



**Planning Commission
Regular Meeting
January 16, 2024
7:00 p.m.**

1. CALL MEETING TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES
- December 19, 2023, Regular Meeting
6. CORRESPONDENCE / BOARD REPORTS / PRESENTATIONS
 - A. Thering updates from Board of Trustees
 - B. Buckley updates from ZBA
 - C. Community and Economic Development Monthly Report
 - D. Other Reports
7. PUBLIC COMMENT: Restricted to (3) minutes regarding items not on this agenda
8. NEW BUSINESS
 - A. PRES23-03 Preliminary Site Plan Application for Valvoline Instant Oil Change Shop on the south side of E. Bluegrass Rd. west of Encore Blvd.**
 - a. Introduction by staff
 - b. Updates from the applicant
 - c. Commission review of the site plan
 - d. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)
 - B. PSUP23-01 Special Use Permit Application from Brent Curtiss for a Short-Term Rental at 5339 E. Broadway Rd**
 - a. Introduction by staff
 - b. Presentation by the applicant
 - c. Commission questions
 - d. Commission deliberation and action to set a public hearing date

9. OTHER BUSINESS

A. **Continuation of a Process to Update the Master Plan and Parks & Recreation Plan**

- a. Updates from staff
- b. Discussion by the Commissioners

10. EXTENDED PUBLIC COMMENT: Restricted to (5) minutes regarding any issue

11. FINAL BOARD COMMENT

12. ADJOURNMENT

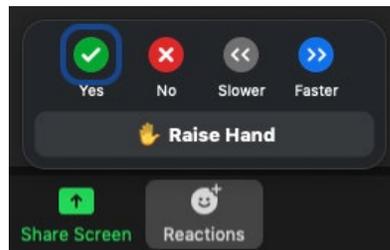
Hybrid Meeting Instructions for the Charter Township of Union Planning Commission

The public can view all Union Township meetings live by clicking on our [YouTube Channel](#). For those who would like to participate, you can do so via Zoom.

[Click here](#) to participate in the Zoom Meeting via computer or smart phone. (Meeting ID Enter “839 8031 3172” Password enter “240465”). Access to the electronic meeting will open at 6:50 p.m. and meeting will begin at 7:00 p.m.

Telephone conference call, dial (312-626-6799). Enter “839 8031 3172” and the “#” sign at the “Meeting ID” prompt, and then enter “240465” at the “Password” prompt. Lastly, re-enter the “#” sign again at the “Participant ID” prompt to join the meeting.

- All public comments for items on the agenda will be taken at the Public Comment and any issue not on the agenda will be taken at the Extended Public Comment section of the Agenda.
- Computer/tablet/smartphone audience: To indicate you wish to make a public comment, please use the “Reactions” icon. **Next, click on the “Raise Hand” icon** near the bottom right corner of the screen.



- **To raise your hand for telephone dial-in participants, press *9.** You will be called on by the last three digits of your phone number for comments, at which time you will be unmuted by the meeting moderator.
- Please state your name and address for the minutes and keep public comments concise.

You will be called upon once all in-person comments have been made, at which time you will be unmuted by the meeting moderator.

Persons with disabilities needing assistance should call the Township office at (989) 772-4600. Persons requiring speech or hearing assistance can contact the Township through the Michigan Relay Center at 711. A minimum of one (1) business day of advance notice will be necessary for accommodation.



Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	James	Thering	11/20/2024
2-Chair	Phil	Squatrito	2/15/2026
3-Vice Chair	Ryan	Buckley	2/15/2025
4-Secretary	Doug	LaBelle II	2/15/2025
5 - Vice Secretary	Tera	Albrecht	2/15/2024
6	Stan	Shingles	2/15/2024
7	Paul	Gross	2/15/2025
8	Nivia	McDonald	2/15/2026
9	Jessica	Lapp	2/15/2026
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1-Chair	Liz	Presnell	12/31/2025
2 -Vice Chair	Richard	Barz	12/31/2025
3- PC Rep	Ryan	Buckley	2/15/2025
4 -	Lori	Rogers	12/31/2026
5 -	Eric	Loose	12/31/2024
Alt. #1	David	Coyne	12/31/2024
Alt #2	Brian	Clark	12/31/2026
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Doug	LaBelle II	12/31/2024
2	Sarvjit	Chowdhary	12/31/2024
3	Bryan	Neyer	12/31/2024
Alt #1	Randy	Golden	12/31/2024
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Colin	Herren	12/31/2023
2	Joseph	Schafer	12/31/2025
3	Andy	Theisen	12/31/2025
*Term begins 1/1/2024	William	Gallaher	12/31/2025
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2024
2	John	Dinse	12/31/2025
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2027
2	Lynn	Laskowsky	12/31/2025



