the Title or Survey. In the event Purchaser fails to notify Seller of any defects within the fifteen (15) day examination period, Purchaser will be deemed to have waived such objections. All written exceptions not objected to shall be Permitted Title Exceptions. The cost of title insurance and all endorsements other than those required of Seller to clear title shall be paid by Purchaser.
- b. <u>Survey Matters</u>. The sale of the Property shall be subject to the contents of a current survey ("Survey") of the Property. Seller shall provide a copy of an existing Survey to Purchaser. Purchaser may terminate this Agreement and receive a refund of the Earnest Money if the contents of the Survey, in Purchaser's reasonable judgment, materially interfere with the use contemplated for any portion of the Property, or with Purchaser's obtaining title insurance (*including insurance of marketability*) satisfactory to Purchaser. A metes and bounds description of the Property prepared from the Survey shall be used as the legal description of the Property on the warranty deed.
- c. <u>Cure of Title Matters</u>. If Purchaser has notified Seller of any defects in Title as set forth above, Seller shall have fifteen (15) days within which to cure any such defects in Title.
- d. <u>Purchaser's Right To Terminate</u>. If any such defect in Title of which Seller has been so notified on a timely basis is not cured within the period set forth above, then Purchaser may, by written notice to Seller prior to Closing, terminate this Agreement in which case Escrow Agent shall promptly refund the Earnest Money and accrued interest to Purchaser, and thereafter neither party shall have any further rights, obligations or liabilities under this Agreement, except to the extent that any right, obligation or liability expressly survives termination of this Agreement.
- 4. <u>Closing</u>. The consummation and closing ("Closing") of the purchase and sale contemplated in this Agreement shall be held during regular business hours forty-five (45) days after all of Purchaser's conditions are met ("Closing Date"), or later date as mutually agreed upon by the parties.
- a. <u>Possession</u>. At Closing, Seller shall deliver possession of the Property to Purchaser.

- b. <u>Seller's Closing Costs</u>. Seller shall pay costs for all of its consultants, the costs (*including recording costs*) of any cure of title defects required of Seller under this Agreement and the fees and expenses of Seller's own attorneys.
- c. <u>Purchaser's Closing Costs</u>. Purchaser shall pay the costs of the preparation of the warranty deed, title insurance policy and all fees and expenses of Purchaser's own attorneys.
- d. <u>Shared Closing Costs</u>. Seller and Purchaser shall divide equally, the cost of all transfer taxes due upon transfer of the Property, the recording costs associated with the conveyance of the Property, and any other closing costs.
- 5. Prorations and Credits at Closing. All ad valorem real estate taxes with respect to the Property for the current year shall be prorated as of the Closing Date and the portion of any such taxes allocable to periods up through the Closing Date shall be charged to Seller at Closing as a credit against the Purchase Price. Taxes will be treated as if they cover the calendar year in which they are first billed. Taxes first billed in years prior to year of Closing will be paid by Seller without proration. Taxes which are first billed in the year of Closing will be prorated so that Seller will pay taxes from the first of the year to Closing Date and Purchaser will pay taxes for the balance of year, including day of Closing. If any bill for taxes is not issued as of the date of Closing, the then current taxable value and tax rate and any administrative fee will be substituted and prorated. Seller shall at or before Closing pay all delinquent taxes on the Property including penalties, interest and other charges. Special assessments which are or become a lien on or before Closing shall be the Seller's responsibility. All prorations are final unless provided otherwise herein.
- 6. <u>Conveyances and Deliveries at Closing</u>. At Closing, the following items shall be executed and delivered:
- a. <u>Warranty Deed</u>. The Property shall be sold and conveyed by the Seller to the Purchaser by delivery of a Warranty Deed subject to restrictions of record and easements, if any, building and use codes, and further subject to any restrictions encumbrances or other matters approved by the Purchaser (collectively "Permitted Exceptions").
- b. Owner's Affidavit. Seller shall also execute and deliver to Purchaser an affidavit with respect to liens and title matters.
- c. <u>Closing Statement</u>. Seller and Purchaser shall execute and deliver a closing statement which shall set forth the Purchase Price, all credits against the Purchase Price, the amounts of all prorations and other adjustments to the Purchase Price, and all disbursements made at Closing on behalf of Purchaser.

- d. <u>Release of Mortgages and Liens</u>. At Closing, Seller shall pay in full or cause the Property to be fully released from all loans, mortgages and other financing owed by Seller and secured by the Property or any part of the Property, and shall evidence the satisfaction of such indebtedness or such release to the satisfaction of Purchaser and the Title Company.
- 7. <u>Seller's Representations and Warranties</u>. Seller represents and warrants to Purchaser that, to the best of its knowledge that:
- a. <u>Title to Real Property</u>. Seller is the owner of the Property free and clear of all encumbrances, occupancies or restrictions, except for the Permitted Title Exceptions.
- b. <u>Occupancy; Possession</u>. Seller has the exclusive right of occupancy and possession of the Property. No other party has any deed, option or other conveyance of any right or interest in or to the Property, except for the Permitted Title Exceptions.
- c. <u>Environmental Matters</u>. Neither Seller nor Seller's agents, employees or representatives have used, nor authorized, nor allowed the use of the Property nor does Seller have any actual knowledge of the existence of the handling, treatment, storage, disposal or release of any hazardous or toxic substance or hazardous or toxic material as defined under any applicable state or federal law or regulation including, without limitation, the Comprehensive Environmental Response, Compensation and Liability Act (42 USC Section 9601 *et seq.* as amended), or under the Michigan Natural Resources and Environmental Protection Act (1994 PA 451, as amended).
- d. <u>Tax Assessment</u>. The Property is free from all special taxes or assessments.
- e. <u>Pending Assessments and Condemnation Proceedings</u>. There are no pending or threatened special assessments or condemnation or eminent domain proceedings which would affect the Property, or any part of the Property.
- 8. <u>Seller's Covenants</u>. Seller agrees that between the date of this Agreement and the Closing Date:
- a. <u>Accuracy of Warranties</u>. Seller shall restate the representations and warranties stated above by delivering on the day of Closing an affidavit of representations and warranties to Purchaser that the statements contained in Section 7 above are true and correct as of the date of Closing.
- b. <u>Compliance of Improvements and Real Property</u>. Seller shall reasonably assist Purchaser in its efforts to obtain satisfactory evidence that the Property meets and complies with all deed restrictions, restrictive covenants, building, zoning and environmental laws and any other covenants, restrictions or regulations, if any, affecting

#### the Property.

- 9. <u>Conditions Precedent to Closing</u>. Anything to the contrary in this Agreement notwithstanding, the obligation of Purchaser to consummate the Closing of this transaction is subject to and conditioned on the satisfaction to Purchaser in its sole discretion at or prior to Closing of the following conditions precedent:
  - a. <u>Performance by Seller</u>. The full and complete performance by Seller of each and every agreement and covenant contained in this Agreement and required of Seller.
  - b. Successful Rezoning. The full and final approval by Union Terreship for Inthe rezoning of the Property to Purchaser's satisfaction for the Purchaser's intended use as a County Jail and Sheriff's Office.
  - c. <u>Financing</u>. The Purchaser securing 40-year financing and receipt of the proceeds of such financing.
  - d. <u>Voter Approval on Referendum</u>. Voter approval of the Purchaser's financing upon any referendum on the financing for the purchase of the Property.
  - e. <u>Engineering Survey</u>. The Purchaser receiving, at its own expense, an engineering survey to Purchaser's satisfaction from Rowe Engineering.
- 10. <u>Inspection of Property</u>. Purchaser shall, at all reasonable times prior to the Closing Date, have the privilege of going on the Property with its agents, representatives and contractually retained independent contractors as needed to inspect, examine, test, appraise and survey the Property. This privilege shall include the right to make surveys, examinations, appraisals and other tests to obtain any relevant information necessary to determine subsurface and topographic conditions, including, but not limited to, toxic and hazardous materials and substances studies and soil tests, including soil and other subsurface borings and investigation of the Property. All of these tests, studies and reviews shall be performed at Purchaser's sole cost and expense and shall be conducted within forty-five (45) days from the date of this Agreement.

The Purchaser agrees and acknowledges that it is responsible for making, and has been granted the opportunity to make all investigations (above ground and below ground) deemed necessary by the Purchaser to determine whether the Property (a) contains any toxic or hazardous wastes or materials (as defined or regulated by Federal, State, or local laws) or adverse conditions, (b) is in satisfactory condition, and (c) is suitable for the Purchaser's intended use; that the Seller has made no representations or warranties of any kind with regard to the condition (above ground or below ground) of the Property, that it is purchasing the Property "as is" and that it waives any right to bring any claim against

the Seller of any nature whatsoever with regard to the condition of the Property.

- 11. <u>Risk of Loss</u>. If all or a material part of the Property is damaged or destroyed through no fault of the Purchaser and such damage or destruction occurs prior to the transfer of legal title or Purchaser's possession of the Property, Seller shall not be entitled to enforce the Agreement and Purchaser shall be entitled to recover any and all portions of the Purchase Price and Earnest Money paid to Seller.
- in condemnation, eminent domain or any written request for a conveyance in lieu of such an event shall be instituted against the Property, or should Seller receive notice that such proceedings have been commenced against any portion of the Property (such condemnation, eminent domain, conveyance and proceedings are collectively referred to below as "condemnation proceedings"), Seller shall give written notice (referred to as "Seller's Condemnation Notice") of condemnation proceedings to Purchaser. Purchaser shall have the right to terminate this Agreement by written notice to Seller received within fourteen (14) days after the receipt of Seller' condemnation notice, in which event Escrow Agent shall promptly refund the Earnest Money and accrued interest to Purchaser, and thereafter neither party shall have any further rights, obligations or liabilities under this Agreement, except to the extent that any right, obligation or liability expressly survives termination of this Agreement.

In the event that Purchaser elects not to terminate this Agreement pursuant to this section, Purchaser may close the purchase and sale contemplated by this Agreement as scheduled, less that portion of the adjustment of the Purchase Price, and Seller shall assign to Purchaser at Closing all of Seller's right, title and interest in any award payable on account of condemnation proceedings.

#### 13. Default.

- a. <u>Purchaser's Default</u>. In the event that Purchaser defaults in the observance or performance of its covenants and obligations under this Agreement, and default continues for five (5) consecutive days after the date of written notice from Seller demanding cure of the default, Seller shall be entitled to terminate this Agreement (except to the extent that any right, obligation or liability expressly survives termination of this Agreement) by written notice to Purchaser of such termination, and shall also be entitled, as its sole and exclusive additional remedy under this Agreement to receive payment of the Earnest Money, with accrued interest, from Escrow Agent as full liquidated damages for the default of Purchaser.
- b. <u>Seller's Default</u>. In the event that Seller defaults in the observance or performance of their covenants and obligations under this Agreement, and default continues for five (5) consecutive days after the date of written notice from Purchaser demanding cure of the default, Purchaser shall be entitled to terminate this Agreement

(except to the extent that any right, obligation or liability expressly survives termination of this Agreement) by the delivery to Seller of notice of such termination, and to receive from Escrow Agent immediate payment of the Earnest Money, with accrued interest, and shall also be entitled, as additional remedies under this Agreement, to sue Seller for specific performance of this Agreement, or to sue for and receive from Seller damages in an amount equal to Purchaser's out-of-pocket expenses in connection with the transaction.

- 14. <u>Damages</u>. Seller and Purchaser acknowledge and agree that actual damages in any event of default, as set forth in Section 13 above, are uncertain in amount and difficult to ascertain and that the liquidated damages in Section 13 a. above have been reasonably determined by the parties.
- 15. **Broker**. Each party represents to the other that he or she has not incurred any obligation to any broker or real estate agent with respect to the purchase or sale of the Property.

#### 16. General Provisions.

- a. <u>Agreement Binding</u>. This Agreement shall be binding on each party and each party's successors and assigns, and shall inure to the benefit of each party and each party's successors and permitted assigns.
- b. <u>Entire Agreement</u>. This Agreement contains the entire agreement of the parties with respect to the matters contained in this instrument, and no prior agreement or understanding pertaining to any of the matters connected with this transaction shall be effective for any purpose. Except as may be otherwise provided in this instrument, the terms embodied in this Agreement may not be amended except by an agreement in writing signed by the parties to this Agreement.
- c. <u>Time is of the Essence</u>. Time is of the essence of the transaction contemplated by this Agreement.
- d. <u>Survival</u>. All covenants, agreements, representations and warranties contained in this Agreement shall survive termination of this Agreement prior to the Closing Date (except for the agreements to purchase and sell the Property) and shall survive Closing.
- e. <u>Date of this Agreement</u>. All references in this Agreement to "the date of this Agreement" shall be deemed to refer to the date Purchaser receives a fully executed original of this Agreement from Seller, as indicated by Purchaser on the first page of this Agreement.
- f. <u>Further Assurances and Survival</u>. Seller agrees to execute and deliver to Purchaser any further documents or instruments as may be reasonable and necessary in

furtherance of the performance of the terms, covenants and conditions of this Agreement. This covenant shall survive the Closing of this purchase and sale.

Motices. All notices, consents, approvals and other communications which may be or are required to be given by either Seller or Purchaser under this Agreement shall be properly given only if made in writing and sent by (a) hand delivery or (b) certified mail, return receipt requested, with all postage and delivery charges paid by the sender and addressed to the Purchaser or Seller, as applicable, as follows, or at any other address as each may request in writing. Notices delivered by hand shall be deemed received on the date of delivery to the addressee and, if mailed, shall be deemed received on the earlier of actual receipt or three (3) days after mailing. The notice addresses are as follows:

If to Seller:

75,000 LLC

P.O. Box 653

Mt. Pleasant, MI 48858-0653

If to Purchaser:

Isabella County Administrator

200 N. Main St.

Mt. Pleasant, MI 48858

18. <u>Counterparts</u>. This agreement may be executed in counterparts with the counterparts, when taken together, constituting an original document.

[Signatures on following page]

IN WITNESS WHEREOF, Seller and Purchaser have executed this Purchase and Sale Agreement effective on the day and year first written above.

#### "PURCHASER"

ISABELLA COUNTY, a Michigan political subdivision

George A. Green, Chairperson County Board of Commissioners

09/01/2020

"SELLER"

75,000 LLC, a Mighigan limited liability

company

By: Edward T. Peters

**Managing Member** 

n:\client\isabella\sheriff\agreements\property purchase - new jail\purchase agreement.docx

## EXHIBIT "A" Legal Description of Property

Land situated in the Township of Union, Isabella County, Michigan, T14N, R4W, Section 24, Northeast ¼ of the Northeast ¼, except the North 434 Feet of the East 264 feet, also except the South 184 feet of the East 264 feet.

Containing 36.26 acres, more or less.

Commonly known as E. Remus Rd., Mt. Pleasant, MI 48858, Tax Parcel ID No. 14-024-20-001-00.

Preliminary Site Plan Approval and Special Use Permit

Dec. 22 2020

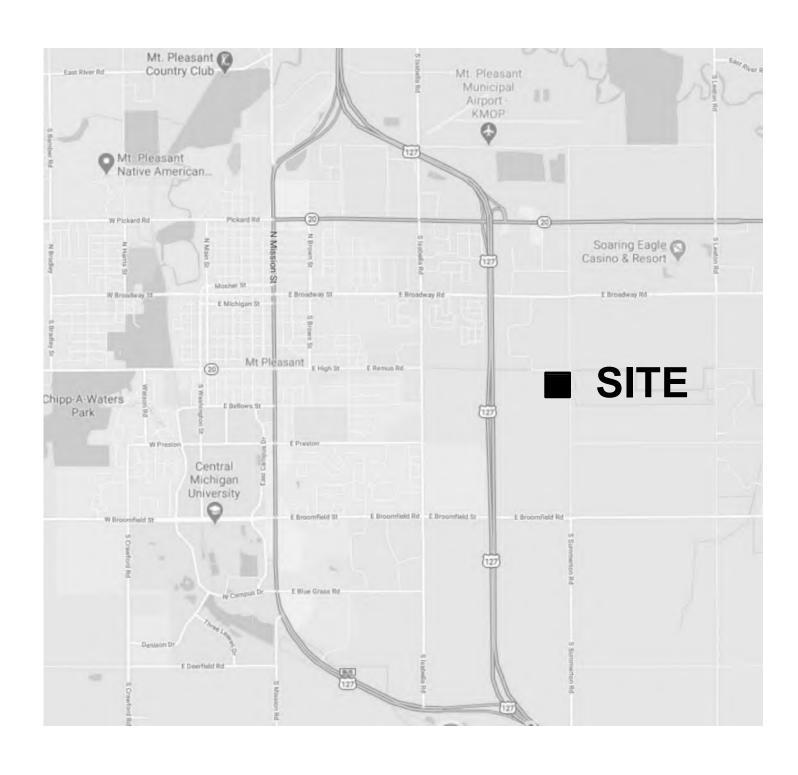
IA Project: 20190905

# Isabella Sheriff's office and Correction Facility

Mount Pleasant, MI 48858







### Owner:

1/5/2021 9:24:00 AM

Isabella County 200 N. Main St. Suite 205 Mount Pleasant, MI 48858 989.317.4058 P 989.621.7352 C

## **Construction Manager:**

\\intarch.com\projects\2019\20190905\_Isabella\_County\_Jail\_and\_Sheriffs\_Office\CAD\20190905\_arch\_ia\_v20\_Isabella\_County\_Jail.rvt

Clark Construction 3535 Moores River Drive Lansing, MI 48911 517.881.0401 C 517.346.5691 P

## **Architect:**

Integrated Architecture 4090 Lake Drive SE Grand Rapids, MI 49546 616.574.0220 P 616.574.0953 F

## Civil Engineer:

Rowe Services 127 S Main St Mt. Pleasant, MI 48858 989.772.2138 P

# **Design Architect:**

Venture Architects 212 North 25th Street Milwaukee, WI 53233 414.271.3359 P

## Structural Engineer:

JDH Engineering 3000 Ivanrest SW Suite B Grandville, MI 49418 616.531.6020 P

# Food Service & Laundry:

Stewart Design 2934 Fish Hatchery Road Suite 212 Milwaukee WI 53713 608.271.8554 P

## Technology & Security:

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CommTech Design 6581 Belding Rd Suite 101 Rockford, MI 49341 616.433.7210 P 616.446.4545 C

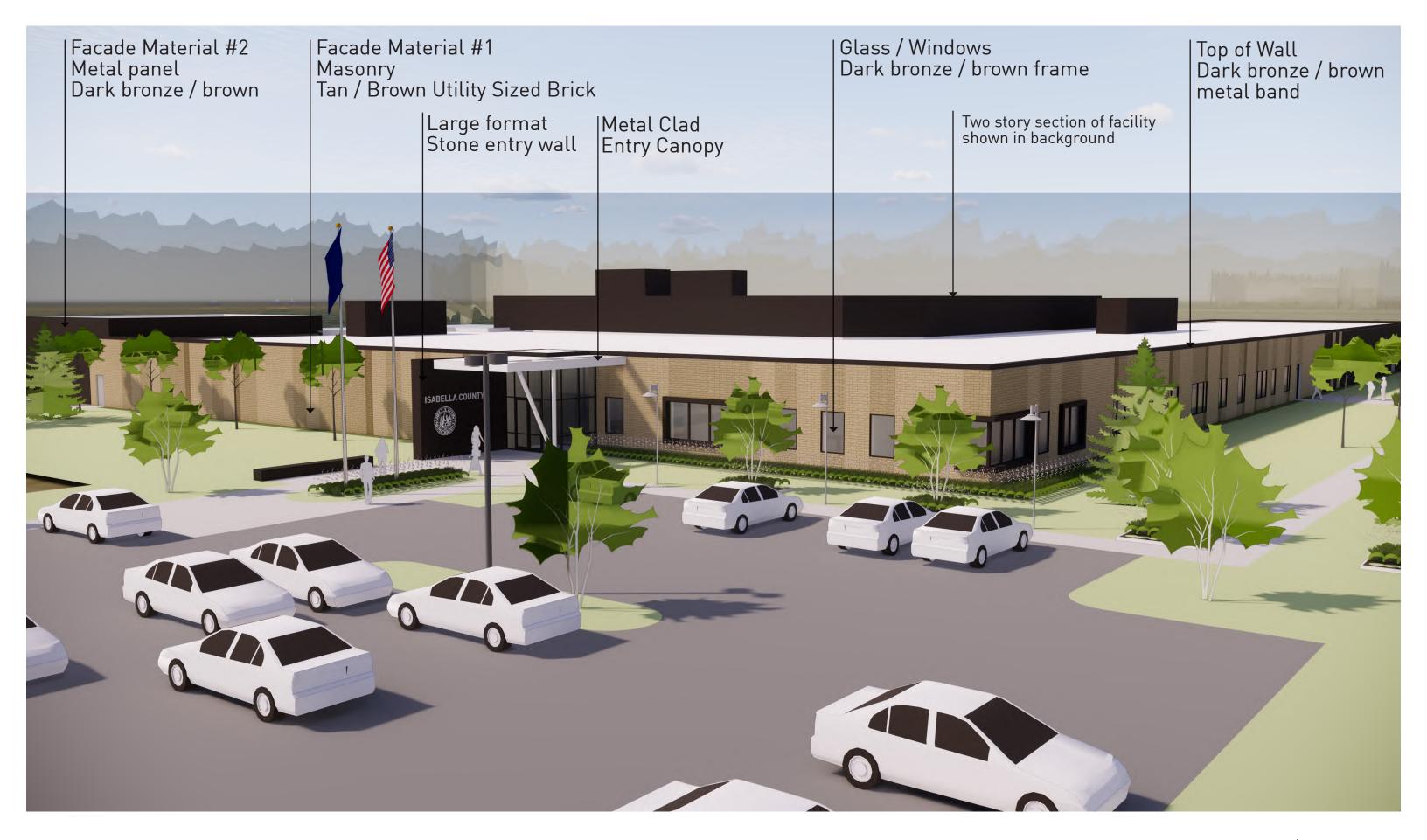
### Building Height and Area

Two Floors
Overall Height 25'-4"