Board Expiration Dates

EDA Board Members (9 Members) 4 year term			
#	F Name	L Name	Expiration Date
1-Chair	Thomas	Kequom	4/14/2027
2-VC/BOT Rep	Bryan	Mielke	11/20/2024
3	James	Zalud	4/14/2027
4	Richard	Barz	2/13/2025
5	Robert	Bacon	1/13/2027
6	Marty	Figg	6/22/2026
7	Sarvjit	Chowdhary	6/22/2027
8	Jeff	Sweet	2/13/2025
9	David	Coyne	3/26/2026
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	12/31/2025
2	vacant seat		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Robert	Sommerville	12/31/2025
Mt. Pleasant Airport Joint Operations and Mgmt Board (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1 - Union Township	Rodney	Nanney	12/31/2026
Mid Michigan Aquatic Recreational Authority (2 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1-City of Mt. Pleasant	John	Zang	12/31/2023
2-City of Mt. Pleasant	Judith	Wagley	12/31/2025
1-Union Township	Stan	Shingles	12/31/2026
2-Union Township	Allison	Chiodini	12/31/2025
1-Mt. Pleasant Schools	Lisa	Diaz	12/31/2024
1-Member at Large	Mark	Stansberry	2/14/2025
2- Member at Large	Michael	Huenemann	2/14/2025

CHARTER TOWNSHIP OF UNION
Planning Commission
Regular Meeting Minutes

A regular meeting of the Charter Township of Union Planning Commission was held on December 19, 2023, at 7:00 p.m. at the Union Township Hall.

Meeting was called to order at 7:00 p.m.

Roll Call

Present:

Albrecht, Gross, LaBelle, Lapp, McDonald, Shingles, Squattrito, and Thering

Excused: Buckley,

Others Present

Rodney Nanney, Community and Economic Development Director; Peter Gallinat, Zoning Administrator; Tera Green, Administrative Assistant

Approval of Agenda

Albrecht moved **Shingles** supported to approve the agenda as presented. **Vote: Ayes: 8. Nays: 0.**
Motion Carried

Approval of Minutes

Thering moved **Gross** supported to approve the regular meeting minutes from November 21, 2023, as presented. **Vote: Ayes: 8. Nays: 0. Motion carried.**

Correspondence / Reports/ Presentations

- A. Board of Trustees updates by Thering – Announced that the Board of Trustees approved the 2024 Budget, gave an update on board appointments and reminded the commissioners to prepare for the April Joint Meeting.
- B. ZBA updates by Buckley – No updates were given.
- C. Community and Economic Development Monthly Report
- D. Other Reports – N/A

Public Comment

Open 7:08 p.m.

No comments were offered.

Closed 7:08 p.m.

New Business

A. Acceptance of the Annual Report of the Zoning Board of Appeals for 2023

- a. Introduction by Staff
- b. Planning Commission discussion
- c. Planning Commission action (accept the report as presented or with direction or questions to the Board of Appeals, or postpone action)

Community & Economic Development Director, Rodney Nanney presented the ZBA's 2023 Annual Report covering meetings held from December 2022 through November 2023.

Discussion by the commissioners. Some typographical errors were addressed to be fixed before in final form.

McDonald moved **Gross** supported to adopt the annual report to the Planning Commission of ZBA meetings held from December 2022 through November 2023 along with any recommendations regarding proposed changes to the Zoning Ordinance, as required by the ZBA Rules of Procedure. **Roll Call Vote: Ayes: Albrecht, Gross, LaBelle, Lapp, McDonald, Shingles, Squatrito, and Thering. Nays: 0. Motion carried.**

B. Adoption of the Planning Commission’s 2023 Annual Report to the Board of Trustees

- a. Introduction by staff
- b. Planning Commission discussion
- c. Planning Commission action (adopt the report as presented or with changes, or postpone action)

Peter Gallinat, Zoning Administrator, gave an in-depth overview of the Planning Commission Annual Report for 2023.

Discussion by the commissioners. Some typographical errors were addressed to be fixed before the final form goes before the Board of Trustees.

Shingles moved **LaBelle** supported to adopt the annual report to the Board of Trustees as required by the Michigan Zoning Enabling Act and the Planning Commission Bylaws. **Roll Call Vote: Ayes: Albrecht, Gross, LaBelle, Lapp, McDonald, Shingles, Squatrito, and Thering. Nays: 0. Motion carried.**

C. Proposed Zoning Ordinance Amendments

Rodney Nanney, Community & Economic Development Director and Peter Gallinat, Zoning Administrator, introduced and discussed a summary list of proposed Zoning Ordinance Text Amendments.