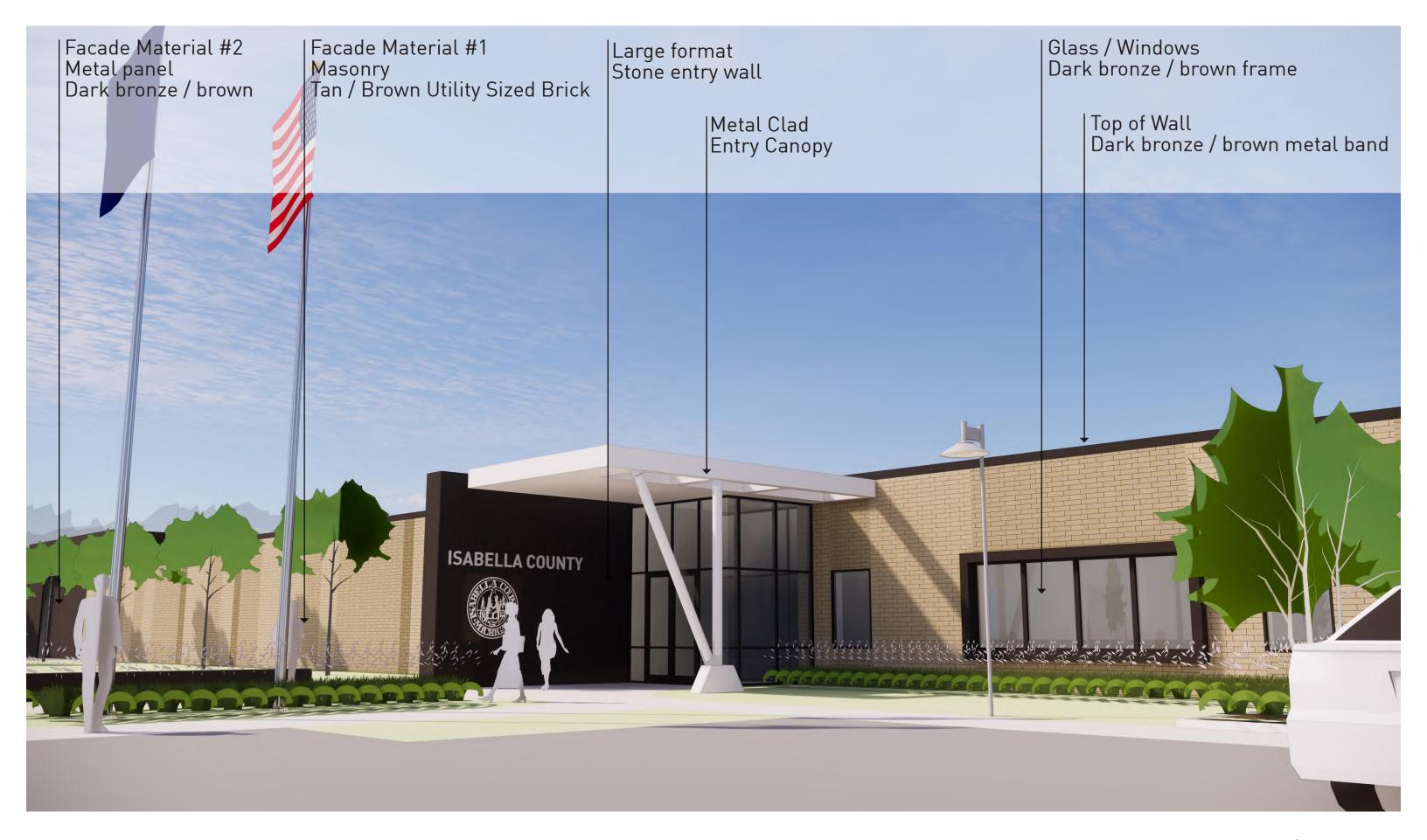
First Floor Jail Area 39,706 NSF
First Floor Administration Area 15,475 NSF

First Floor Administration Area 15,475 NSF First Floor Receiving/Maint. Area 4,221 NSF Ground Floor Area 59,406 GSF

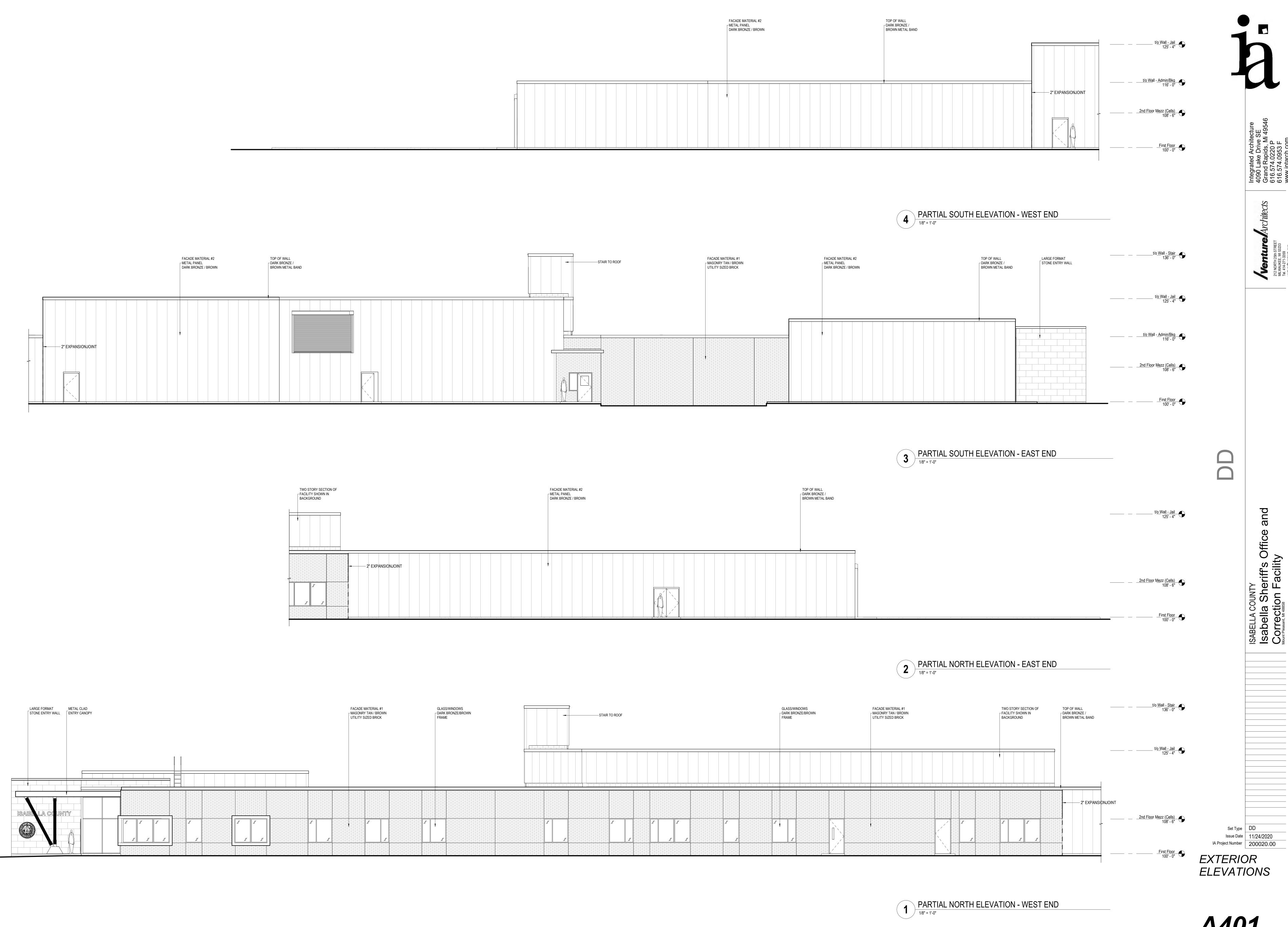
Second Floor Jail Area 8,978 NSF Second Floor Area 16,852 GSF











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ISABELLA COUNTY
ISabella Sheriff's Office ar
Correction Facility

Set Type
Issue Date
IA Project Number 200020.00

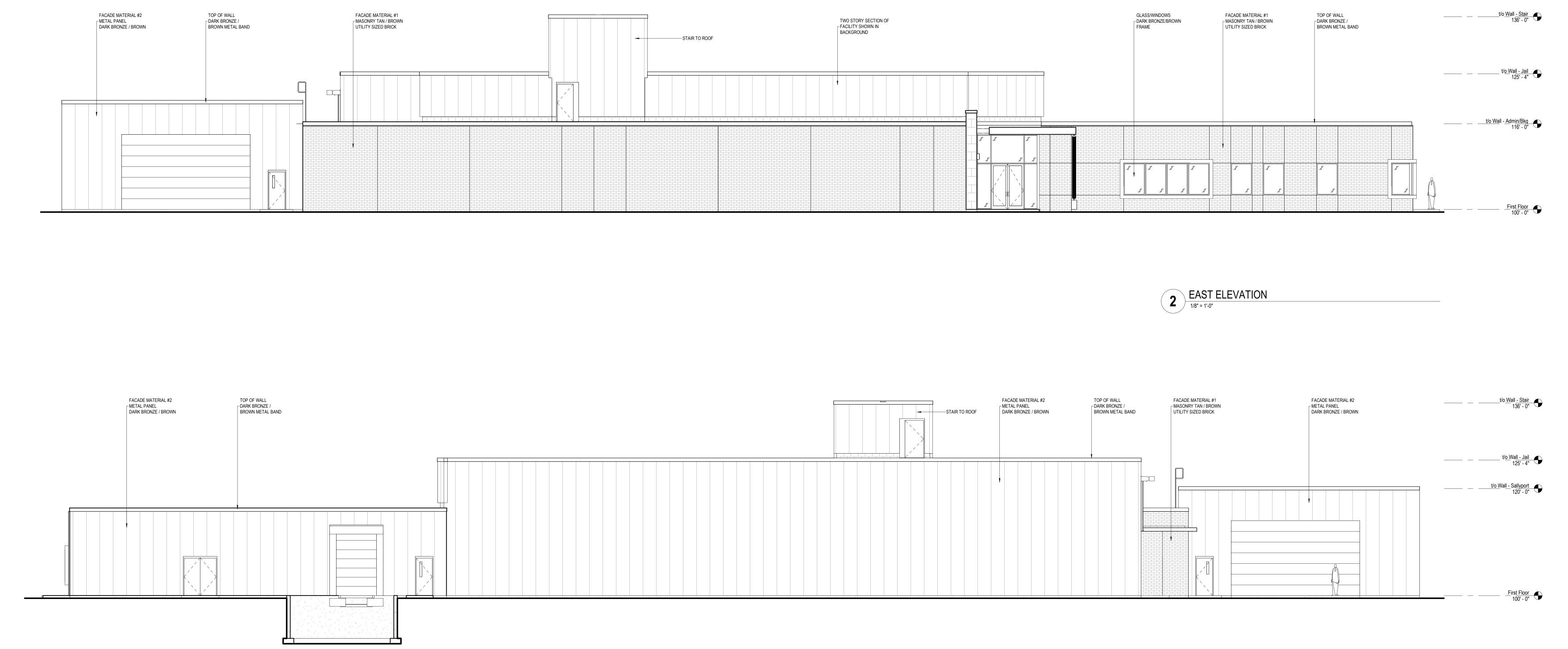
EXTERIOR
ELEVATIONS

**A A O O** 

WEST ELEVATION

1/8" = 1'-0"

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- WALLS ARE TO BE PARALLEL AND PERPENDICULAR TO ADJACENT WALLS
   UNLESS OTHERWISE NOTED, ALIGN WALLS WHERE APPARENT.
- UNLESS OTHERWISE NOTED. ALIGN WALLS WHERE APPARENT.

  2. SEE FLOOR PLANS AND SHEET 1-T002 FOR WALL TYPES.

  3. DOORS ARE TO HAVE A TYPICAL 4" OFFSET FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- NOTED OTHERWISE.

  4. PROVIDE BLOCKING AT ALL WALL HUNG EQUIPMENT AND FURNITURE AS
- PROVIDE BLOCKING AT ALL WALL HUNG EQUIPMENT AND FURNITURE AS REQUIRED.
   ALL FLOORS ARE TO BE LEVEL AND CLEAN PRIOR TO INSTALLATION OF NEW FLOOR COVERINGS. ALL FLOOR SURFACES AND TRANSITIONS BETWEEN
- SURFACE TYPES SHALL COMPLY WITH ADA GUIDELINES.

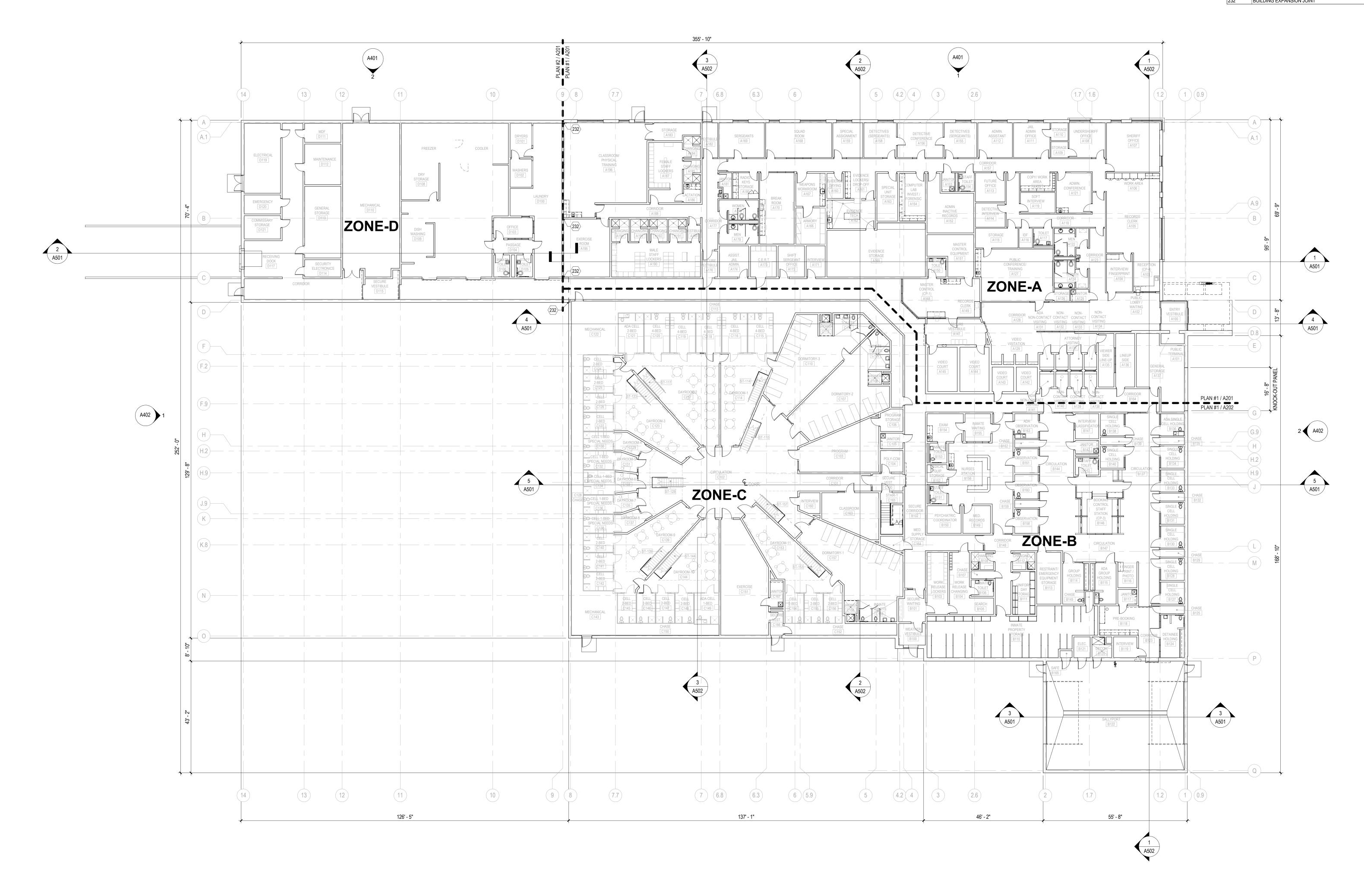
  6. MINIMUM CLEAR DIMENSIONS INDICATED ON PLANS ARE MINIMUM ACCEPTABLE. CONTACT ARCHITECT IF THERE IS A CONFLICT.

  7. COORDINATE THIS PROJECT WITH OWNER TO DETERMINE INTERIM LIFE SAFETY ROUTES IF APPLICABLE. CONFIRM ANY CONFLICTS WITH

ARCHITECT/OWNER PRIOR TO CONSTRUCTION.

**FLOOR PLAN KEYNOTES** 

KEY KEYNOTE DESCRIPTION
232 BUILDING EXPANSION JOINT



1 OVERALL FIRST FLOOR PLAN
1/16" = 1'-0"

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Architects 616.574

ISABELLA COUNTY
ISabella Sheriff's Office and
Correction Facility

N

Issue Date 11/24/2020 200020.00

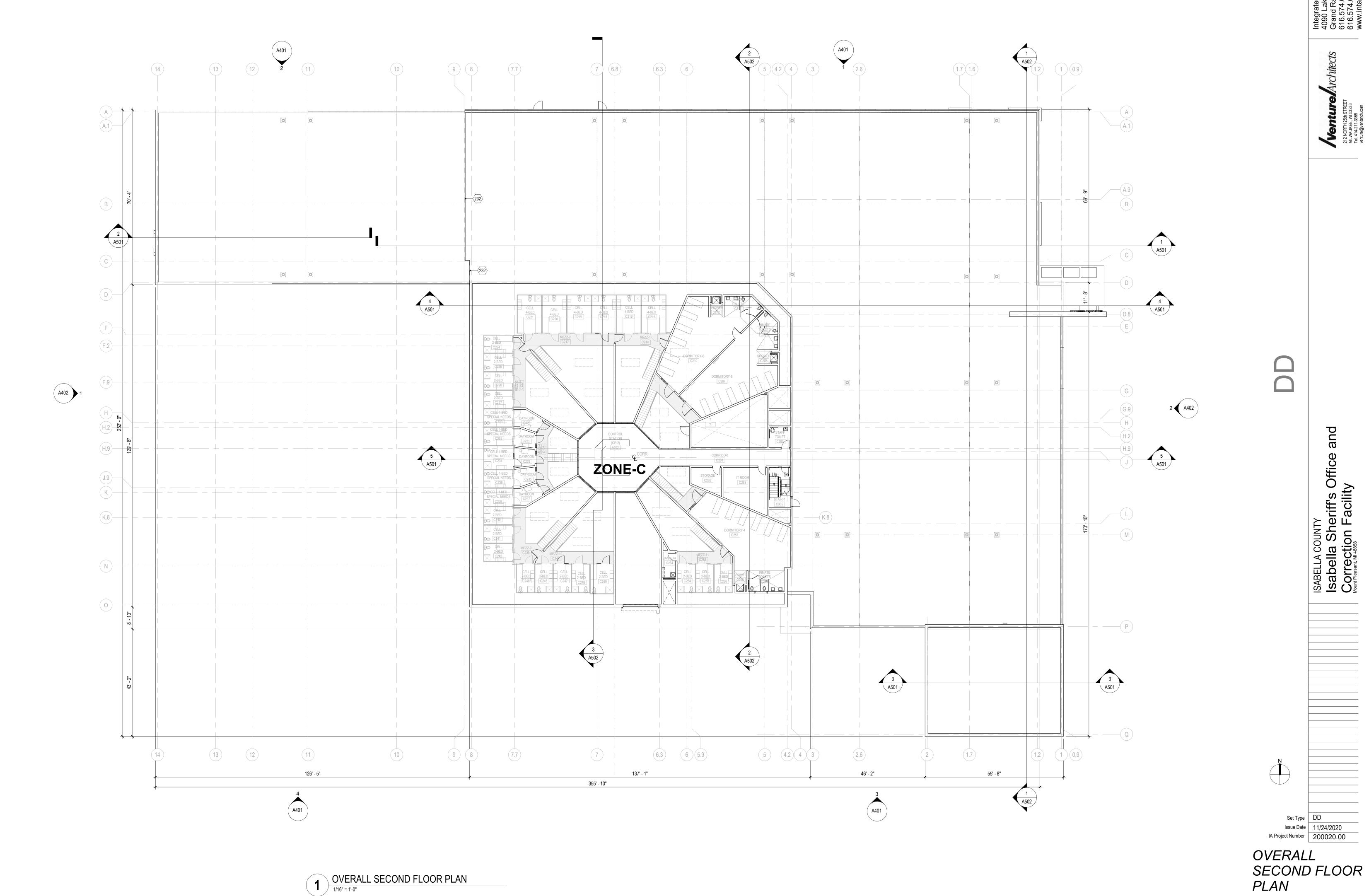
OVERALL FIRST FLOOR PLAN

#### **GENERAL CONSTRUCTION NOTES**

- WALLS ARE TO BE PARALLEL AND PERPENDICULAR TO ADJACENT WALLS UNLESS OTHERWISE NOTED. ALIGN WALLS WHERE APPARENT. 2. SEE FLOOR PLANS AND SHEET 1-T002 FOR WALL TYPES. 3. DOORS ARE TO HAVE A TYPICAL 4" OFFSET FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- 4. PROVIDE BLOCKING AT ALL WALL HUNG EQUIPMENT AND FURNITURE AS
- 5. ALL FLOORS ARE TO BE LEVEL AND CLEAN PRIOR TO INSTALLATION OF NEW FLOOR COVERINGS. ALL FLOOR SURFACES AND TRANSITIONS BETWEEN SURFACE TYPES SHALL COMPLY WITH ADA GUIDELINES. 6. MINIMUM CLEAR DIMENSIONS INDICATED ON PLANS ARE MINIMUM ACCEPTABLE. CONTACT ARCHITECT IF THERE IS A CONFLICT. 7. COORDINATE THIS PROJECT WITH OWNER TO DETERMINE INTERIM LIFE SAFETY ROUTES IF APPLICABLE. CONFIRM ANY CONFLICTS WITH ARCHITECT/OWNER PRIOR TO CONSTRUCTION.

#### **FLOOR PLAN KEYNOTES**

KEYNOTE DESCRIPTION 232 BUILDING EXPANSION JOINT



OVERALL SECOND FLOOR PLAN

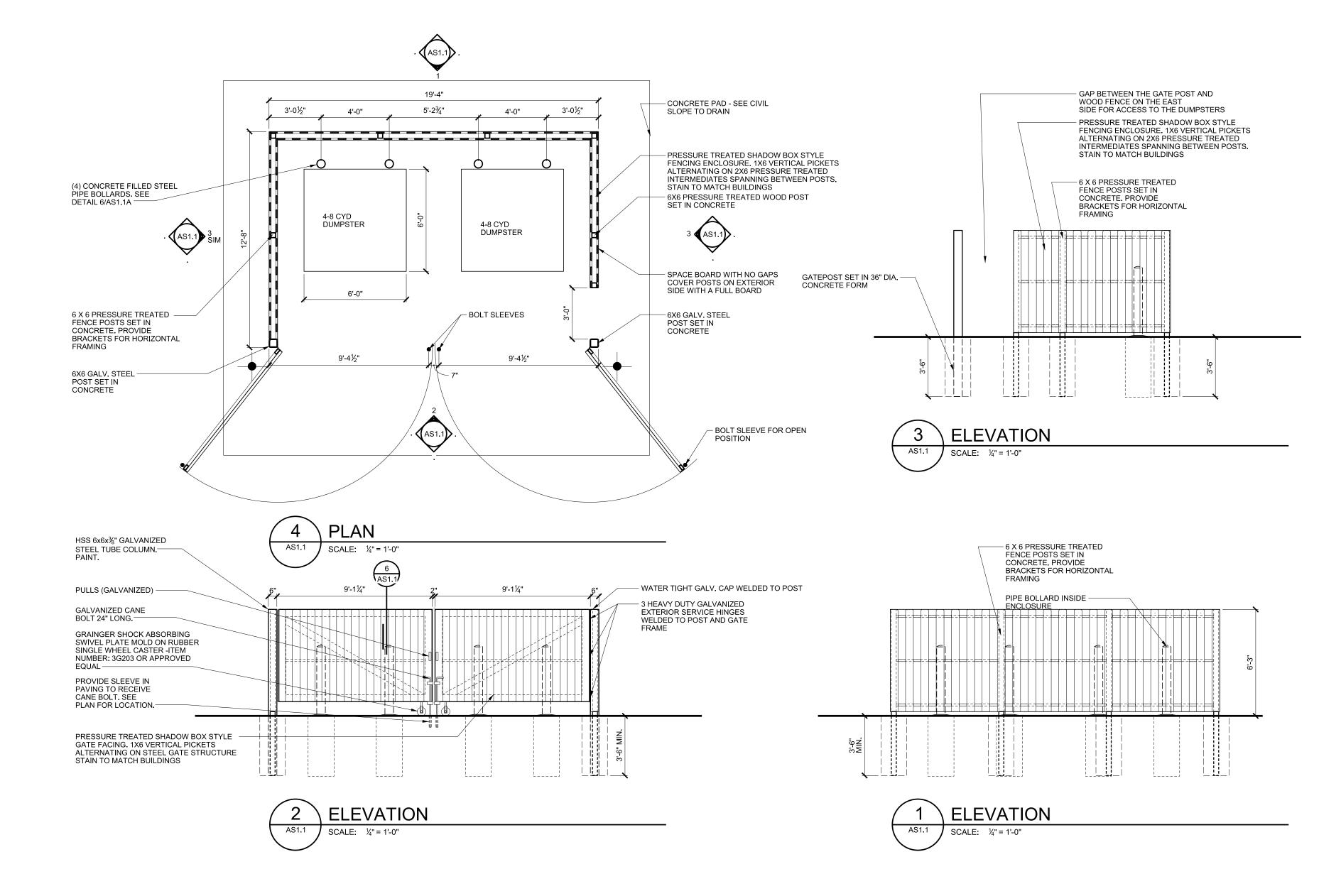
1/16" = 1'-0"

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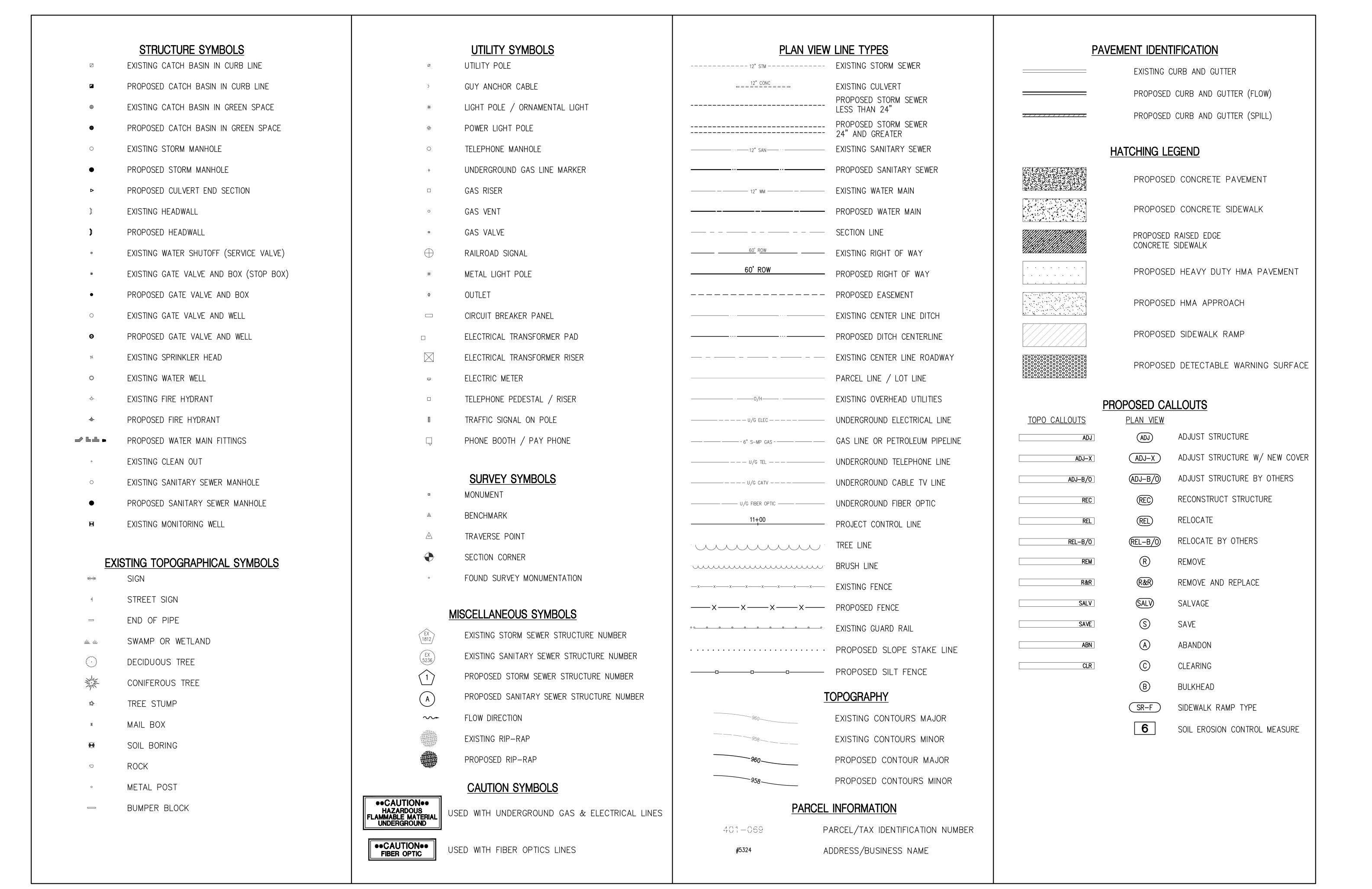
IA Project Number 200020.00

ARCHITECTURAL SITE PLAN

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LEGEND



CONCRETE PAVEMENT CROSS SECTION NOT TO SCALE

EXISTING SUBGRADE COMPACTED — TO 95% MAXIMUM DENSITY

8" AGGREGATE BASE, GRAVEL BASE COURSE MEETING THE GRADATION OF MDOT 21AA COMPACTED TO 98% MAXIMUM DENSITY

-6" 3500 PSI CONCRETE (MDOT GRADE P2) REINFORCED W/ 6X12,

W14/W6 PAVING MESH

PROPOSED THICKENED EDGE SIDEWALK AS CALLED FOR ON PLANS, SEE DETAIL ON THIS SHEET REGULAR DRY PAVEMENT -MARKING - YELLOW

STANDARD PARKING SPACE LAYOUT

9.0'

- PROP ADA SIGN IN BOLLARD, SEE BOLLARD DETAIL ON CO05 PROPOSED THICKENED EDGE SIDEWALK AS CALLED FOR ON PLANS, SEE DETAIL ON THIS SHEET - REGULAR DRY PAVEMENT MARKING - BLUE REGULAR DRY PAVEMENT MARKING - BLUE 8.0'

8" AGGREGATE BASE, GRAVEL BASE COURSE MEETING THE GRADATION OF MDOT 21AA COMPACTED TO 98% MAXIMUM DENSITY

— 10" MDOT CLASS II GRANULAR SUBBASE COMPACTED TO 95% MAXIMUM DENSITY

1) ALL SIGNS SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

2) ALL BARRIER FREE PARKING SIGNS SHALL ON 3 LB

1) SYMBOL SHALL BE APPLIED AT A WIDTH OF 4"

2) CENTERLINE OF SYMBOL SHALL BE PARALLEL TO PARKING STALL STRIPE AND IN CENTER OF STALL.

AND PAINTED BLUE.

STEEL POST.

BARRIER FREE PARKING SIGNAGE

NOT TO SCALE

BARRIER FREE PARKING PAVEMENT MARKING

NOT TO SCALE

\_\_1-1/2" HMA, 13A

STANDARD DUTY HMA PAVEMENT

**CROSS SECTION** 

NOT TO SCALE

EXISTING SUBGRADE COMPACTED TO -

BARRIER FREE VAN ACCESSIBLE SIGN MDOT R7-8B

NO SCALE

95% MAXIMUM DENSITY

RESERVED PARKING

BARRIER FREE SIGN MDOT R7-8

NO SCALE

TOP OF CURB (TC)

-LOWER SIDEWALK TO 0"

TOP OF PAVEMENT

(FLUSH) FOR ADA ACCESS

SLOPE 1" PER FT.

TOP OF HMA SURFACE (TB)  $\neg$ 

 $\$  FLOW LINE (FL)  $^-$ 

4" #4 BARS (TYP.) — 4"

CONCRETE CURB AND GUTTER DETAIL

SEE PLAN FOR WIDTH

1. SIDEWALK FLAGS SHALL BE EQUAL TO THE WIDTH (5' LONG MAX).

THICKENED EDGE CONCRETE SIDEWALK DETAIL

1% MIN. & 2% MAX.

4" CLASS II SAND —

3,500 PSI CONCRETE -

(2) #4 REBAR EPOXY COATED —

BASE C.I.P.

M.D.O.T. F4 (FLOW CURB)

/ TOP OF CURB (TC)

TOP OF HMA SURFACE (TB)-

4" CONCRETE SIDEWALK —

1" PER FT

#4 BARS (TYP)—

CONCRETE CURB AND GUTTER DETAIL

SPILL CURB

NOT TO SCALE

2% MAX CROSS SLOPE

SIDEWALK DETAIL

NOT TO SCALE

- 4" MDOT CLASS II GRANULAR SUBBASE COMPACTED TO 95% MAXIMUM DENSITY

8" AGGREGATE BASE, GRAVEL BASE COURSE MEETING THE GRADATION OF MDOT 21AA COMPACTED TO 98% MAXIMUM DENSITY

HEAVY DUTY HMA PAVEMENT CROSS SECTION

NOT TO SCALE

└─ 10" MDOT CLASS II GRANULAR SUBBASE COMPACTED TO 95% MAXIMUM DENSITY

\_\_ 2" HMA, 13A

EXISTING SUBGRADE COMPACTED TO - 95% MAXIMUM DENSITY

BARRIER-FREE PARKING SPACE LAYOUT

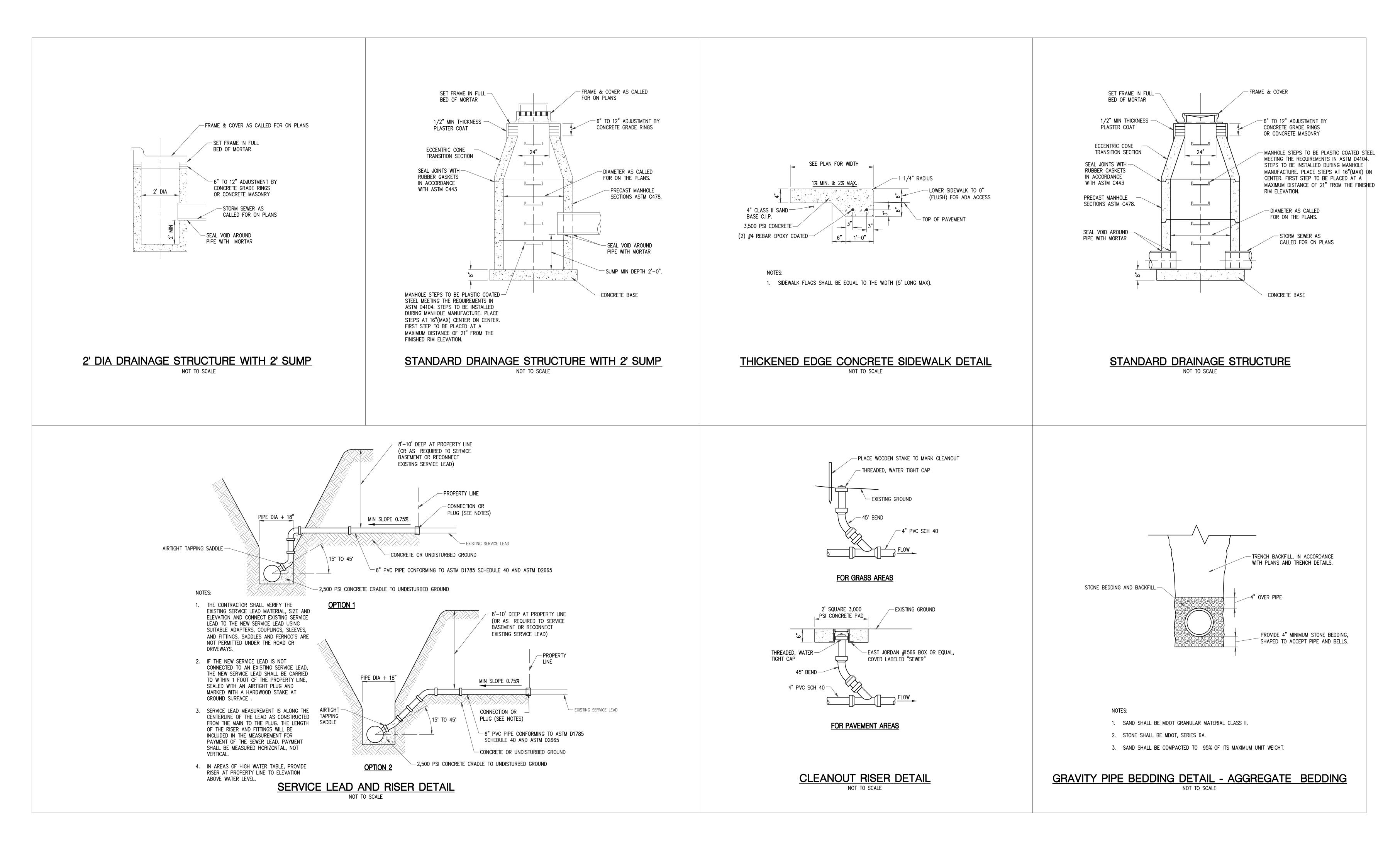
**DETAILS** 



ACILI

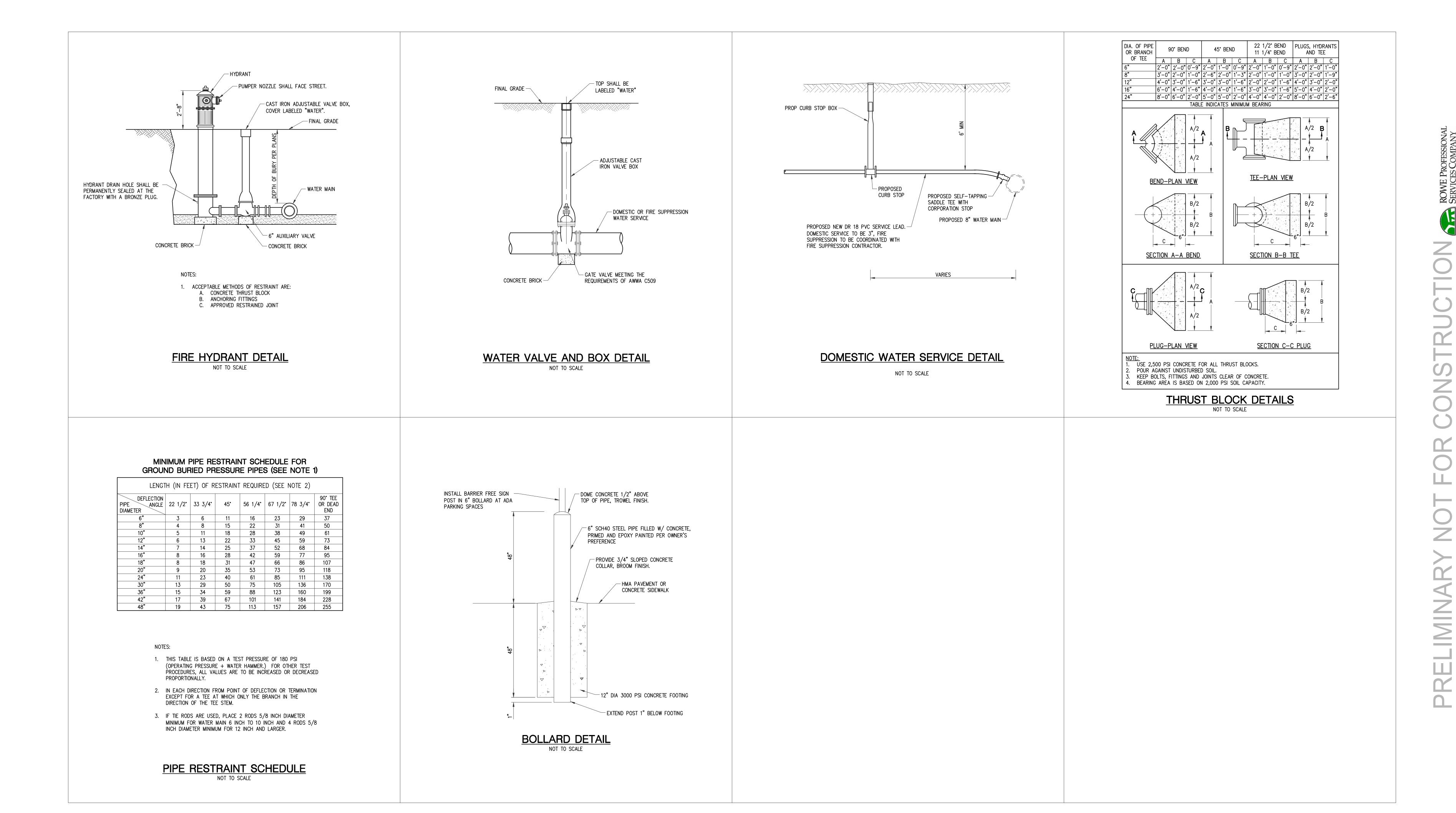
**DETAILS** 

Know what's **below.** Call before you dig.



**DETAILS** 

Call before you dig.

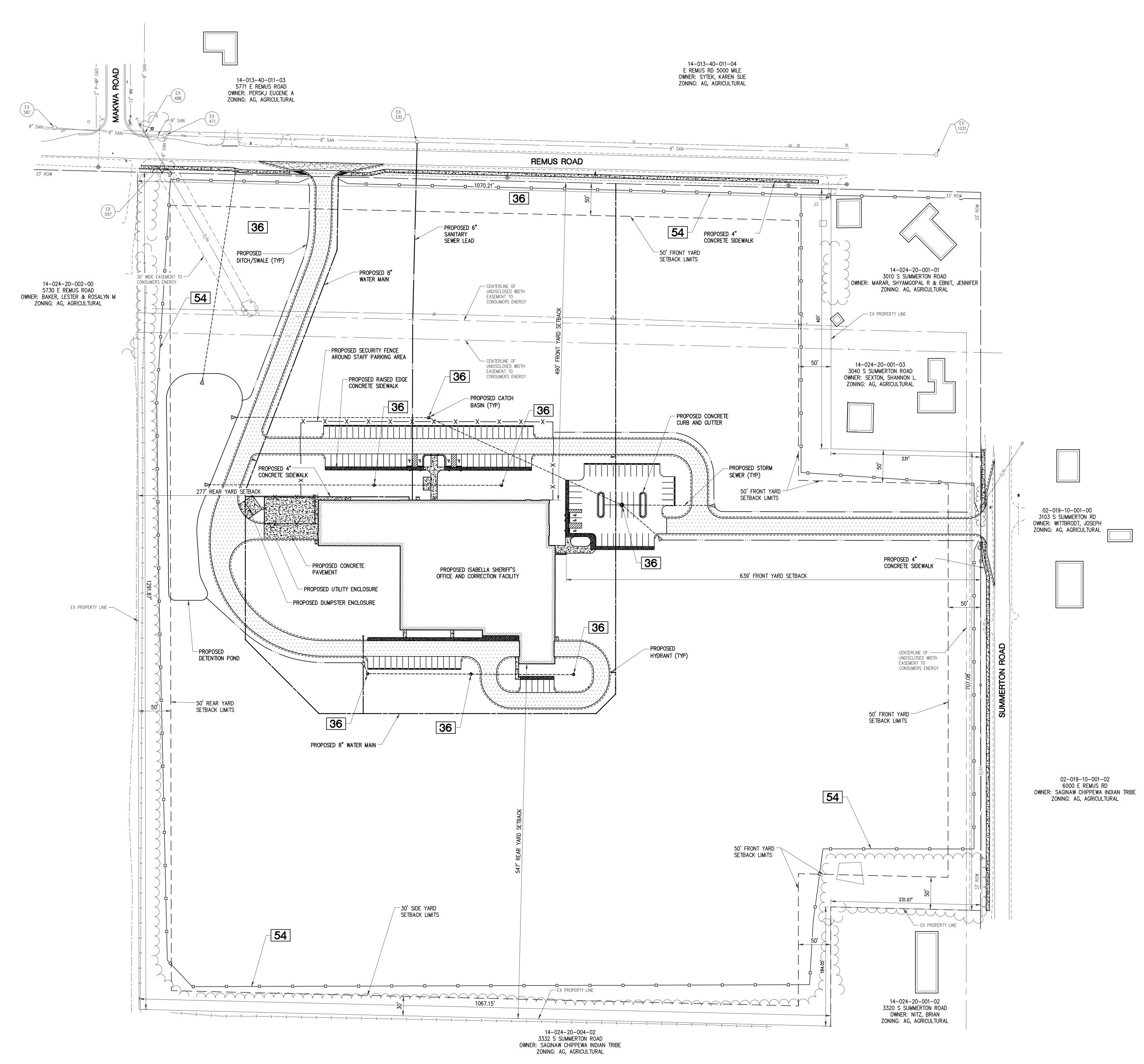


12/22/20

SITE PLAN







## PROJECT INFORMATION

PROPERTY OWNER: ISABELLA COUNTY 200 N. MAIN STREET

OWNER CONTACT INFO: PH: (989) 772-0911 PROPERTY ADDRESS: 3110 S. SUMMERTON ROAD

(BUSINESS AND PROFESSIONAL OFFICES)

REQUIRED) PROFESSIONAL OFFICE SPACE = 15,475 +

PROVIDED PARKING: 129 STANDARD SPACES, 7 ADA SPACES

TROY R. GRUNDER, P.E.