Discussion by the commissioners.

D. Proposal to suspend meetings of and appointments to the Sidewalk and Pathways Prioritization Committee until called upon again by the Planning Commission, based on the extent of previously recommended sidewalk improvements that are anticipated to be developed by the Township in 2024 and 2025

- a. Introduction by staff
- b. Planning Commission questions and discussion
- c. Planning Commission action

Rodney Nanney, Community & Economic Development Director, gave an update on the Sidewalk & Pathways Prioritization Committee for the next two years. Nanney recommends suspending the committee until needed again.

Discussion by the commissioners. Thering suggested that regular updates of the sidewalk projects would be helpful to keep from forgetting about the committee. Shingles was concerned that if a situation was presented regarding the sidewalks, there wouldn't be committee members available to meet if it is suspended. LaBelle wanted clarification that we had enough sidewalk projects to carry us through 2024 and 2025.

Thering moved **Gross** supported to suspend meetings of and appointments to the Sidewalk and Pathways Prioritization Committee until called upon again by the Planning Commission, based on the extent of previously recommended sidewalk improvements that are anticipated to be developed by the Township in 2024 and 2025. **Roll Call Vote: Ayes: Albrecht, Gross, LaBelle, Lapp, McDonald, Shingles, Squattrito, and Thering. Nays: 0. Motion carried.**

Extended Public Comments

Open: 8:21 p.m.

No comments were offered.

Closed 8:21 p.m.

Final Board Comment

Chair Squattrito – asked for a preview of January’s agenda, asked for an update on the Master Plan and Parks and Rec Plan, inquired about a sidewalk on Broomfield Rd and wished everyone a happy and peaceful holiday.

Adjournment – Chair Squattrito adjourned the meeting at 8:28 p.m.

APPROVED BY:

(Recorded by Tera Green)

Doug LaBelle – Secretary
Tera Albrecht – Vice Secretary



Department Monthly Report

Department: Community and Economic Development

Month/Year: December 2023

Global Ends

- 1.1 Community well-being and the common good
- 1.2 Prosperity through economic diversity, cultural diversity, and social diversity
- 1.3 Safety
- 1.4 Health
- 1.5 Natural environment
- 1.6 Commerce

Prior Month Activities

Economic Development Activities (1.1, 1.2, 1.3, 1.6):

- The Community and Economic Development Director and Building Services Clerk completed and distributed a Request for Bid for Landscaping Improvements for the East DDA District. (1.1, 1.6)
- The Building Services Clerk coordinated installation of the East DDA holiday decorations. (1.1, 1.6)
- The Building Services Clerk supported the Community and Economic Development Director and EDA Board and served as contact person for East DDA District service contractors.
- The Community and Economic Development Director joined Jim McBryde, President of the Middle Michigan Development Corporation and Brenda Flory, Business Development Manager for the Michigan Economic Development Corporation (MEDC) for tours and meetings with multiple Township businesses during the month. (1.6)

Economic Development Authority (EDA) Board Activities (1.1, 1.2, 1.4, 1.5, 1.6):

- During their regular December 19, 2023 meeting the EDA Board discussed the holiday contract with Hometown Decorations, which expired at the end of 2023. The general consensus of the board is to invite the current company to provide a new 3-year proposal for consideration. (1.1, 1.6)

Building Services (1.1, 1.2, 1.3, 1.4, 1.6):

- The Building Official provided the following services during the month:
 - 19 Building Inspections (1.3)
 - 8 Permits issued (1.3)
 - 2 Certificate of Occupancy (1.3, 1.4, 1.5)
 - Follow up phone calls
- The Building Official met with multiple residents/contractors to answer potential project questions.
- The Building Services Clerk provided the following services during the month:
 - Served as a second Township Hall contact person for the public and helped process payments at counter and through mail.

- Assisted homeowners and contractors with building permit applications and coordinated with the Building Official, Zoning Administrator, Assessor, and Public Services Department as needed to facilitate timely reviews of permit applications.
- Administrative support for Rental Inspector
- Prepared monthly Census and HBA reports for building permits

Rental Inspection Services (1.1, 1.2, 1.3, 1.4):

- Site visits with inspections or re-inspections at residential complexes, hotels, various single-family units, and other regulated premises (approx. 131 units).
- Inspections on apartment complexes & hotels (fire alarm and sprinkle report reviews).
- Expired certificate scheduling.
- Fielding questions about the rental program in the Township from the community, potential/current landlords, and tenants.
- Informing various departments of items that may be of concern or of note that have been observed throughout the Township (tall grass, construction without permits, site plan verifications, etc.).
- Contacts with local inspectors, enforcement, and fire personnel.
- Working through tenant complaints, working with both parties to get relief.
- Sharing with contacts about our updated Rental Housing Information webpage, as well as sharing the need to contact the office for items that may need other department insight or approvals.