#### MH# 103 TYPE: STORM 24.0" RCP N INV.=753.93 COVER: FLAT GRATE 12.0" RCP E INV.=754.03 RIM= 760.39 24.0" RCP S INV.=753.98 12.0" SLC E INV.=758.94 12.0" SLC W INV.=758.94 MH# 539 TYPE: SANITARY MH# 154 COVER: SOLID TYPE: STORM RIM= 763.08

COVER: BEEHIVE 8.0" PVC N INV.=747.53 8.0" PVC S INV.=747.48 42.0" RCP E INV.=751.83 42.0" RCP W INV.=751.88 TYPE: STORM MH# 285 TYPE: STORM COVER: BEEHIVE RIM= 761.85 COVER: BEEHIVE 18.0" RCP N INV.=753.75 RIM= 758.81 24.0" RCP S INV.=753.65 42.0" RCP E INV.=752.51 15.0" RCP SW INV.=757.65 36.0" RCP W INV.=752.51

MH# 587 TYPE: SANITARY COVER: BEEHIVE COVER: SOLID NO INVERT INFORMATION 8.0" PVC W INV.=745.72 8.0" PVC E INV.=745.77 MH# 330 TYPE: SANITARY COVER: SOLID RIM= 760.33 TYPE: SANITARY 8.0" PVC E INV.=748.13 8.0" PVC W INV.=748.13 RIM= 762.63 8.0" SLC N INV.=747.73

MH# 471 TYPE: SANITARY COVER: SOLID TYPE: STORM RIM= 763.31 COVER: BEEHIVE 8.0" PVC E INV.=746.61 RIM= 760.40 8.0" PVC W INV.=746.56 36.0" RCP E INV.=753.40 8.0" PVC S INV.=746.61 36.0" RCP W INV.=753.40 MH# 486 TYPE: SANITARY

TYPE: STORM COVER: SOLID COVER: BEEHIVE RIM = 763.80RIM= 761.28 8.0" PVC E INV.=746.30 36.0" RCP W INV.=753.43 8.0" PVC N INV.=746.30 24.0" RCP N INV.=753.43 8.0" PVC W INV.=746.25 36.0" RCP E INV.=753.38

MH# 1030 TYPE: STORM TYPE: STORM COVER: BEEHIVE COVER: BEEHIVE RIM= 759.98 12.0" RCP S INV.=754.37 42.0" RCP E INV.=750.93 15.0" SLC E INV.=757.17 42.0" RCP W INV.=750.98 MH# 1031 TYPE: STORM TYPE: SANITARY

COVER: SOLID

RIM= 759.89

8.0" PVC W INV.=752.29

MH# 534 TYPE: STORM COVER: CURB INLET

COVER: CURB INLET

12.0" RCP W INV.=754.09

RIM= 761.94

MOUNT PLEASANT, MI 48858

MOUNT PLEASANT, MI 48858

ZONING AND SETBACK REQUIREMENTS:

AG, AGRICULTURAL FRONT YARD SETBACK - 50 FT SIDE YARD SETBACK - 30 FT REAR YARD SETBACK - 50 FT

LEGAL DESCRIPTION: T14N R4W, SEC 24, NE 1/4 OF NE 1/4 EXCEPT N 434 FT OF E 264 FT ALSO EXCEPT S 184 FT OF E 264 FT

TAX ID NUMBER: 14-024-20-001-00 TOTAL SITE AREA: 36.26 ACRES

PARKING REQUIREMENTS: 1 SPACE PER 1,000 SFT OF GFA (PUBLIC AND INSTITUTIONAL BUILDINGS AND USES) AND 2.39 SPACES PER 1,000 SFT OF GFA

> PUBLIC/INSTITUTIONAL GFA = 39,706 + 4,221 + 8,978 = 52,905 SFT (53 SPACES)

7,874 = 23,349 SFT (56 SPACES REQUIRED)

136 TOTAL PARKING SPACES CIVIL ENGINEER: ROWE PROFESSIONAL SERVICES COMPANY

127 S. MAIN STREET MOUNT PLEASANT, MI 48858

# EXISTING STRUCTURES PROPOSED USE STATEMENT

THE ISABELLA COUNTY SHERIFF'S OFFICE AND CORRECTIONS FACILITY, PROPOSED TO BE LOCATED AT 3110 SOUTH SUMMERTON ROAD IN THE CHARTER TOWNSHIP OF UNION, A FACILITY THAT WILL CONTAIN BOTH SHERIFF'S OFFICE AND CORRECTIONAL FUNCTIONS FOR ISABELLA COUNTY. THE RURAL SITE IS A 36-ACRE PARCEL LOCATED DIRECTLY SOUTHWEST FROM THE

INTERSECTION OF EAST REMUS ROAD AND SOUTH SUMMERTON ROAD. IT IS PREDOMINANTLY AGRICULTURAL IN NATURE AND ADJACENT TO SEVERAL NEIGHBORING RESIDENTIAL PARCELS. SURROUNDING USES ARE PREDOMINANTLY AGRICULTURAL.

A SINGLE BUILDING WITH A FOOTPRINT OF APPROXIMATELY 59,406 SF WILL OCCUPY THE SITE, LOCATED APPROXIMATELY 600 FEET FROM REMUS RD. AND 700 FEET FROM SUMMERTON RD. THE SITE WILL CONTAIN INTERNAL (SEPARATED) VEHICULAR DRIVES AND PARKING LOTS FOR BOTH STAFF AND VISITORS. THE STAFF PARKING AREA WILL BE SECURED BY A FENCED/GATED ENCLOSURE, NECESSARY FOR THE SECURITY OF OFFICER MOVEMENTS TO AND FROM THE BUILDING. SEPARATE ENTRIES EXIST FOR BOTH STAFF AND VISITORS. NATURAL LANDSCAPE EARTH BERM SCREENING HAS BEEN INCORPORATED TO SCREEN AND DIFFUSE VEHICULAR MOVEMENTS AND HEADLIGHTS FROM NEIGHBORING PARCELS. THE SUBSTANTIAL BUILDING SETBACK FROM ROADWAYS WILL PRESERVE RURAL BUFFERING AND MINIMIZE INTERNAL MOVEMENT IMPACTS TO ADJACENT PARCELS. SITE LIGHTING WILL BE LED TYPE WITH FULL CUT-OFF HEADS (DARK SKY COMPLIANT W/ CONTROLLED LIGHT SPILL). AN AREA ADJACENT TO THE BUILDING WILL BE SEEDED/TURF (W/ IRRIGATION), WITH OUTLYING FRONT YARDS LEFT NATURAL, HOWEVER MAINTAINED. STORM WATER DETENTION WILL OCCUR ALONG THE WESTERN BOUNDARY OF THE SITE, LOCATED TO MAXIMIZE NATURAL RUNOFF

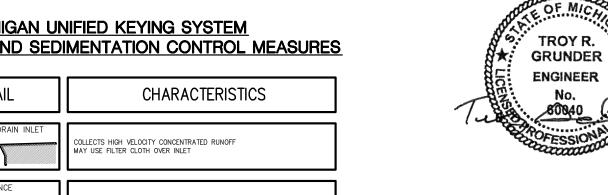
PATTERNS OF THE PARCEL. THE SHERIFF'S OFFICE AND CORRECTIONS FACILITY, A 24/7 OPERATION, WILL CONTAIN ALL ISABELLA COUNTY LAW ENFORCEMENT, ADMINISTRATIVE, INTAKE/HOLDING AND INMATE HOUSING FUNCTIONS PRESENTLY LOCATED IN MOUNT PLEASANT. A TWO STORY. APPROXIMATELY 25 FEET TALL, INMATE HOUSING POD CONTAINING 187 BEDS IS LOCATED IN THE SOUTHWEST CORNER OF THE FACILITY, SURROUNDED BY SHERIFF'S OFFICE FUNCTIONS IN THE ONE-STORY PORTION OF THE BUILDING. ALL INMATE AREAS, INCLUDING HOUSING, INTAKE AND HOLDING AREAS ARE WINDOWLESS AND ENCLOSED WITHIN A SECURE BUILDING PERIMETER. EXTERIOR BUILDING MATERIALS INCLUDE LOW MAINTENANCE BRICK MASONRY AND METAL PANEL SIDING.

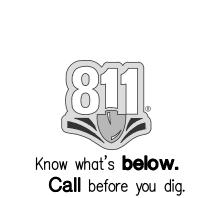
THE ANTICIPATED OCCUPANCIES AND POPULATION INCLUDE 55 COUNTY EMPLOYEES AND AN AVERAGE INMATE POPULATION OF BETWEEN 140-160 OCCUPANTS. ADDITIONAL AREA INFORMATION CAN BE FOUND IN THE SUMMARY BELOW:

Building Height and Area	
Two Floors Overall Height	25'-4"
First Floor Jail Area First Floor Administration Area First Floor Receiving/Maint. Area Ground Floor Area	39,706 NSF 15,475 NSF 4,221 NSF 59,406 GSF
Second Floor Jail Area Second Floor Area	8,978 NSF 16,852 GSF

#### MICHIGAN UNIFIED KEYING SYSTEM SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

OOIL L	HOOIOH AND OLD	HALLIAL VILLOCHE
KEY	DETAIL	CHARACTERISTICS
=		
36	CATCH BASIN, DRAIN INLET	COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF MAY USE FILTER CLOTH OVER INLET
54	SILT FENCE	USES GEOTEXTILE FABRIC AND POSTS OR POLES. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.

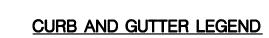




PARTIAL SITE PLAN

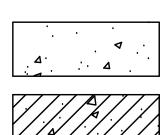
C101

MATCH LINE - SEE SHEET C101



PROPOSED MDOT F4 CURB AND GUTTER PROPOSED SPILL CURB AND GUTTER PROPOSED LOW BACK/DUB DOWN CURB AND GUTTER

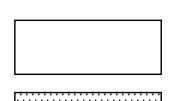
#### SIDEWALK LEGEND



PROPOSED 4" CONCRETE SIDEWALK

PROPOSED THICKENED EDGE SIDEWALK

## HMA PAVEMENT LEGEND



PROPOSED STANDARD DUTY HMA PAVEMENT

PROPOSED HEAVY DUTY HMA PAVEMENT

14-024-20-001-03 3040 S SUMMERTON ROAD EX PROPERTY LINE PROPOSED SWALE -MAILBOX (REL) PROPOSED HEAVY DUTY

HMA PAVEMENT (TYP) PROPOSED 6" AGGREGATE SHOULDER

NOIL

FICE

PARTIAL SITE PLAN



QCOR 5 764492.7644 13025085.5259 L-7, 1/4 CORNER

2. VERTICAL DATUM: NAVD88, PER CORS OBSERVATION

1. HORIZONTAL DATUM: NAD83/CORS2011, M.C.S. SOUTH ZONE, PER CORS OBSERVATION

SURVEY NOTES

S OFFICE AND CORRECTION FACILITY

C200

Know what's **below.** 

Call before you dig.

IA Project Number

GRADING PLAN

SITE GRADING/LAYOUT TABLE LEGEND

MATCH LINE - SEE SHEET C101

764410 13027476 760.15 TOP WEST END 12" CMP SOUTH SIDE REMUS 275' WEST OF SUMMERTON BM 18 764501 13026409 764.54 TOP NORTHEAST FLANGE BOLT HYDRANT NORTHEAST QUAD REMUS AND MAKWA ROAD

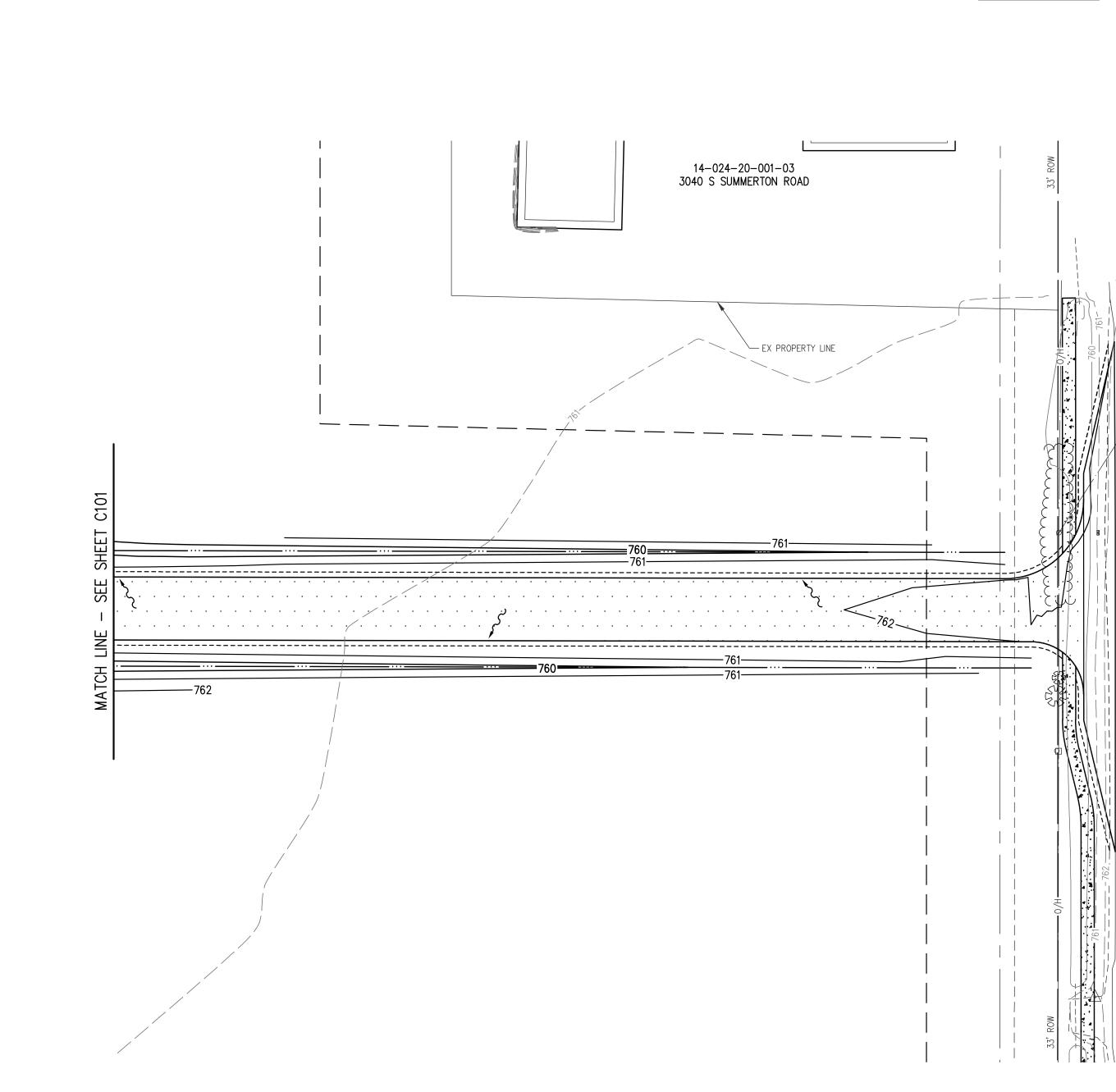
BM 21 763637 13027720 761.13 SET SPIKE IN NORTHWEST SIDE POWER POLE W/3 TRANSFORMERS WEST SIDE SUMMERTON 800' SOUTH OF REMUS ROAD

TP 20 763733.7510 13027734.4350 SET IRON ROD W/ROWE TRAVERSE CAP 700' SOUTH OF REMUS ROAD 19' WEST OF CENTERLINE SUMMERTON AT SOUTH SIDE FARM ENTRANCE

TP 16 764421.4600 13027397.4260 SET IRON ROD W/ROWE TRAVERSE CAP 16' SOUTH OF CENTERLINE REMUS AND 355' WEST OF CENTERLINE SUMMERTON TP 19 764444.3530 13026488.7130 SET IRON ROD W/ROWE TRAVERSE CAP 15' SOUTH OF CENTERLINE REMUS AND 103' EAST OF CENTERLINE MAKWA ROAD

- CENTERLINE OF UNDISCLOSED WIDTH

EASEMENT TO CONSUMERS ENERGY



SITE GRADING/LAYOUT TABLE LEGEND

DUB = LOW BACK/DUB DOWN CURB
ME = MATCH EXISTING

TP = TOP OF CONCRETE PAVEMENT TW = TOP OF CONCRETE SIDEWALK TL = TOP OF SIDEWALK LANDING→ DIRECTION OF SURFACE FLOW

SP = SPRING POINTCB = CATCH BASIN

DO = DRIVE OPENING TC = TOP OF CURB **CURB AND GUTTER LEGEND** 

SIDEWALK LEGEND

HMA PAVEMENT LEGEND

PROPOSED MDOT F4 CURB AND GUTTER

PROPOSED LOW BACK/DUB DOWN CURB AND GUTTER

PROPOSED SPILL CURB AND GUTTER

PROPOSED 4" CONCRETE SIDEWALK

PROPOSED THICKENED EDGE SIDEWALK

PROPOSED STANDARD DUTY HMA PAVEMENT

PROPOSED HEAVY DUTY HMA PAVEMENT

IA Project Number

GRADING PLAN

Know what's **below.** Call before you dig.

EASTING

QCOR 1 761778.1070 13027752.6165 M-8, 1/4 CORNER

QCOR 2 759200.5640 13025105.8664 L-9, 1/4 CORNER QCOR 3 761909.4094 13022439.7894 K-8, 1/4 CORNER SCOR 4 764428.6371 13027753.4604 M-7, SECTION CORNER QCOR 5 764492.7644 13025085.5259 L-7, 1/4 CORNER

EASTING DESCRIPTION

DESCRIPTION

NUMBER NORTHING EASTING ELEVATION DESCRIPTION

BENCHMARK DATA TABLE

NUMBER NORTHING

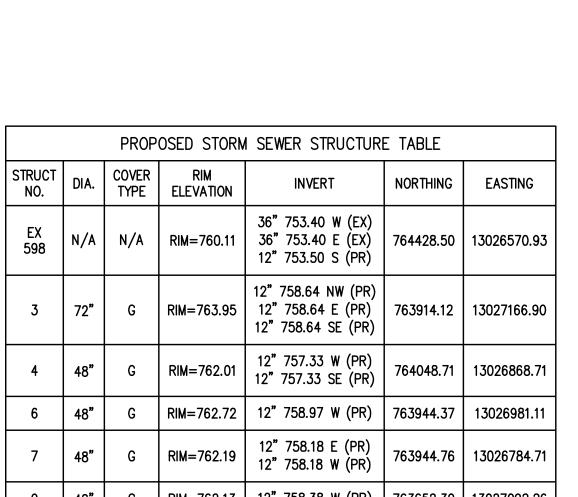
NUMBER NORTHING

SURVEY NOTES

TRAVERSE POINT DATA TABLE

SECTION CORNER DATA TABLE

14-024-20-004-02 3332 S SUMMERTON ROAD



EX 598	N/A	N/A	RIM=760.11	36" 753.40 W (EX) 36" 753.40 E (EX) 12" 753.50 S (PR)	764428.50	13026570.93
3	72"	G	RIM=763.95	12" 758.64 NW (PR) 12" 758.64 E (PR) 12" 758.64 SE (PR)	763914.12	13027166.90
4	48"	G	RIM=762.01	12" 757.33 W (PR) 12" 757.33 SE (PR)	764048.71	13026868.71
6	48"	G	RIM=762.72	12" 758.97 W (PR)	763944.37	13026981.11
7	48"	G	RIM=762.19	12" 758.18 E (PR) 12" 758.18 W (PR)	763944.76	13026784.71
9	48"	G	RIM=762.13	12" 758.38 W (PR)	763652.30	13027092.26
10	48"	G	RIM=762.24	12" 757.75 W (PR) 12" 757.75 E (PR)	763653.07	13026934.10
11	48"	G	RIM=762.24	12" 757.11 E (PR) 12" 757.11 NW (PR)	763653.77	13026774.60
	PROPOSED STORM SEWER END					

PRO	PROPOSED STORM SEWER PIPE TABLE							
PIPE NUMBER DIAMETER TOTAL LENGTH SLOPE TRENCH DETAIL A (T.D. A) (T.D. B)								
STM 1-3	12"	137'	1.54%	0'	137'			
STM 2-3	12"	75'	0.40%	0'	75'			
STM 3-4	12"	327'	0.40%	0'	327'			
STM 4-5	12"	298'	0.40%	233'	65'			
STM 6-7	12"	196'	0.40%	196'	0'			
STM 7-8	12"	255'	0.40%	190'	65'			
STM 9-10	12"	158'	0.40%	93'	65'			
STM 10-11	12"	160'	0.40%	160'	0'			
STM 11-12	12"	12'	0.60%	0'	12'			

SECTION TABLE

| END OF PIPE | END OF PIPE | END OF PIPE INVERT NORTHING EASTING

12" | 12" 760.75 | 763913.03 | 13027303.69

2 | 12" | 12" 758.94 | 763865.19 | 13027223.64

5 | 12" | 12" 756.14 | 764049.27 | 13026570.80

8 | 12" | 12" 757.16 | 763945.26 | 13026530.14

12 | 12" | 12" 757.04 | 763664.97 | 13026769.95

13 | 12" | 12" 755.13 | 764106.92 | 13026519.97

# BENCHMARK DATA TABLE

NUMBER NORTHING EASTING ELEVATION DESCRIPTION BM 17 764410 13027476 760.15 TOP WEST END 12" CMP SOUTH SIDE REMUS 275' WEST OF SUMMERTON BM 18 764501 13026409 764.54 TOP NORTHEAST FLANGE BOLT HYDRANT NORTHEAST QUAD REMUS AND MAKWA ROAD BM 21 763637 13027720 761.13 SET SPIKE IN NORTHWEST SIDE POWER POLE W/3 TRANSFORMERS WEST SIDE SUMMERTON 800' SOUTH OF REMUS ROAD

SET IRON ROD W/ROWE TRAVERSE CAP 16' SOUTH OF CENTERLINE REMUS AND 355' WEST OF CENTERLINE SUMMERTON

SET IRON ROD W/ROWE TRAVERSE CAP 15' SOUTH OF CENTERLINE REMUS AND 103' EAST OF CENTERLINE MAKWA ROAD

SET IRON ROD W/ROWE TRAVERSE CAP 700' SOUTH OF REMUS ROAD 19' WEST OF CENTERLINE SUMMERTON AT SOUTH SIDE FARM ENTRANCE

Know what's **below.** 

DESCRIPTION

STM 13-EX 528 12" 326' 0.50% 315' 0'

#### 764444.3530 TP 20 763733.7510 13027734.4350

764421.4600

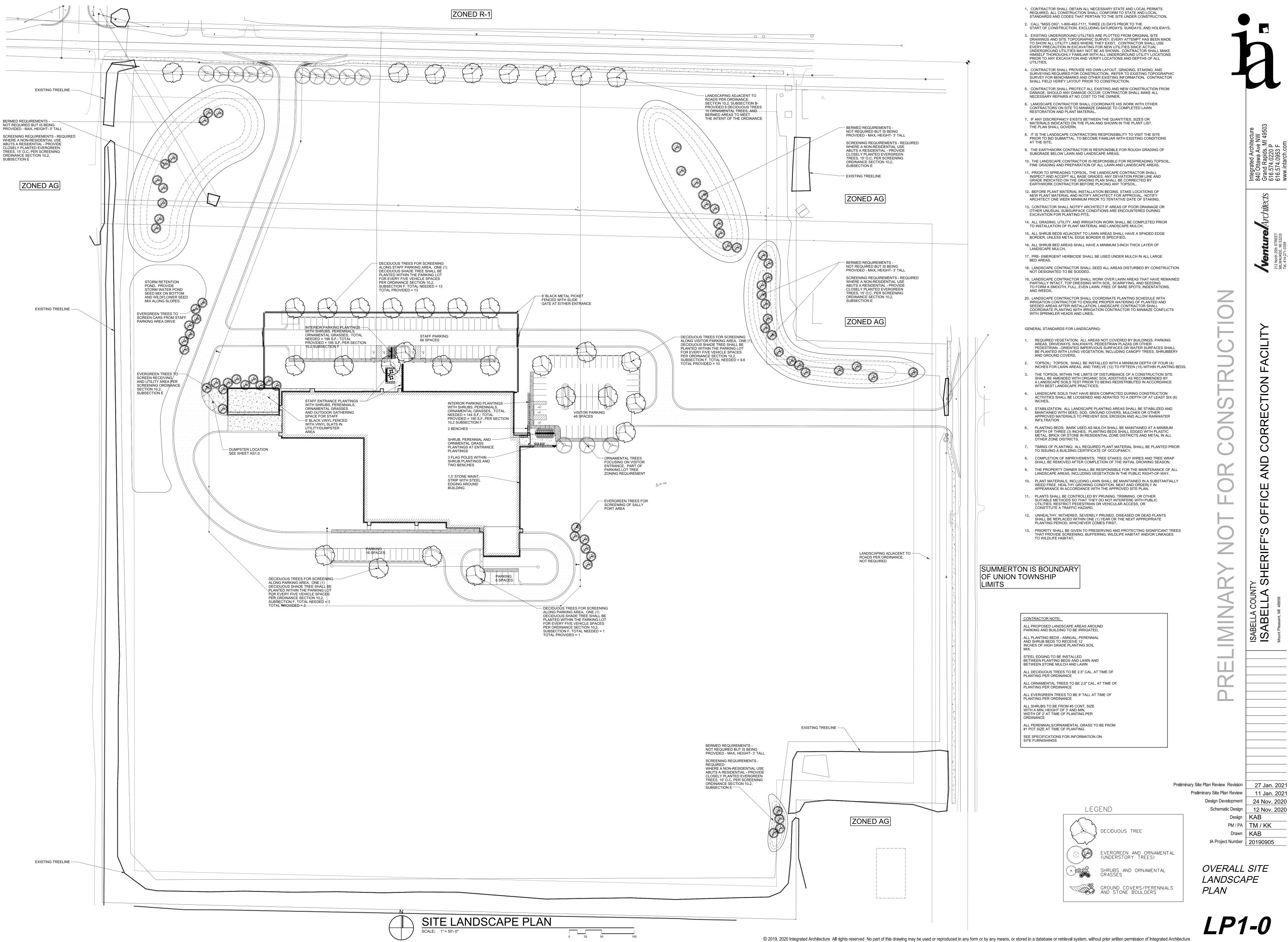
SECTION CORNER DATA TABLE DESCRIPTION 761778.1070 13027752.6165 M-8, 1/4 CORNER 759200.5640 13025105.8664 L-9, 1/4 CORNER QCOR 3 761909.4094 13022439.7894 K-8, 1/4 CORNER SCOR 4 764428.6371 13027753.4604 M-7, SECTION CORNER

13027397.4260

## SURVEY NOTES

1. HORIZONTAL DATUM: NAD83/CORS2011, M.C.S. SOUTH ZONE, PER CORS OBSERVATION

UTILITY PLAN



1/25/2021 2:16:40 PM P:\2019\20190905\_lsabella\_County\_Jail\_and\_Sheriffs\_Office\CAD\LP1-0\_SP.dgn

LANDSCAPE NOTES:



REVISION

45 Livernois, Suite 100 by, Michigan 48098-3275 248-879-5666 F: 248-879-007 ww.PeterBassoAssociates.cor



W ENFORCEMENT CENTER

DADELLA LAVV ENFURO

SITE LIGHTING PHOTOMETRIC BUILDING AREA

DATE 2020-12-17

BY:

DMN

SHEET No.

L2XX

2.6 2.9 2.1 2.3 2.4 2.2 1.8 1.8		
1.2 1.5 1.4  1.3 1.3  1.5 1.6 1.4  2.2 1.9 1/5  2.6 2.4		
3.1 2.9 2.5 2.8 2.5 2.1 2.2 1.6 1.8 1.9 1.8 1.8 2.3	1. 1. 2. 2. 2. 6 2. 2 1. 6 1. 2. 6 2. 2 1. 6 1. 7 1. 8 2. 2 2. 6 2. 2 1. 6 2. 2 2. 6 2. 2 2. 6 2. 6	
The state that the state the state that the state the state that the state the st		1.8 2.9 3.6 2.0 1.7 1.6 1.7 1.7 1.8 2.2 2.7 3.4 2.8 2.3 1.9 1.7 1.8 2.1 1.7 1.8 2.2 2.7 3.1 3.2 3.2 3.2 3.2 3.2 3.2 3.2 3.2

Scale: 1 inch= 25 Ft.

NOTES:

STANDARD LLF: 0.90 STANDARD LRV: 30% GROUND, 50% BUILDING LUMINAIRES SHOWN ARE BASIS OF DESIGN. CALCULATION PLANE HEIGHT MEASURED AT 0'-0".

3.1 3.1

2.6 2.9 2.7

CALCULATION SUMMARY						
LABEL	UNITS	AVG	MAX	MIN	MAX/MIN	
_Bldg Perimeter	Fc	1.98	5.7	0.4	14.25	
Back Entrance	Fc	1.91	3.6	0.3	12.00	
Employee Lot	Fc	2.35	3.5	1.1	3.18	

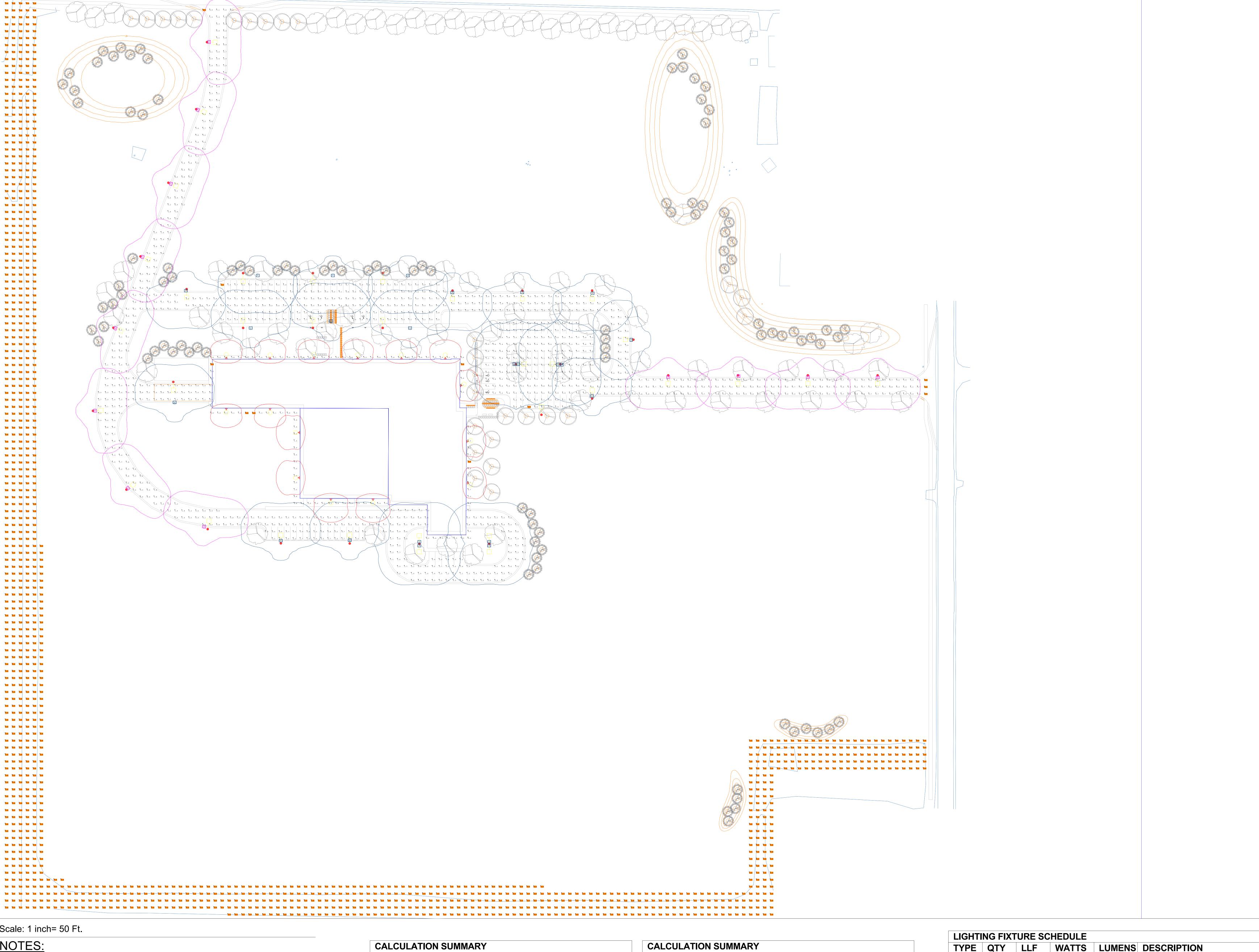
	CALCULATION SUMMARY							
V	LABEL	UNITS	AVG	MAX	MIN	MAX/MIN		
	Front Entrance	Fc	2.29	4.0	0.3	13.33		
	Parking Public Lot	Fc	2.69	7.3	8.0	9.13		
	Property Line	Fc	0.00	0.0	0.0	N.A.		

LIGHTING FIXTURE SCHEDULE

DATE 2020-12-17

BY: DMN SHEET No.

**Symbol** 



Scale: 1 inch= 50 Ft.

**NOTES:** 

STANDARD LLF: 0.90 STANDARD LRV: 30% GROUND, 50% BUILDING LUMINAIRES SHOWN ARE BASIS OF DESIGN. CALCULATION PLANE HEIGHT MEASURED AT 0'-0". CALCULATION SUMMARY LABEL UNITS AVG MAX MAX/MIN \_Bldg Perimeter 14.25 1.98 Back Entrance 12.00 2.35 3.18 Employee Lot

LABEL UNITS AVG MAX MAX/MIN Front Entrance 13.33 Parking Public Lot 9.13 Fc 0.00 Property Line 0.0 0.0 N.A.

0.900 125 DSX1 P4 40K T3S OL2 0.900 125 DSX1 P4 40K T4M 14181 OL2 B- 4 0.900 125 DSX1 P4 40K T4M BACK-BACK 14181 OL3 0.900 22.55 3214 WDGE2 P3 40K 80CRI VW

#### **Community and Economic Development Department**



2010 S. Lincoln Rd. Mt. Pleasant, MI 48858 989-772-4600 ext. 232

#### **FINAL SITE PLAN REPORT**

**TO:** Planning Commission **DATE:** February 8, 2021

**FROM:** Rodney C. Nanney, AICP **ZONING:** B-7 Retail and Service

Community and Economic Development Director Highway Business

**PROJECT:** PSPR 21-02 - Final Site Plan Approval Application for a new Biggby Coffee modular

building, drive-through lane, and outdoor seating area in the east parking lot of the

former Mid Michigan Community College building at 5805 E. Pickard Rd.

**PARCEL(S):** PID 14-012-04-007-07

**OWNER(S):** Mid Michigan College

**LOCATION:** 4.58 total acres on the north side of E. Pickard Rd. between S. Summerton Rd. and

the former Mid Michigan Community College building at 5805 E. Pickard Rd.in the

SE1/4 of Section 12.

**EXISTING USE:** Parking lot **ADJACENT ZONING:** B-7 and R-1

**FUTURE LAND USE DESIGNATION:** *Community Commercial.* This land use category is intended the widest variety of retail and service businesses, but is not intended for heavy commercial/light industrial uses like landscaping or contractor yards, heavy auto repair, or similar uses that may require some form of outside storage. Locations for this district are based on arterial road frontage and the need for high traffic volumes with convenient, well-managed access.

**ACTION REQUESTED:** To review and take action to approve, deny or approve with conditions the PSPR 21-02 final site plan with a revision date of January 6, 2021 for a new Biggby Coffee modular building, drive-through lane, and outdoor seating area in the east parking lot of the former Mid Michigan Community College building at 5805 E. Pickard Rd.

#### **Review Comments**

The following review comments are based on the applicable Ordinance requirements, the required information for a final site plan (see Section 14.2.P.), and the standards for final site plan approval found in Section 14.2.S. of the new Zoning Ordinance.

- 1. **Section 14.2.P. Site Plan Information Requirements.** The final site plan (ten sheets, including the light fixture specification attachment) fully conforms to minimum requirements of Section 14.2.P. (Required Site Plan Information).
- 2. **Section 3.15. Setbacks.** The proposed building location conforms to the minimum required setbacks of the B-7 District.
- 3. **Section 8.1.B.6. Environmental Performance Standards.** No hazardous materials will be stored on-site.

- 4. **Section 9.1 Parking and access management.** The site is currently served by one (1) existing driveway approach in front of 5805 E. Pickard Rd., which is planned to be used by the applicant's customers and employees to access the new facility. The proposed Biggby Coffee facility will remove 30 spaces from the east parking lot. However, none of this existing parking is required to satisfy the minimum parking requirements that apply to the existing (currently vacant) office building on the adjacent parcel at 5805 E. Pickard Rd. The proposed parking and access details conform to Section 9 (Parking, Loading, and Access Management) requirements.
- 5. **Section 7.10 Sidewalks and Pathways.** The proposed barrier-free sidewalk connection from the public sidewalk along E. Pickard Rd. into the site minimizes impacts on existing street trees, is convenient to the barrier-free access for the facility's walk-up window, and is consistent with the requirements of the Sidewalk and Pathway Ordinance No. 2009-03. The applicant has provided staff which a redacted copy of their lease, which demonstrates that they do not have lease rights over the additional vacant land east of the parking lot, so the requirement for new sidewalk associated with this development project is limited to the new connection to the E. Pickard Rd. sidewalk.
- 6. **Section 8.2. Exterior Lighting.** The proposed exterior lighting fixtures on the building and associated photometric plan details fully conform to Section 8.2 (Exterior Lighting) requirements. No changes are proposed to the existing parking lot pole lighting.
- 7. **Section 10. Landscaping and Screening.** Landscape plan details have been added to sheet C101, which include both the existing mature trees and proposed additional shrub plantings along the E. Pickard Rd. frontage, which are consistent with the scope and extent of the proposed development and the requirements of Section 10.2.B. (Landscaping Adjacent to Roads) and Section 10.6 (Treatment of Existing Plant Material). The new landscaping along E. Pickard Rd. will provide some low-level buffering of the parking lot without inhibiting visibility of the new facility.
- 8. **Outside Agency Permits and Approvals.** Staff has received responses from the Fire Department, Public Services Department, and county Transportation Commission. No permits or approvals are required from the county Road Commission, MDOT, or stormwater management since no changes are planned that impact existing facilities or stormwater runoff.

#### **Objective**

The Planning Commission shall study the site plan and take action when ready to either approve or disapprove the proposed site plan. If the site plan is disapproved, the reasons for disapproval shall be stated. Per Section 14.2.J., approval of a final site plan by the Planning Commission "allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met."

#### **Key Findings**

1. The final site plan fully conforms to Section 14.2.P. (Required Site Plan Information).

- 2. The new facility will be located within an existing parking lot and will use an existing driveway from M-20 for vehicular access.
- 3. The site plan fully conforms to Section 14.2.S. (Standards for Site Plan Approval).

#### **Recommendations**

Based on the above findings, I would ask that the Planning Commission consider taking action to approve the PSPR 21-02 final site plan with a revision date of January 6, 2021 for a new Biggby Coffee modular building, drive-through lane, and outdoor seating area in the east parking lot of the former Mid Michigan Community College building at 5805 E. Pickard Rd. (PID 14-012-04-007-07) as presented.

Please contact me at (989) 772-4600 ext. 232, or via email at <a href="mailto:RNanney@uniontownshipmi.com">RNanney@uniontownshipmi.com</a>, with any questions about this information.

Respectfully submitted,

Rodney C. Nanney, AICP

Community and Economic Development Director

## **Charter Township of Union**

#### **APPLICATION FOR SITE PLAN REVIEW**

A Completed Applic	Minor Site Plan	Preliminary Si	L	<u> </u>	ite Plan	lan Review)
A completed Applic	ation will contain an th					iali keviewj.
Name of Proposed De			liggby Coffee BCub			
Common Description	of Property & Addre	ess (if issued)Pa	arking Lot off E Pic	kard Road	adjacent	to 5805
Applicant's Name(s)		Landon Palm	er, Reals-Palmer, I	LLC		
· · ·	51	7-214-7420		Inalme	er@biggby	v com
Phone/Fax numbers			Email			
Address	PO E	3ox 237	City:_	Go	wen	Zip: MI
Legal Description:	Attached 🗸 I	ncluded on Site Plan	Tax Parcel ID No	umber(s):	14-01:	2-04-007-07
Existing Zoning: B-	<sup>7</sup> Land Acreage:	>1 acre Existing U	lse(s):	Pa	rking	
ATTACHED: Letter	describing the project	and how it conforms to	Section 14.2.S. (Stan	dards for S	ite Plan Ar	proval)
	<b>5</b> • • • • • • • • • • • • • • • • • • •		· · · · · · · · · · · · · · · · · · ·			,
Firm(s) or	1. Name:	BCubed Manufacturing	Phone: 517	-896-9729 <sub>F</sub>	mail tonia@	⊉bcubedmanufacturing.com
Individuals(s) who	2. Address:		666 McKinley A			
prepared site plan(s)		Alpena		State:	MI	Zip:_49707
		Tor	nia Olson		Phone	517-896-9729
						<del></del>
Legal Owner(s) of	1. Name: Tim Ho	ood, Mid Michigan Coll	ege	Pho	ne:	
Property.		Summerton				
All persons having	City: Mt Pleasant		;	State:	MI	Zip: <u>48858</u>
legal interest in the					. n.	owner
property must sign	1 -			•	•	
this application. Attach a separate				Phoi	ne:	<del></del>
sheet if more space	City:			State:	MI	Zin:
is needed.	City.					er/lessee/other
	Signature:		Intere	est in Prop		
true and accurate to tall the owners of the pany permits issued pur	he best of my knowle property. False or ina suant to site plan ap	signatures, descriptions edge and that I am auth ccurate information pla proval and/or removal o s of the Zoning Ordinan	orized to file this a ced upon this plan of work installed. A	application may be cau pproval of	and act ouse for rev this plan s	on behalf of vocation of shall not
Landon Palmer						
Sig	nature of Applicant				Date	
		Office Use Onl	у			
Annitarian Bossio LB						
Application Received B	y:		Fe	ee Paid: \$_		<u>,,</u>
Date Received:			Escrow Deno	sit Paid· ¢		

Revised: 9/14/2020

Signature: Landon Palmer (Jan 29, 2021 10:32 EST)

Email: lpalmer@biggby.com

## Site Plan Application

Final Audit Report 2021-01-29

Created:

2021-01-29

By:

Tonia Olson (tonia@olson-solutions.com)

Status:

Signed

Transaction ID:

CBJCHBCAABAA3aRdwXBnvyRj54ZUym37PU886zc9pVU

## "Site Plan Application" History

- Document created by Tonia Olson (tonia@olson-solutions.com) 2021-01-29 2:11:32 PM GMT- IP address: 69.137.4.218
- Document emailed to Landon Palmer (Ipalmer@biggby.com) for signature 2021-01-29 2:12:17 PM GMT
- Email viewed by Landon Palmer (lpalmer@biggby.com)
  2021-01-29 2:14:48 PM GMT- IP address: 66.227.203.120
- Ocument e-signed by Landon Palmer (Ipalmer@biggby.com)

  Signature Date: 2021-01-29 3:32:52 PM GMT Time Source: server- IP address: 174.230.6.181
- Agreement completed. 2021-01-29 - 3:32:52 PM GMT



CO

**S101** 

2960 Lucerne Drive SE Grand Rapids, MI 49546 P: 616.977.1000 F: 616.977.1005



666 McKinley Ave. Alpena, MI 49707 (877) 422-8233





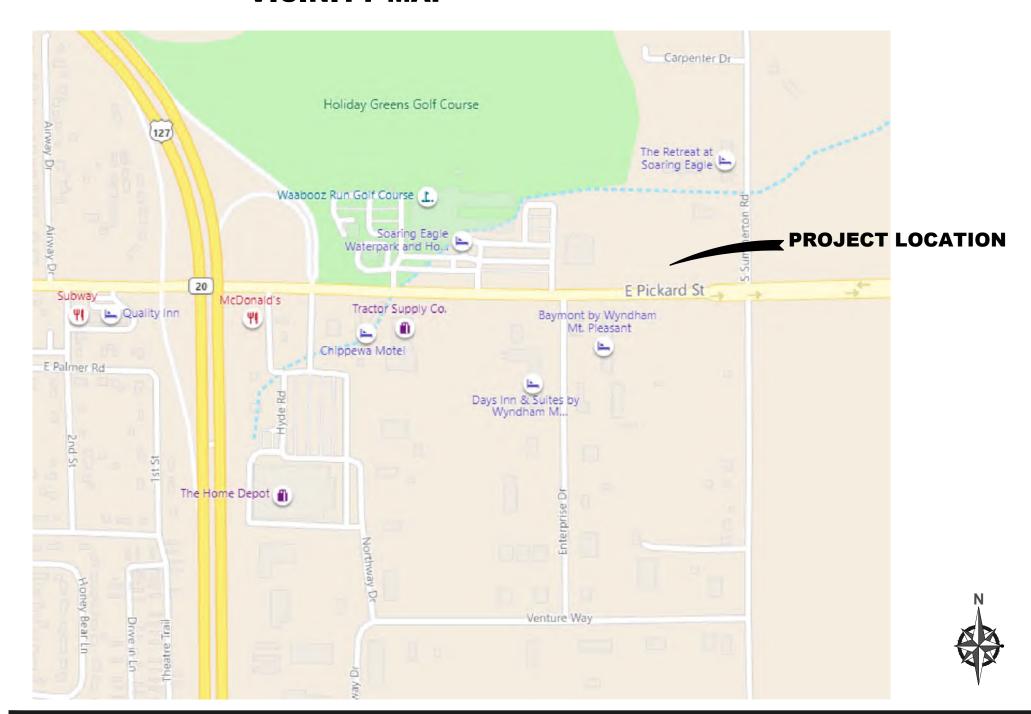
F&V PROJECT NO.

COLPETZER ENGINEER No. 45511

CO

**ISABELLA COUNTY** 

## **VICINITY MAP**



## **LOCATION MAP**



## **BUILDING RENDERING**

# **SITE PLAN NARRATIVE:**

Installation of a BIGGBY® COFFEE BCubed drive-thru building as shown for walk-up and drive-thru only on a leased portion of an existing parking lot. Building is installed on and anchored to eleven concrete pier foundations. Anticipated number of employees is 7, with a typically 2 employees working at one time.