Zoning Administration Activities (1.1, 1.2, 1.3, 1.4, 1.5, 1.6):

- The Zoning Administrator provided the following services:
 - (2) Zoning review approval letters for building permit applications.
 - (2) sign permits for new freestanding signs at MFCU locations on E. Bluegrass Road and E. Broadway.
- The Community and Economic Development Director and Zoning Administrator met with representatives from Listening Ear about possible re-location of offices and other associated uses.
- The Community and Economic Development Director met remotely with representatives for the Valvoline Oil Change development project on E. Bluegrass Rd. to discuss options for resolving development-related challenges.
- The Community and Economic Development Director met remotely with representatives for the WalMart Addition and Site Improvements project to answer several site plan-related questions.
- The Zoning Administrator and Rental Inspector met with the owner of 5339 E. Broadway for a pre-application meeting about the short-term rental on the site.
- The Zoning Administrator conducted the final site inspection for Morey Courts at 5165 E. Remus Road. The contractor received notice of items to be addressed, and subsequently submitted a performance bond and timeline for when remaining corrections would be completed.
- The Zoning Administrator participated in a half-day professional development training in Lansing.

Ordinance Enforcement Activities (1.1, 1.3):

- 4373 E River Rd. - Following a scheduled rental inspection for the annual recertification, the Rental Inspector determined that the subject property was uninhabitable. A notice of violation and order for the rental dwelling to be vacated was sent to the owner and copied to the tenant. The dwelling was subsequently vacated. This matter is now closed.
- 5339 E. Broadway Rd. – Rental property without required rental housing certification and special use permit for a short-term rental as advertised. The owner has applied for the necessary special use permit and for the required rental certification.
- 1805 Belmont Dr. – Rental property without required rental housing certification and special use permit for a short-term rental as advertised. The owner has decided to cease the short-term rental

activity, has secured a long-term tenant, and is working with a contractor to complete necessary safety and ingress/egress improvements to be eligible for rental certification. This enforcement matter will be closed as soon as the owner submits the required rental certification application.

- 2514 S. Isabella Road. (Liquor Central) - Complaint about removal of required barrier free parking and signage. The owner responded to an initial notice of violation by reinstalling the signage but has not yet completed the space striping.
- Indian Hills Shopping Center - Owner and contractor were notified of a possible violation related to the approved minor site plan for sidewalk, pedestrian access, and parking lot improvements to the Indian Hills Shopping Center property. The owner stated that they will address the issues with management and follow up with the Zoning Administrator. In addition, the Township has received multiple complaints about lighting issues in the parking lot. The owner has been made aware of the complaints and that the parking lot needs to be consistently lit for safety.
- 386 Bluegrass Road. - Excessively tall grass and junk in the yard. The owner was notified of the violations and has mowed the grass. The owner is working with Township staff to complete the removal of junk from the premises.
- 5401 S. Lincoln Rd. – Pole barn accessory building constructed without permits and in violation of maximum allowable height and floor area limitations. The ZBA approved a variance for the height violation with a plan to correct the total floor area violation. A building permit has been issued and the owner’s contractor has stated that the work will be done before the building permit expires on 1/17/2024. The applicant and contractor have been notified that after civil infraction tickets will be issued if the work is not completed prior to permit expiration.
- Northeast corner of S. Lincoln Rd. and E. Broomfield Rd. – unlawful contractor’s storage yard and unlawful grading/fill activities without a grading permit. The owner claimed a “grandfathered” status as a legal nonconforming use. A meeting of the parties was held on 12/12/2023. This matter remains under review by the Township Attorney with additional follow up anticipated.

Planning Commission Activities (1.1, 1.2, 1.4, 1.5, 1.6):

- During their regular December 19, 2023 meeting the Planning Commission:
 - Reviewed and accepted the Annual Report from the Zoning Board of Appeals
 - Reviewed and approved the Planning Commission’s Annual Report to the Board of Trustees
 - Adopted a motion to suspend meetings of and appointments to the Sidewalk and Pathways Prioritization Committee until called upon again by the Planning Commission, based on the extent of previously recommended sidewalk improvements that are anticipated to be developed by the Township in 2024 and 2025.
 - Discussed a list of proposed amendments to the Zoning Ordinance identified by staff, including updates to regulations for signs, solar and wind energy facilities, landscaping, and final site plan approval.