E. Pickard Road

Mt Pleasant, MI

## **PROJECT DETAILS**

Mid-Michigan Community College 5805 E. Pickard Road Mount Pleasant, MI 48858

Developer Reals-Palmer, LLC Landon Palmer PO Box 237 Gowen, MI 49326 517-214-7420 lpalmer@biggby.com Designer

Kevin Stevens BCUBED Manufacturing LLC 666 McKinley Ave. Alpena, MI 49707

## **Property Information**

Address: E PICKARD ROAD , adj to 5805 Charter Township of Union, Isabella County MI, 48858

Parcel #: 14-012-04-007-07

## **LEGAL DESCRIPTION**

T14N R4W, SEC 12; COM SE COR OF SEC 12 TH N 0D25M40S W 98.63 FT TO ROW LN M-20; TH S 88D13M20S W 315.57 FT ALG ROW; TH ALG CRV TO RT CHRD BRG & DIST S 88D31M50S W 184.35 FT TO POB; TH ALG CRV TO RT CHRD BRG & DIST S 89D40M29S W 499.81 FT; TH N 0D25M40S W 469.57 FT TO N BANK HANCE DRN; TH N 87D39M38S E 477.48 FT; TH N 89D0M49S E 22.59 FT ALG N BANK; TH S 0D25M40S E 486.61 FT TO POB 4.34 ACRES ±

### Lease Area: 10,493 SF

## Fire & Building Code:

Constructruction Type: Occupancy Type: Occupant Load: Number of Stories:

## **Zoning Information**

**District:** B-7 Setbacks Front: 15' Side: 5' Rear: 5' Max Bldg. Height: 35' **Building Coverage** 

#### Building: 349 SF Gross 260 SF

**Parking Summary** Parking spaces required (1space per 250 sf UFA + 1 space per employee) = 260 SF / 250 SF + 2 employee spaces = 4 spaces

Parking spaces provided: 123 spaces Number of existing spaces removed: 30 spaces \* Actual parking usage will typically be 2 employees Drive Thru Stacking Provided: 8 Spaces

## **COVER SHEET**

BIGGBY® COFFEE BCubed Drive-thru

SITE PLAN	C101
SITE PLAN OVERALL	C102
UTILITY PLAN	C103
SITE GRADING PLAN	C104
DETAILS	C105
ARCHITECTURAL REFERENCE	G001
<b>BUILDING WATER/SEWER CONNECTION</b>	G002

STRUCTURAL DETAIL REFERENCE

**INDEX OF DRAWINGS** 

**DESCRIPTION SHEET NO.** 

ad ■

BCubed Drive-thru E. Pickard Road Mt. Pleasant, M

BIGGBY® COFFEE

011921 michaeld

**NOVEMBER, 2020** 

Know what's **below. Call** before you dig.

**PLANTING NOTES** 

BM #1A EL. 755.68'

BM #1B EL. 755.08'

"SQUARE" CUT ON S SIDE CONC LP BASE, N SIDE PARKING LOT

(NAVD88 GEOID18 VIA VRS, OPUS & GPS OBSV)

(NAVD88 GEOID18 VIA VRS, OPUS & GPS OBSV)

MAG SPIKE N FACE PP NW QUAD SUMMERTON & M-20

1. ALL TREES SHALL RECEIVE A 5' DIAMETER RING OF EVENLY SPREAD HARDWOOD BARK MULCH 3" THICK.

2. ALL SHRUB GROUPINGS SHALL BE PLACED IN CONTINUOUS SPADE-CUT BEDS WITH

NOTES

1) CONCRETE CURB & GUTTER - SEE DETAIL SHEET C105

(4.) CONCRETE BUILDING CURB - SEE DETAIL SHEET C105

2) CONCRETE SIDEWALK - SEE DETAIL SHEET C105

3) 4" WIDE PAINTED LINE PER MUTCD (YELLOW)

(6) PAINTED DIRECTIONAL ARROWS PER MUTCD

(5.) BOLLARD - SEE DETAIL SHEET C105

EVENLY SPREAD HARDWOOD BARK MULCH 3" THICK. 3. CONTRACTOR SHALL NOTIFY 811 TO LOCATE ANY UNDERGROUND UTILITY LINES OR STRUCTURES PRIOR TO STARTING CONSTRUCTION.

4. ALL PLANT MATERIAL SHALL COMPLY WITH ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.

> MERTON ROAD EMPORARY EW SIDEWALK GHTS TO THE

2960 Lucerne Drive SE Grand Rapids, MI 49546

P: 616.977.1000 F: 616.977.1005

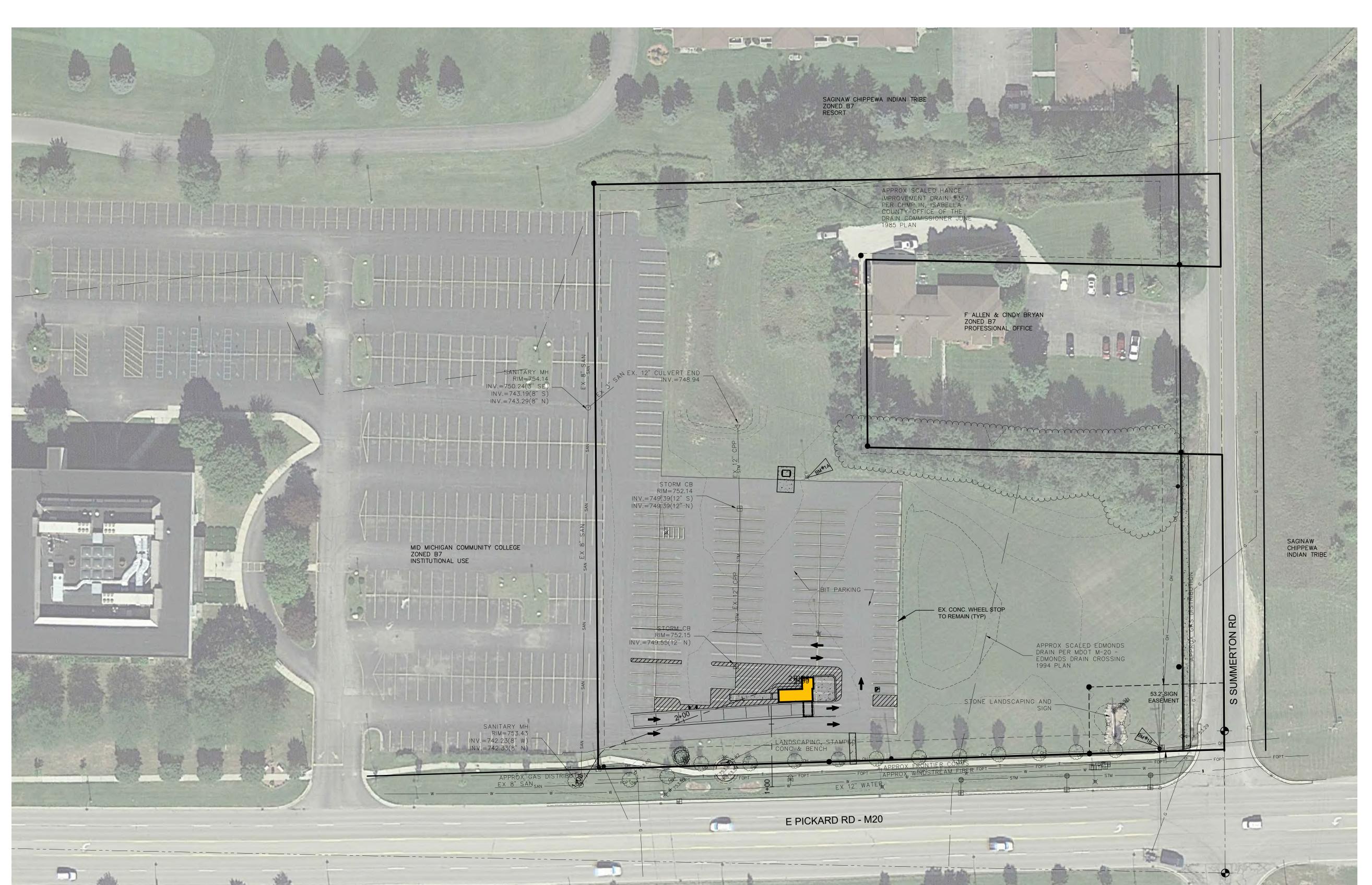
666 McKinley Ave. Alpena, MI 49707 (877) 422-8233

oad MI AN SITE PL/

BIGGBY® COFFEE BCubed Drive-th E. Pickard R. Mt. Pleasant,

DRAWING INFORMATION: 845850 C101 011921 michaelc

Landscape Plant List  Q'ty Key Botanical Name Common Name Size  24 JH Juniperus horizontalis Bar Harbor Juniper 24" min.  8 EA Euonymus alatus 'Odom' Little Moses Burning Bush 24" min.  2 CC Cercis Canadensis Redbud 8-10' multi	WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.  5. LAWN SEED SHALL BE PLACED OVER 4" TOPSOIL IN ALL PROPOSED LAWN AND RESTORATION AREAS AND MULCHED. SEED MIX SHALL BE HARDY AND OBTAINED FROM LOCAL SOURCES.  6. ALL PLANTINGS AND LANDSCAPE IMPROVEMENTS SHALL BE CONSISTENT WITH THE STANDARDS OF THE CHARTER TOWNSHIP OF UNION ZONING ORDINANCE  7. PLANTING SHALL BE DONE MAY THOUGH JUNE OR SEPTEMBER THROUGH OCTOBER.  8. SEE SHEET C105 FOR PLANTING DETAILS	<ul> <li>(a) PAINTED DIRECTIONAL ARROWS PER MOTED</li> <li>(b) DRIVE-THRU MENU BOARD WITH BOLLARDS</li> <li>(c) BYPASS LANE</li> <li>(d) SEAL COAT AREA TO REMOVE EXISTING STRIPING</li> <li>(d) PAINTED CROSSHATCH STRIPING</li> <li>(d) PAINTED CROSSHATCH STRIPING</li> <li>(d) TRASH ENCLOSURE - SEE DETAIL SHEET C105</li> <li>(e) BARRIER FREE PARKING SPACE AND SIGNAGE - SEE DETAIL SHEET C105</li> <li>(f) CURB RAMP - SEE DETAIL SHT C105</li> </ul>	NOTE:  NEW PULIC SIDEWALK ALONG THE LENGTH OF S SUMMERTO FRONTAGE IS SHOWN ON THE FINAL SITE PLAN, BUT TEMPORELIEF IS GRANTED FROM CONSTRUCTION OF THIS NEW SI BECAUSE APPLICANT DOES NOT HAVE LEASEHOLD RIGHTS ENTIRE PARCEL.
0.25'40'	EXISTING LIGHT POLE  5'  15'  15'  15'  15'  15'  15'  15'	(4) LEASE AREA  S88°50'40"E 283.00'	HO HO TO THE TOTAL PART OF THE
EXISTING LIGHT POLE			1' 5' \\ 1' 5' \\ 1' 7' 7' \\ 1' 7' 7' 7' 7' 7' 7' 7' 7' 7' 7' 7' 7' 7'
39.9' 24' 39.5' 24.7'  39.9' 24' 39.5' 24.7'	EXISTING LIGHT POLE  24.7'  19.6'	APPROX SCALED EDMONDS DRAIN PER MDOT M-20 - EDMONDS DRAIN CROSSING 1994 PLAN	APBROX GAS DISTRIBUTION  APBROX GAS DISTRIBUTION  (IRD
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RIBUTION  RIBUTION  FORT  FORT	APPROX FRONTIER COMMS FOPT FOPT FOPT APPROX WINDSTREAM FIBER W  EX 12" WATER  EPICKARD RD - M20	\$88°13'20"W 315.57'  FOPT FOPT FOPT W W W W W W W W W W W W W W W W W W W	FOPT FOPT



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666 McKinley Ave. Alpena, MI 49707

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BIGGBY® COFFEE BCubed Drive-thru

E. Pickard Road

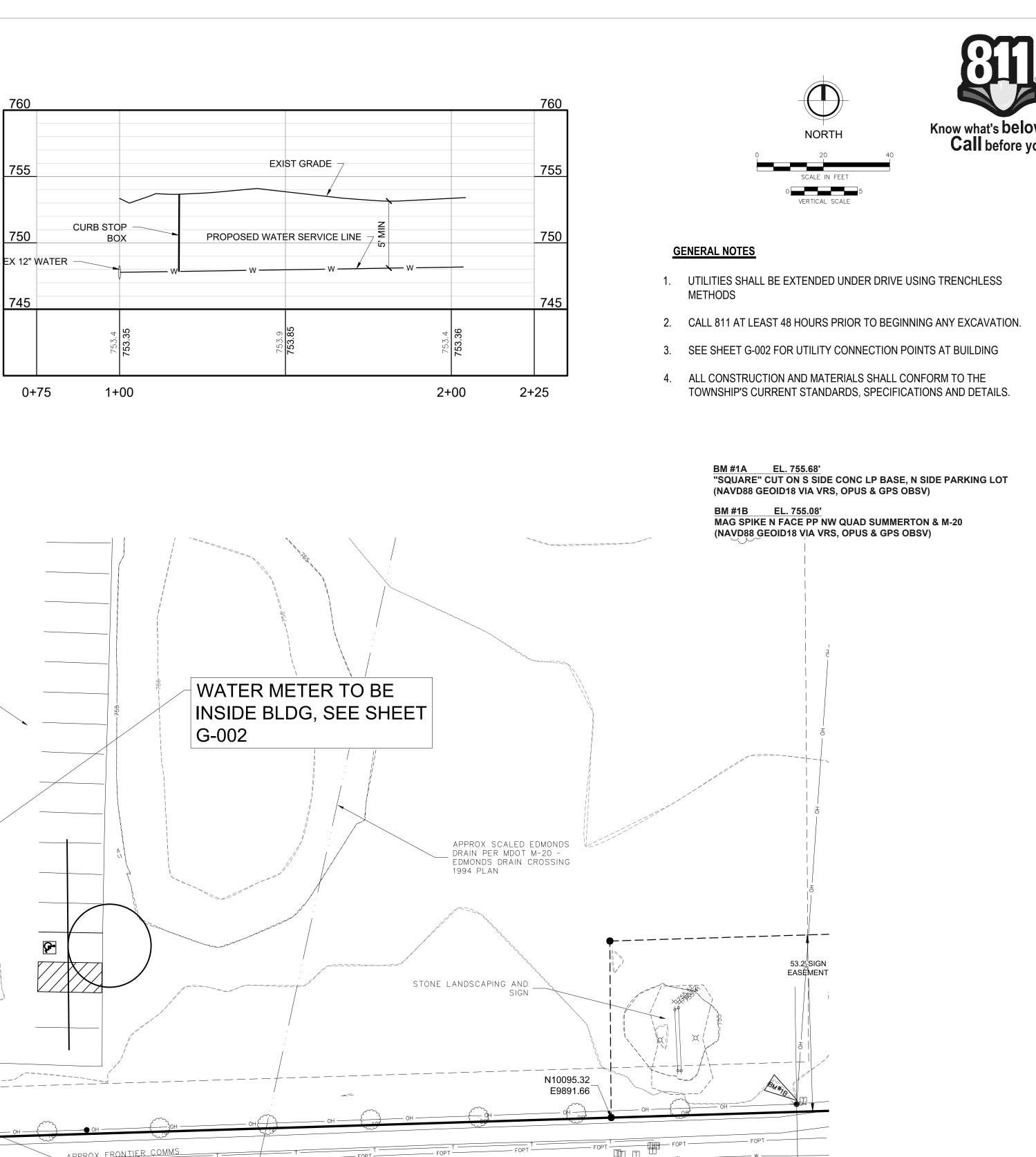
Mt. Pleasant, MI

SITE PLAN - OVERALL

DESIGN PROJ MNGR: SC DESIGNED BY: MC DRAWN BY: RCL

DRAWING INFORMATION: 845850 C102 011921 michaelc

C102



87 LF OF 1" WATER LINE

OR APPROVED EQUAL

OR APPROVED EQUAL

CORP STOP AND SADDLE

EX SAN MH RIM 753.43

INV 742.23

1+00

198 LF OF 2" FORCE MAIN

HDPE DR11, CLASS 3408

SANITARY MH RIM=753.43 INV.=742.23(8" W) INV.=742.33(8" N)

APPROX GAS DISTRIBUTION

BLUESTRIPE PIPE

CORE DRILL EXISTING MH

GROUT

AND SEAL WITH NON-SHRINK

0+75

--- CAUTION

EX. GAS MAIN

EXIST GRADE

2+00

INV.=749.55(12" N)

N10136.45\_ E9644.25

PROPOSED 2" FORCE MAIN

3+00

<u>t parking —</u>

N10137.25 E9670.25

N10088.84\_ E9683.88

E PICKARD RD - M20



200 PSI (SDR9) AQUA JET TUBING INSTALL CURB STOP AND CAST IRON CURB BOX AND LID STAMPED "WATER" 17 LF OF 1" TYPE K COPPER WATER LINE TAP EXISTING 12" WATER SERVICE WITH



oad MI AN

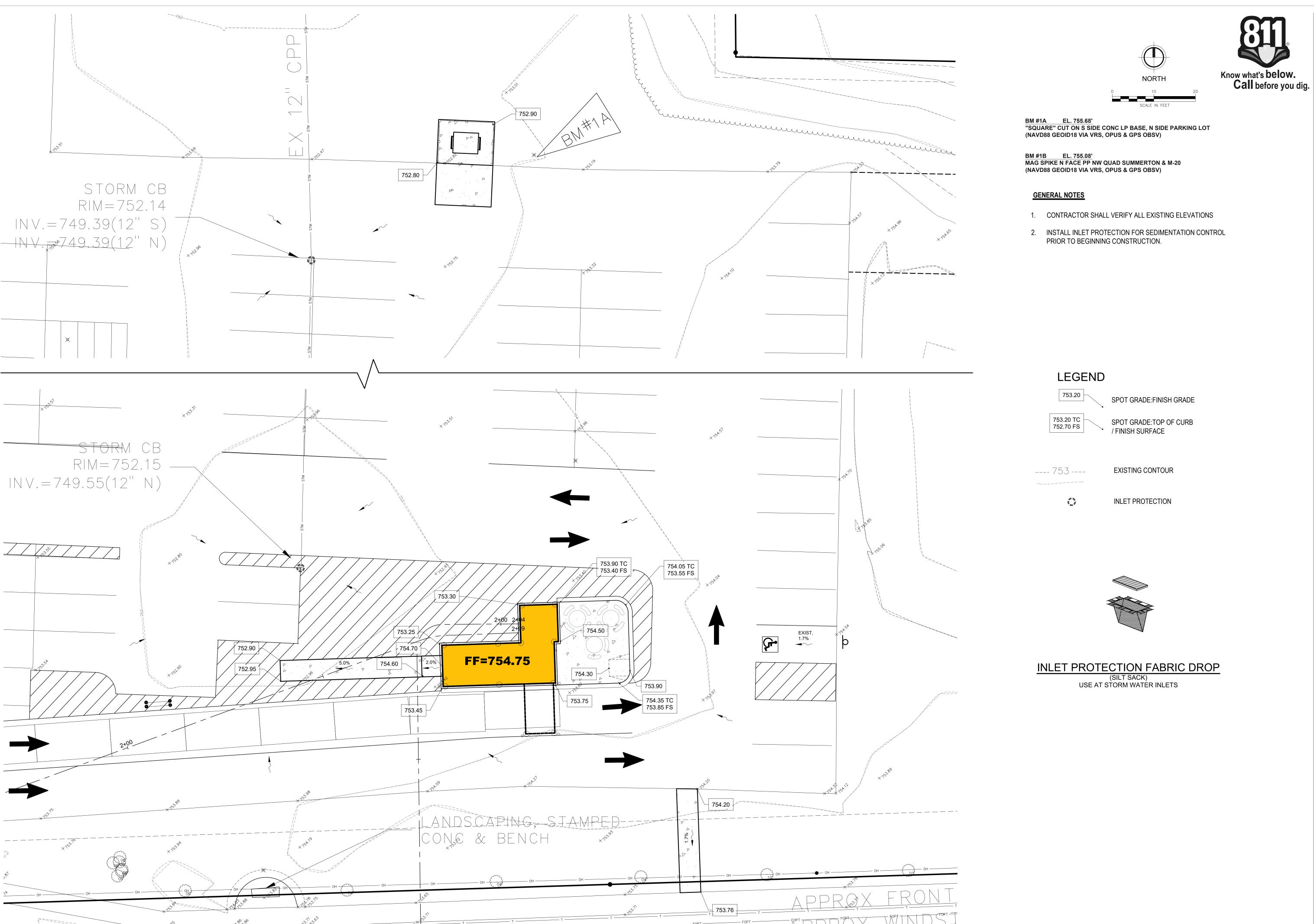
2960 Lucerne Drive SE Grand Rapids, MI 49546 P: 616.977.1000 F: 616.977.1005

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**BIGGBY®** 

845850 C103



-LEIS&VANDENBRIIN ESIGN. BUILD. OPERATE.

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ed Drive-thru
E. Pickard Road
Pleasant, MI
ADING PLAN

Mt. Pi

SIGGBY® COFFE

ESIGN PROJ MNGR: S EAM: DESIGNED BY: N DRAWN BY: R CHECK E

DRAWING INFORMATION: 845850 C104 010621 michaelc

NOT FOR TON

F&V PROJECT NO 845850

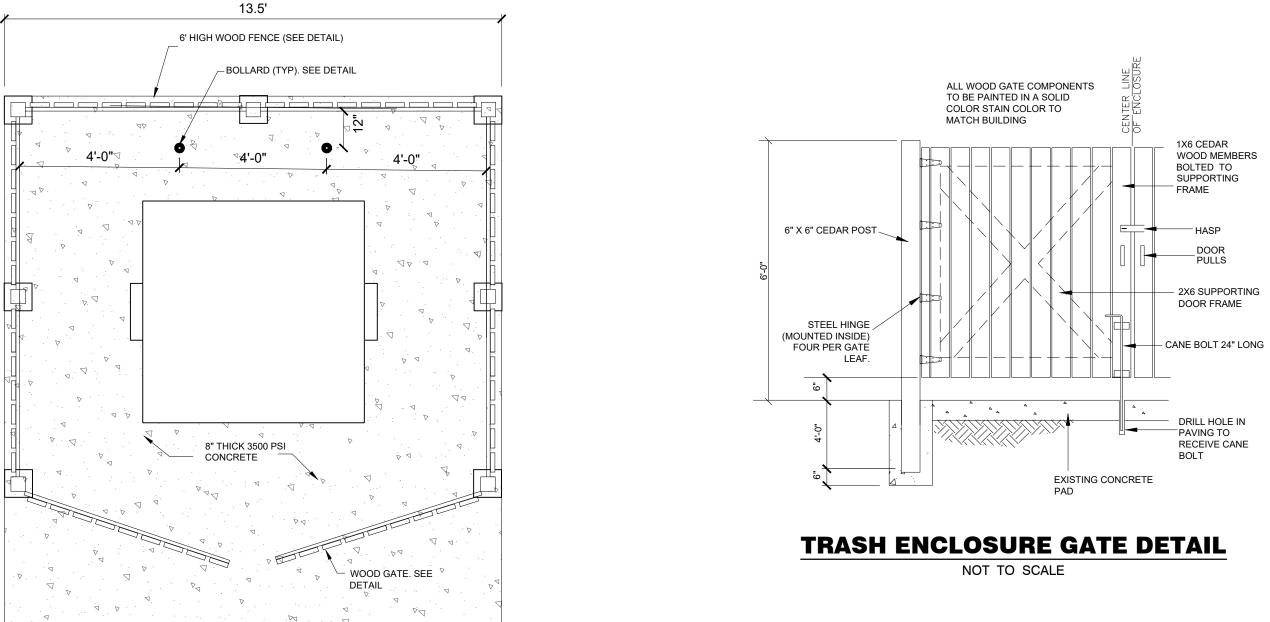
C104

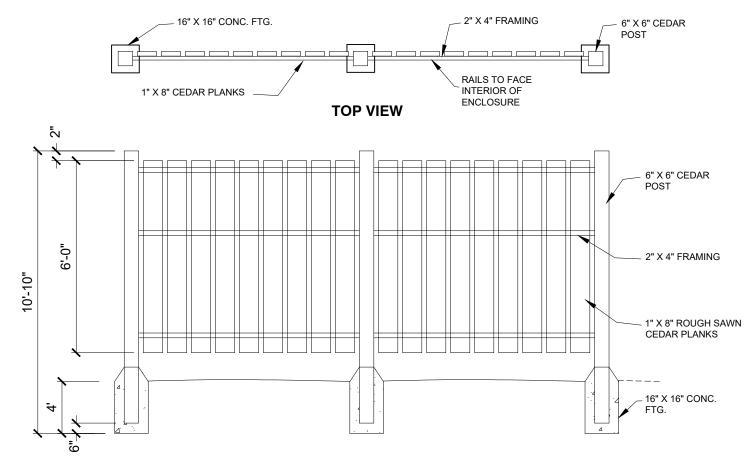
(877) 422-8233

oad MI

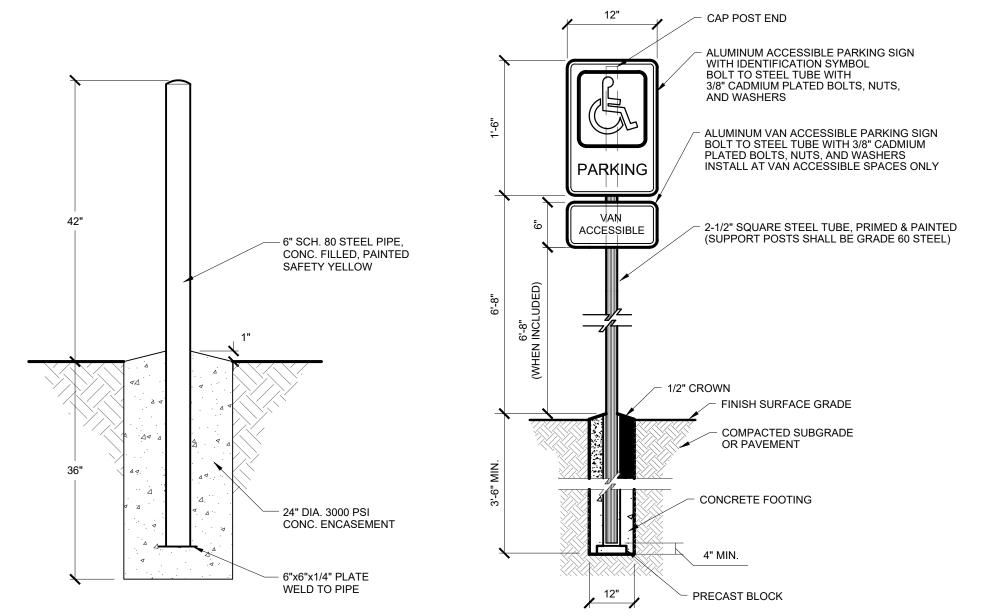
Cubed E. Mt. Plo m

COFFEE **BIGGBY®** 





## **WOOD FENCE TRASH ENCLOSURE DETAIL** NOT TO SCALE

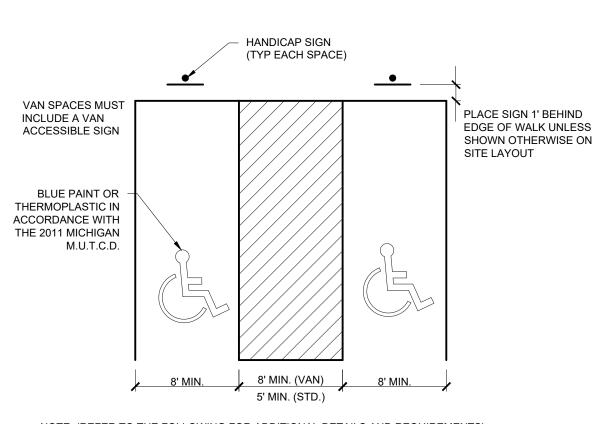


BARRIER FREE PARKING SIGN DETAIL

TRASH ENCLOSURE DETAIL

PIPE BOLLARD DETAIL

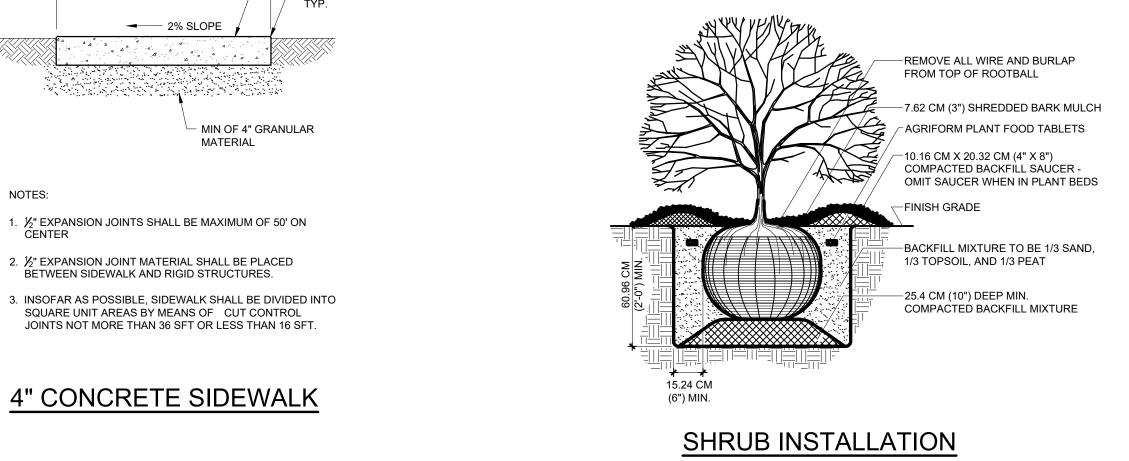
NOT TO SCALE

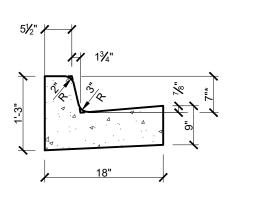


NOTE: (REFER TO THE FOLLOWING FOR ADDITIONAL DETAILS AND REQUIREMENTS)

- 1. ADA-ABA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES AS AMENDED AUGUST 5, 2005.
- 2. ICC/ANSI A 117.1-1998 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.
- 3. UNLESS SPECIFIED OTHERWISE BY LOCAL REGULATIONS, MARKINGS SHALL BE BLUE IN COLOR AND PLACED USING PAINTS OR THERMOPLASTICS IN ACCORDANCE WITH THE 2011 MICHIGAN M.U.T.C.D.

BARRIER FREE PARKING





**CURB RAMP DETAIL** 

WALK WIDTH AS

NOTES:

SPECIFIED ON DRAWINGS /

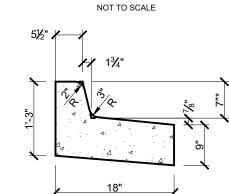
— 4" CONCRETE GRADE 35P, 4-8% AIR ENTRAINED.

INTEGRAL WALK/CURB

(LIGHT BROOM FINISH)

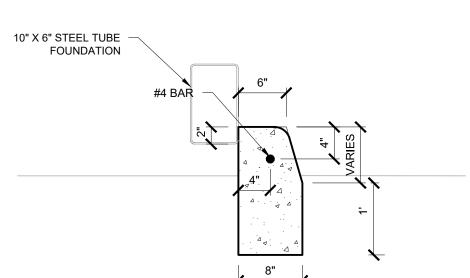
1/4" RADIUS



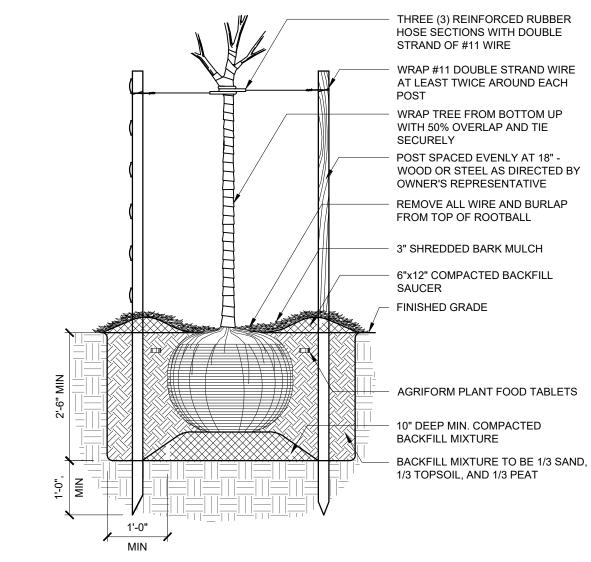


## TYPE C2 CURB MODIFIED REVERSE PAN GUTTER DETAIL NOT TO SCALE

\* HEIGHT VARIES



**BUILDING CURB DETAIL** 

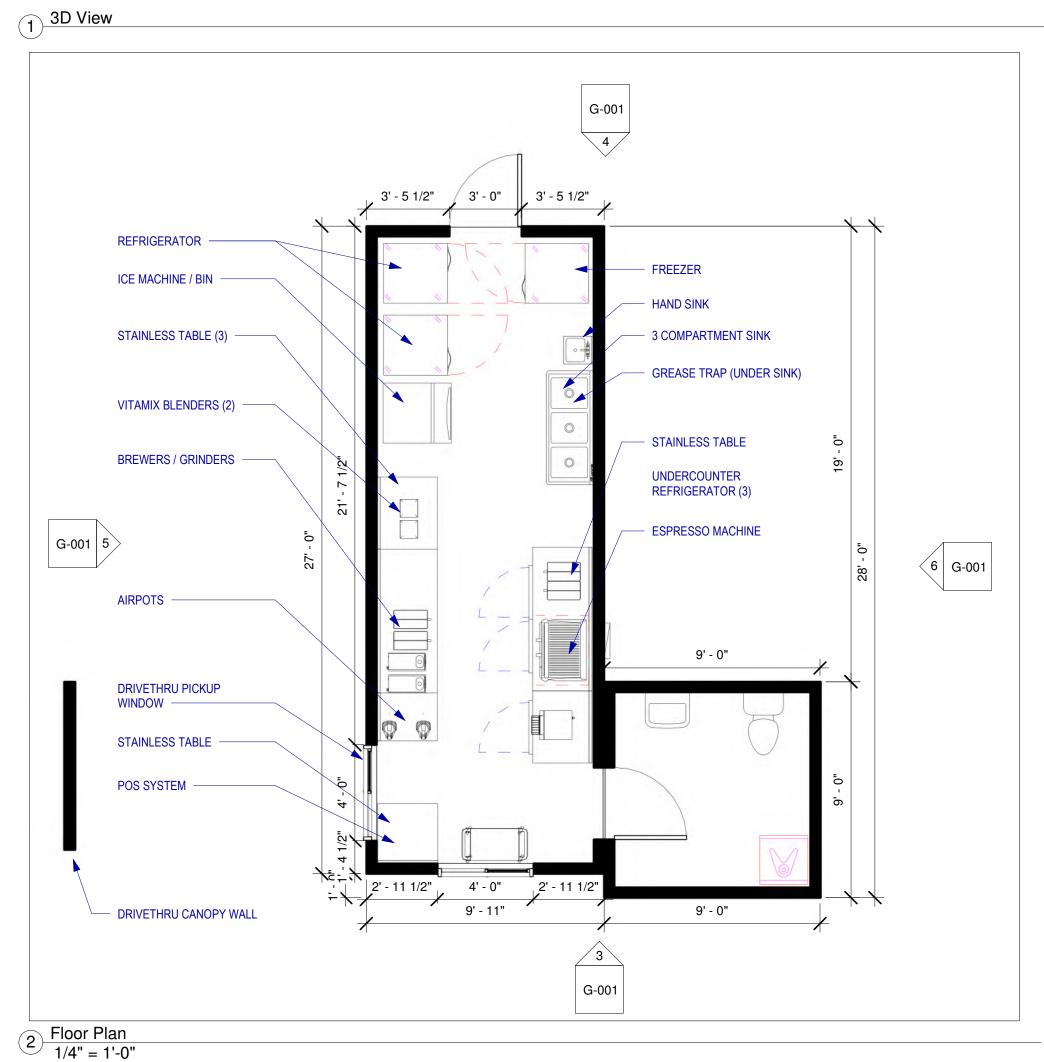


TREE PLANTING DETAIL NOT TO SCALE

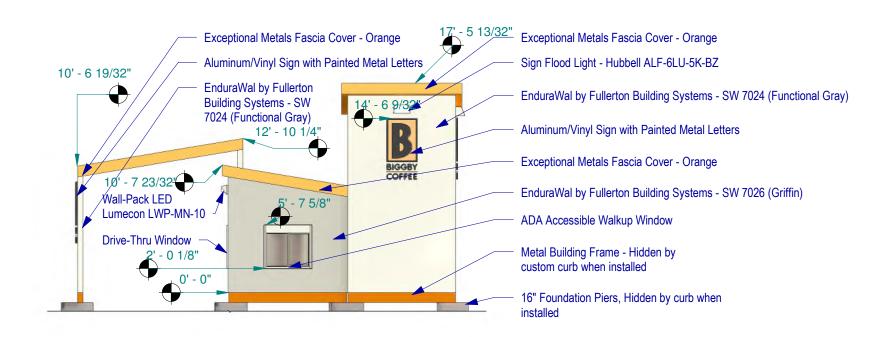
> DRAWING INFORMATION: 845850 C105 010621 michaelc

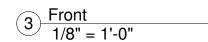
# BIGGBY BCUBED ARCHITECTUAL OVERVIEW MODEL SMSD

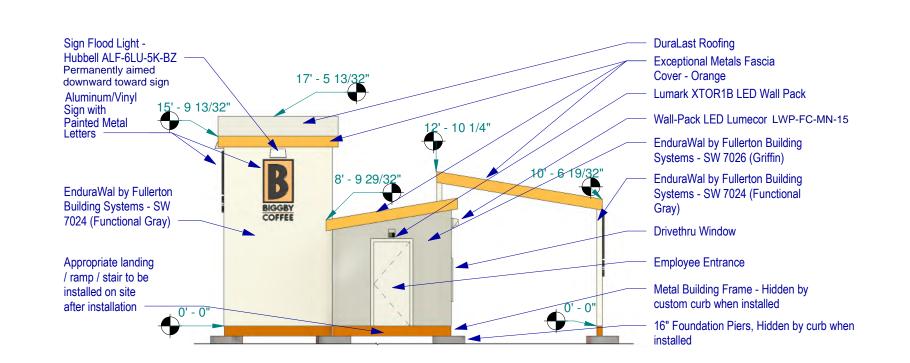


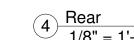


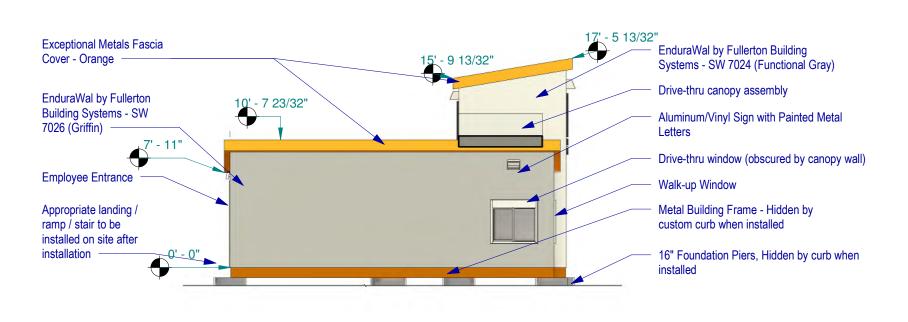
## **BUILDING ELEVATIONS**

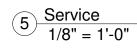


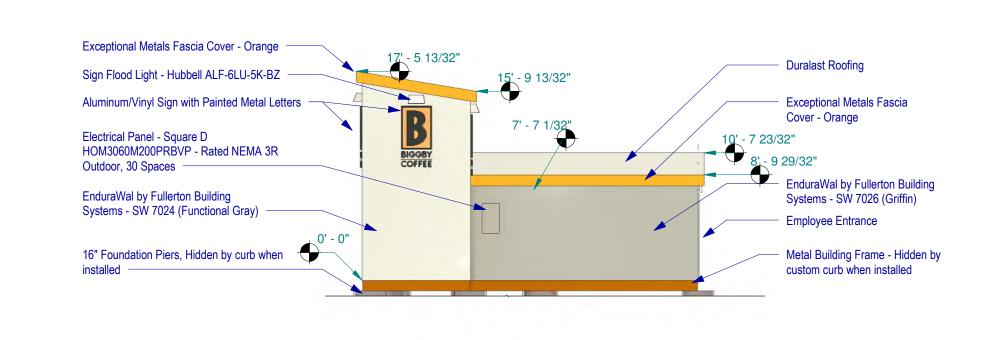
















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NOTES

This sheet is intended to give a general overview of the design and configuration of the building and provide commonly requested details. To review full structural, mechanical, plumbing and electrical details please see state approved plans and permits.

No.	Description	Date
1	Initial	10/22/2020

BIGGBY SMSD

## ARCHITECTUAL OVERVIEW

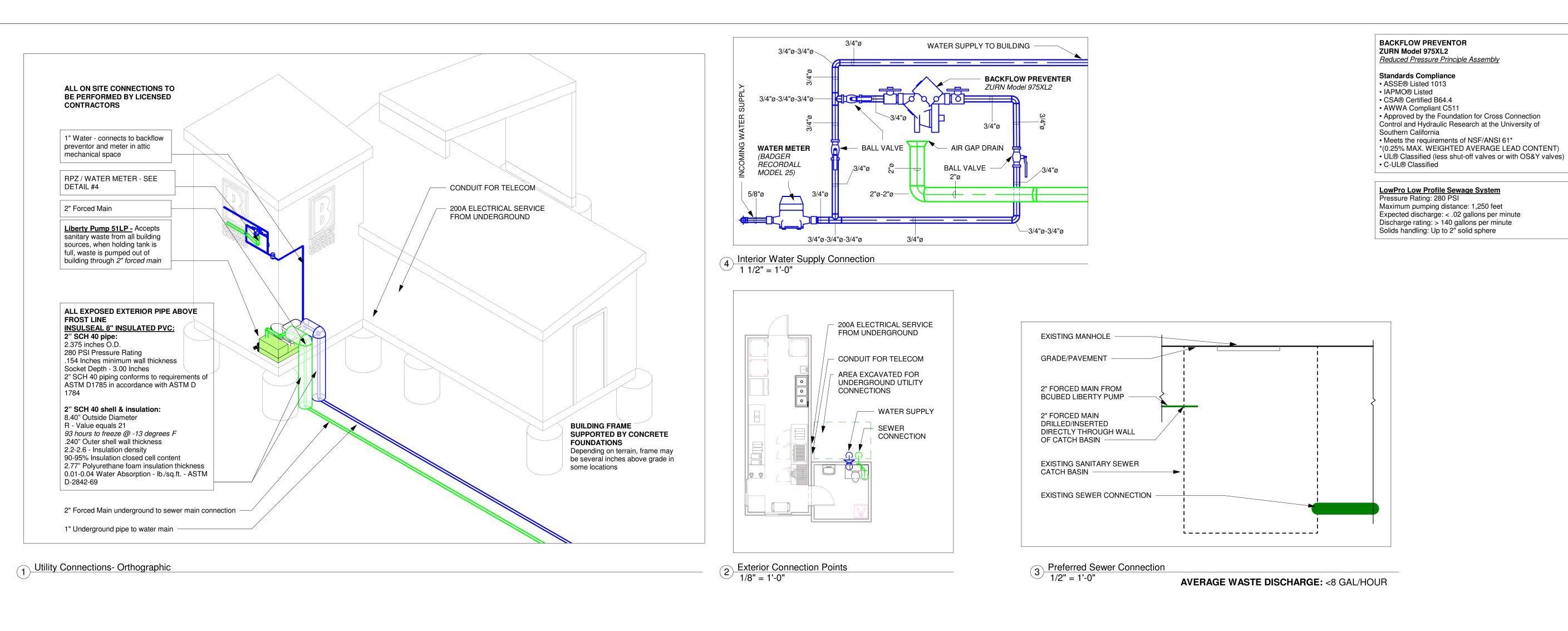
Date	Issue Date
Drawn by	Author
Checked by	Checker

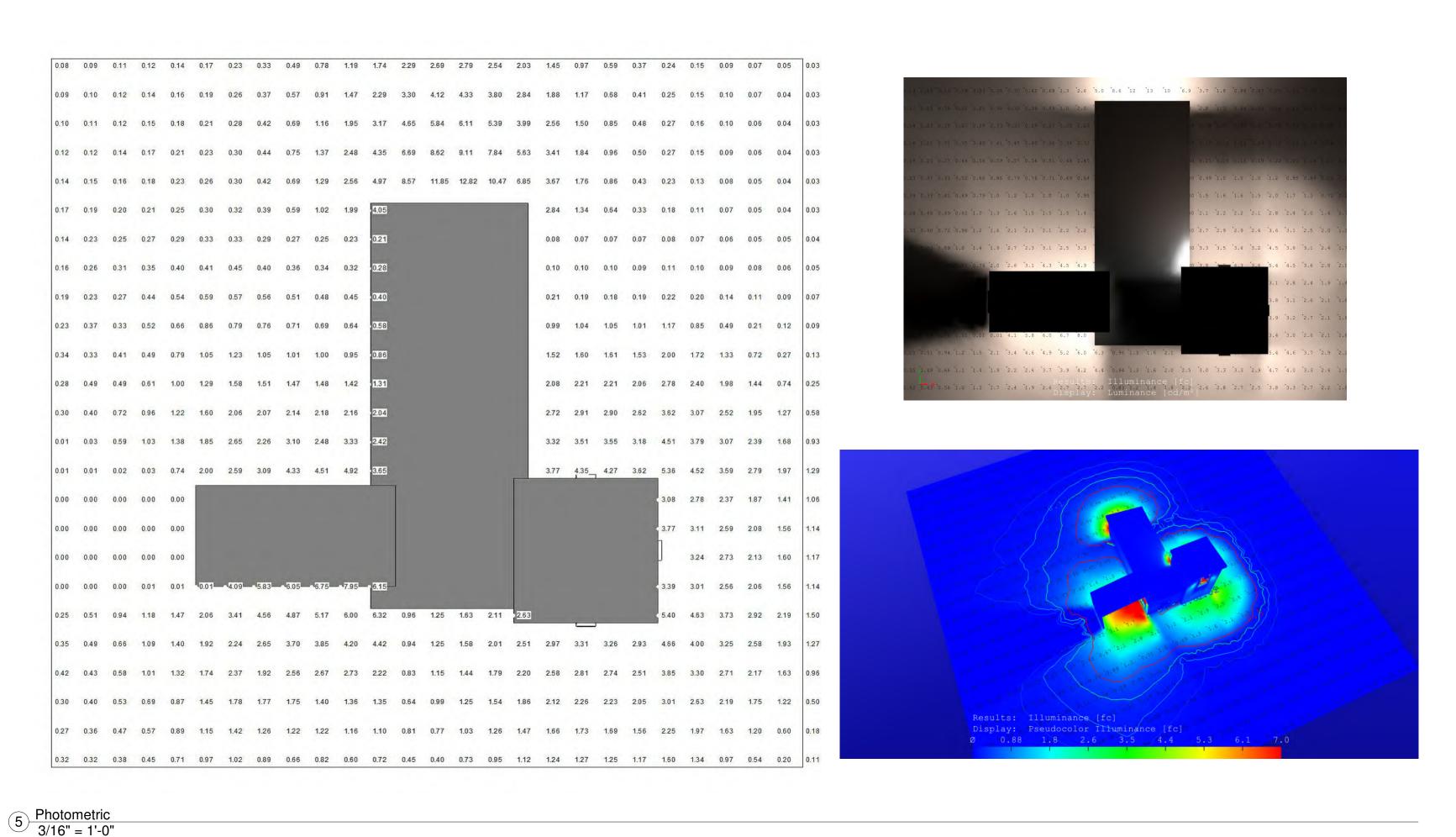
G-001

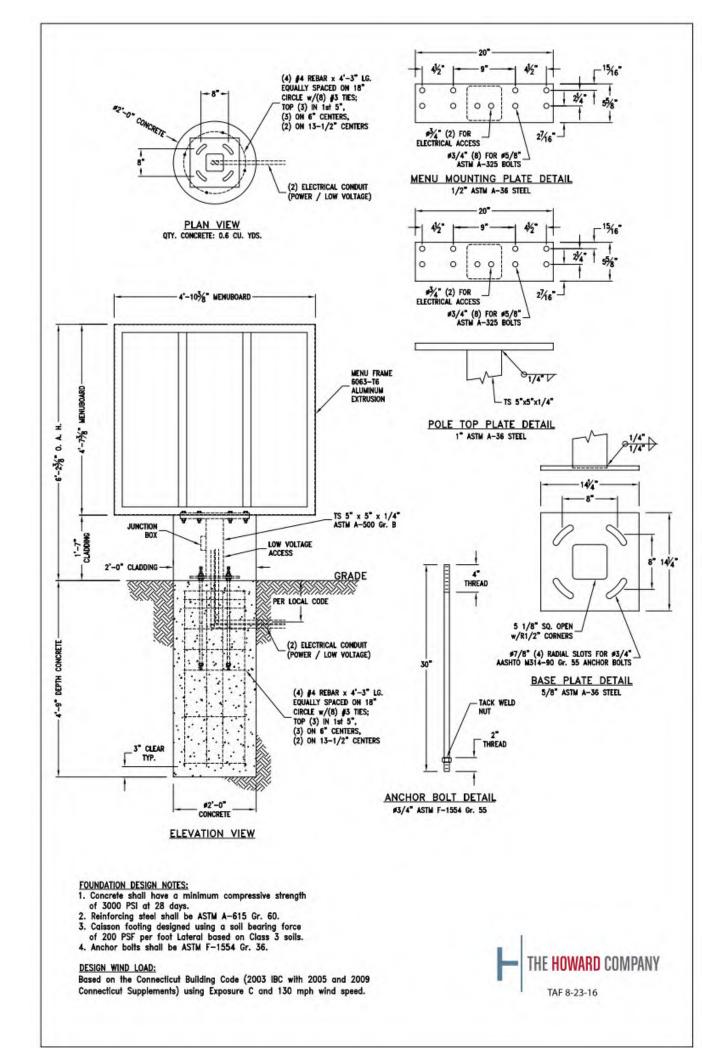
As indicated

Scale

3 10/22/2020 2:52:57 PM







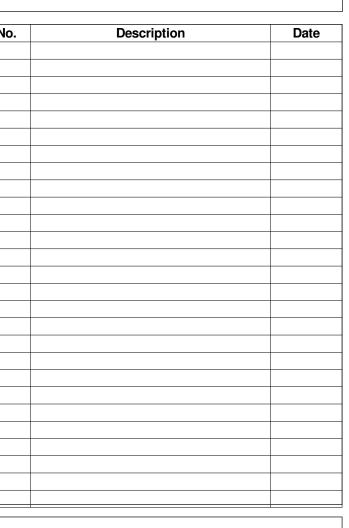
DRIVE-THRU SIGN - INSTALLED ON SITE - DRAWING SCALED TO FIT ON PAGE - DO NOT SCALE



666 McKinley Ave. Alpena, MI 49707 (877) 422-8233

NOTES

This sheet is intended to give a general overview of the design and configuration of the building and provide commonly requested details. To review full structural, mechanical, plumbing and electrical details please see state approved plans and permits.



**BIGGBY SMSD** 

**Utility Connections** 

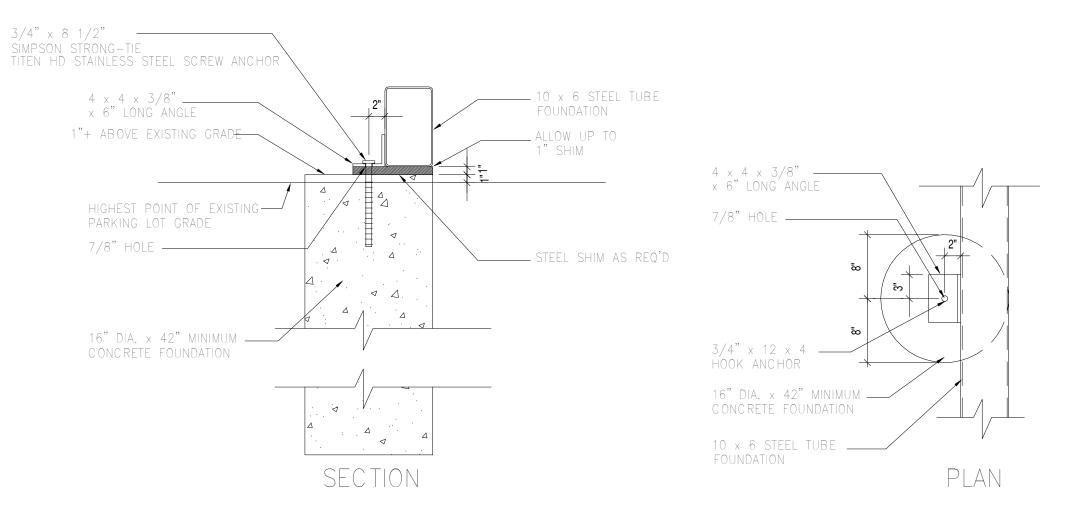
Issue Date Author Drawn by Checker Checked by

G-002

Scale

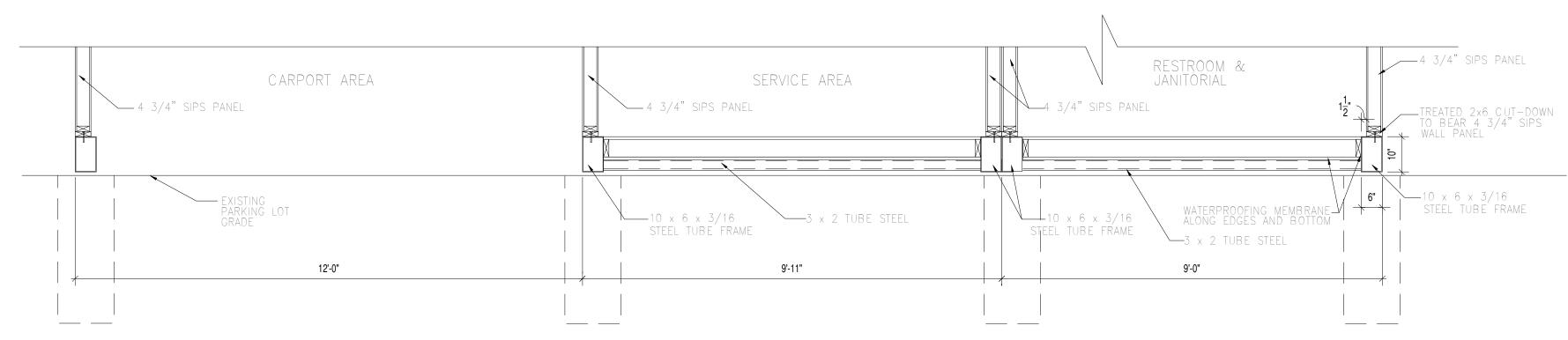
As indicated

#### CONCRETE FOOTING INSTALLED AT HIGHEST POINT ON GRADE SHALL BE 1" ABOVE GRADE. ALL OTHER FOOTINGS TO BE LEVEL.



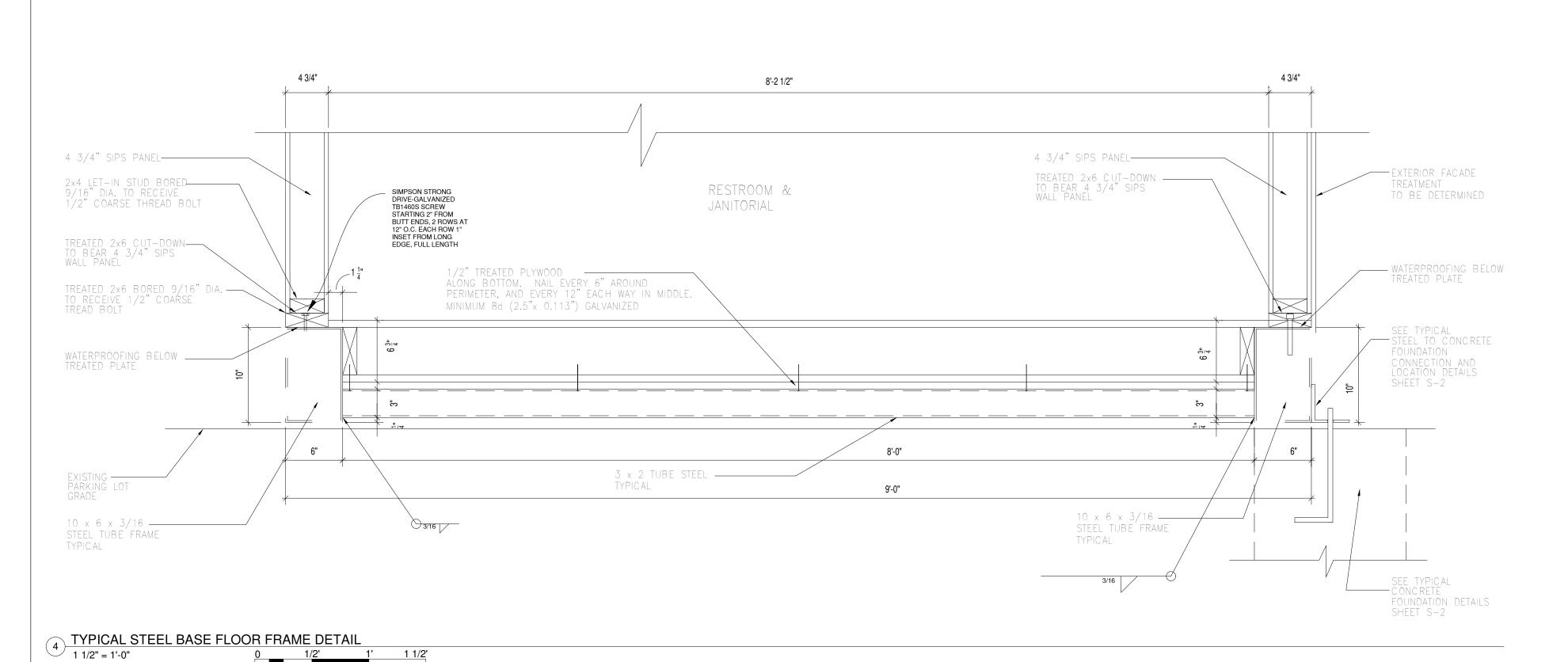
CONCRETE BASE FLOOR FRAME

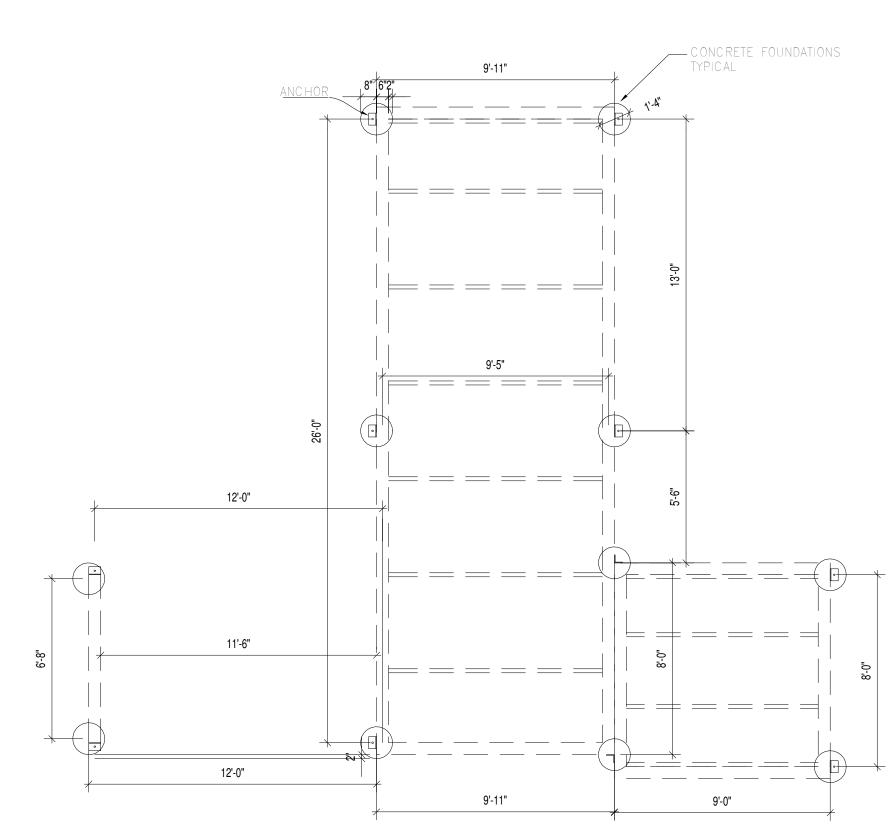
2 CONNECTION DETAIL
1" = 1'-0"



SECTION SHOWING STEEL BASE FLOOR

3 FRAME 1/2" = 1'-0"





1 CONCRETE FOUNDATION PLAN 1/4" = 1'-0"

MANUFACTURING 666 McKinley Ave. Alpena, MI 49707

SITE ADDRESS Enter address here

(877) 422-8233

CLIENT

**BCUBED** 

**ENGINEER** 

No.	Description	Date
	•	

Structural Details

Project Number Project number Issue Date Author Drawn by Checker Checked by

S101

Scale

As indicated

From: Rick Collins

To: <u>tonia@olson-solutions.com</u>

Cc: Peter Gallinat; Rodney Nanney; lpalmer@biggby.com

Subject: RE: BCubed for Biggby Coffee Development Site Plan Review

**Date:** Tuesday, January 12, 2021 3:47:29 PM

Attachments: <u>image001.jpg</u>

Thanks for reaching out. I have no issues with the plans.



#### **Rick Collins | Executive Director**

2100 E. Transportation Dr | Mt. Pleasant, MI 48858 Phone 989.773.6766 | Fax 989.773.1873

rcollins@ictcbus.com

Visit our website at ictcbus.com

From: Tonia Olson < tonia@olson-solutions.com>

**Sent:** Thursday, January 7, 2021 12:51 PM **To:** Info from ICTC < info@ictcbus.com>

Cc: Rodney Nanney <<u>RNanney@uniontownshipmi.com</u>>; Landon Palmer <<u>lpalmer@biggby.com</u>>

Subject: BCubed for Biggby Coffee Development Site Plan Review

I am working with local Biggby Coffee franchise owners The Palmer Family to bring a BCubed for Biggby Coffee to Union Township. This is a new concept that has been well received as a use for lots with excess parking and lots traditionally too small for other developments.

We have been working with Rodney C. Nanney on requirements for site plan approval. He advised that transportation commission review and approval is required for this project. We have completed preliminary site plan review with the planning commission. Attached is the site plan with changes requested by the planning commission.

I would appreciate your review and direction on what you need to provide approval. If you have any questions please contact me.

Thank you in advance for your attention to this request.

#### Tonia M. Olson

Founder & CEO Olson Solutions 517-896-9729 www.olson-solutions.com

## MT. PLEASANT FIRE DEPARTMENT

#### **INSPECTION REPORT**

#### BLDG BCUBED DRIVE THRU-BIGBY COFFEE, 5805 E PICKARD RD, MT. PLEASANT MI 48858



#### **DETAILS**

Inspection Date: 01/18/2021 | Inspection Type: PLAN REVIEW UNION TOWNSHIP - Site | Inspection Number: 1940 | Shift: Lieutenant | Station: Mt. Pleasant Fire Department | Unit: N/A | Lead Inspector: RANDY KEELER | Other Inspectors: N/A

STATUS	CODE	DESCRIPTION
FAIL	1 PROPERTY - Identification	No Code Description  Inspector: RANDY KEELER - Comments: Proposed Drive-thru Coffee Site Location on property address: 5805 E Pickard Rd. East Side of Parking Lot
FAIL	ACCESS ROAD 150 FT - Buildings within 150ft of Access Road	All portions of a building are required to be within 150 feet of an approved Fire Department access road, in accordance with Chapter 5, Section 503.1.1 of the 2012 Edition of the International Fire Code.  Inspector: RANDY KEELER - Comments: Site Plan meets the above requirements
FAIL	BUILDING IDENTIFICATION - Buildings Shall Have Address Numbers	Provide address identification numbers in accordance with Chapter 5, Sections 505.1 of the 2012 Edition of the International Fire Code or applicable to the City of Mt. Pleasant code of ordinances 150.01 Land Usage.  Inspector: RANDY KEELER - Comments: Will verify at final inspection
FAIL	HYDRANT DISTANCE - Hydrant maximum distance from buildings	Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exceptions: 1. For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet (183 m). 2. For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet (183 m).  Inspector: RANDY KEELER - Comments: Two existing public hydrants meet the above requirements.

STATUS	CODE	DESCRIPTION	
FAIL	WATER SUPPLY (GPM) - Capable of Supplying the Required Fire Flow	Provide fire hydrants capable of supplying the required fire flow in accordance with Chapter 5, Section 507 of the 2012 Edition of the International Fire Code. The number and spacing of fire hydrants is based on the construction type and square footage of the building in accordance with Appendix B and C and tables B105.1 and C105.1 of the 2012 Edition of the International Fire Code. (Contact Fire Department to verify locations.)  Inspector: RANDY KEELER - Comments: Approximately 350sq. ft. one hydrant required. Site plan meets the requirements above.	
GENERAL	NOTES		
RANDY KE	ELER - 01/18/2021 @ 09:39	Recommending site plan approval	
NEXT INS	PECTION DATE		
No Inspection Scheduled			
CONTACT	SIGNATURE		
Tonia Olso	on	Contact Refused Refusal Reason: N/A	
INSPECTOR SIGNATURE			
RANDY KE Signed on	ELER : 01/18/2021 @ 09:40		

#### **QUESTIONS ABOUT YOUR INSPECTION?**

RANDY KEELER rkeeler@mt-pleasant.org 9897795122 From: <u>Tim Warner</u>
To: <u>Peter Gallinat</u>

Cc: Rodney Nanney; tonia@alpenamarcllc.com

**Subject:** RE: Storm Water Review

**Date:** Wednesday, January 20, 2021 4:02:28 PM

Peter;

Ok, sounds good.

Thank you.

#### Timothy A. Warner

Project Manager Isabella County Drain Office Rm 140, 200 N. Main Street Mt. Pleasant, MI 48858 Ph# (989) 772-0911, ext. 222 Fax# (989) 779-8785

From: Peter Gallinat <pgallinat@uniontownshipmi.com>

**Sent:** Wednesday, January 20, 2021 2:03 PM **To:** Tim Warner < twarner@isabellacounty.org>

Cc: Rodney Nanney <RNanney@uniontownshipmi.com>; tonia@alpenamarcllc.com

Subject: Storm Water Review

Tim,

The Township will not need a storm water review for the Biggby drive-thru project at Mid-Michigan College on Pickard road.

The project creates no change to the existing water runoff in the existing parking lot.

Peter Gallinat
Zoning Administrator
Charter Twp of Union
2010 S. Lincoln Rd.
Mt Pleasant, MI 48858
989-772-4600 x 241
pgallinat@uniontownshipmi.com



Department of Public Services 5228 South Isabella Road Mt. Pleasant, MI 48858

Phone (989) 772 4600 ext. 224 Fax (989) 773 1988 E Mail ksmith@uniontownshipmi.com

February 4, 2021

Ms. Tonia Olson Director of Project Siting BCubed Manufacturing LLC 666 McKinley Ave Alpena MI, 49707

RE: Biggby Coffee BCubed Drive-thru East Pickard Road

Union Township received the water and sewer plans and profiles for the Biggby Coffee BCubed Drive-thru located on E Pickard Road in Union Township.

The plans detail the installation of a one-inch water service and two-inch force main to service the facility. All water and sewer lines and appurtenances must be designed and constructed in accordance with the Charter Township of Union Design Specifications and Ordinances, Ten State Standards, and all State and Federal Standards and Regulations.

Our comments on the plans submitted were as follows:

Water:

Sheet G-002 – Detail 4 – Remove 3/4" bypass around backflow preventer device

Sewer:

Approved as designed

If you have any questions please call 989-772-4600 ext. 224.

Sincerely,

Kim Smith

Public Service Director

Frin Smith

# <u>Draft Motions</u>: PSPR 20-17 Biggby Coffee Final Site Plan Review Application

MOTION TO APPROVE:
Motion by, supported by, to approve the PSPR 21-02 final site plan from Reals-Palmer LLC for the construction of a new Biggby Coffee modular building, drive-through lane, and outdoor seating area on parcel number 14-012-04-007-07 located on the north side of E. Pickard Rd. between S. Summerton Rd. and the former Mid Michigan Community College building at 5805 E. Pickard Rd.in the southeast quarter of Section 12 and in the B-7 (Retail and Service Highway Business) zoning district, finding that the site plan with a revision date of January 6, 2021 fully complies with the applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval).
MOTION TO APPROVE WITH CONDITIONS:
Motion by, supported by, to <u>approve</u> the PSPR 21-02 final site plan from Reals-Palmer LLC for the construction of a new Biggby Coffee modular building, drive-through lane, and outdoor seating area on parcel number 14-012-04-007-07 located on the north side of E. Pickard Rd. between S. Summerton Rd. and the former Mid Michigan Community College building at 5805 E. Pickard Rd.in the southeast quarter of Section 12 and in the B-7 (Retail and Service Highway Business) zoning district, finding that the site plan with a revision date of January 6, 2021 can comply with applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), <u>subject to the following condition(s)</u> :
MOTION TO POSTPONE ACTION:
Motion by
MOTION TO DENY:
Motion by