Zoning Board of Appeals Activities (1.1):

- The Zoning Board of Appeals meeting for December was cancelled due to a lack of agenda items.

Sidewalks, Pathways, and Parks & Recreation Plan/Program Activities (1.1, 1.2, 1.3, 1.4):

- No Sidewalks and Pathways Prioritization Committee activity in December. On 12/19/2023, the Planning Commission adopted a motion to suspend meetings of and appointments to the Sidewalk and Pathways Prioritization Committee until called upon again by the Planning Commission
- The data gathering phase of the 2023 Township survey of residents, which included a substantial number of parks and recreation-related questions, has been completed. Dr. Senter from CMU has reported a total of 624 completed paper surveys (32% response rate), along with over 80 additional digital survey responses to the postcard mailings sent to apartments, mobile home parks, and other

Township rental properties. The survey data is now being compiled and analyzed for preparation of a final report to the Township.

Other Activities:

- The Director meets weekly with the Community and Economic Development Department staff as a group and regularly on an individual basis to provide guidance, coordinate provision of services, ensure good intra- and inter-departmental communication, and identify and resolve issues. (1.1)

Current Month Anticipated Activities

Economic Development Activities (1.1, 1.6):

- The Community and Economic Development Director initiated a process with Consumers Energy to evaluate potential streetlight installations at the intersections of S. Lincoln Road with Independence Drive (0.3 miles south of E. Remus Rd./M-20) and with E. Broomfield Rd. Both are within the boundaries of the West DDA District. The E. Broomfield Rd. intersection was previously lit by an overhead 4-way stop signal that was removed as part of the county Road Commission’s reconstruction project. The Independence Drive intersection is a truck entrance into an industrial area that needs better illumination for safety of turning movements.
- The Community and Economic Development Director will work with the Township Engineer at Gourdie-Fraser Associates to begin work on a detailed evaluation and prioritization of infrastructure improvements for potential new industrial/research/business park development along the US-127 corridor in accordance with the state Rural Readiness Grant awarded to the Township for our Master Plan update project.
- The Community and Economic Development Director will complete and distribute a request for qualifications from sign contractors with the capability to design and install a new gateway sign for the East DDA District to be located at the corner of M-20 and S. Summerton Rd. in cooperation with Mid-Michigan College and Consumers Energy, and to design and install new Enterprise Industrial Park signage at the corner of M-20 and Enterprise Dr.
- The Community and Economic Development Director accepted an invitation to speak at an upcoming Chamber of Commerce Referrals over Business gathering on 1/18/2024.
- The Community and Economic Development Director will attend the quarterly regional economic development (RED) Team meeting hosted by the East Michigan Council of Governments at SVSU on 1/19/2024.
- The Community and Economic Development Director plans to attend a two-day Michigan Downtowns Association Board of Directors Retreat on 1/25-26/2024.
- The Community and Economic Development Director will serve as Chair for the Mt. Pleasant Airport Joint Operations and Management Board meeting in January.
- The Community and Economic Development Director will continue business retention contacts.

Economic Development Authority (EDA) Board Activities (1.1, 1.2, 1.4, 1.5, 1.6):

- The EDA Board will hold their first regular meeting of the year on January 16, 2024.

Building Services (1.1, 1.3, 1.4, 1.6):

- Inspections and follow up as needed for the new Isabella County Jail project. (1.1, 1.3)
- Follow up phone calls.
- Continue to do site visits, inspections, issue permits, plan reviews.
- Continued work on expired permit list.

Rental Inspection Services (1.1, 1.2, 1.3, 1.4):

- The Rental Inspector will:
 - Investigate and follow up on any rental complaints as needed.
 - Continue to collaborate with the Fire Department on hotel rental inspections.
 - Schedule complexes, hotels, as well as duplex and single-family units for inspections.
 - Conduct follow-up inspections to verify correction of violations.
 - Work on expired certificate scheduling as needed.
 - Arrange for site visits as needed for compliance or informational.
- The Rental Inspector will be working on creation of a Township flyer with graphical examples of code requirements and common violations (such as blocked egresses and disabled smoke detectors or carbon monoxide detectors). (1.2, 1.3, 1.6)

Zoning Administration Activities (1.1, 1.2, 1.3, 1.4, 1.5, 1.6):

- The Community and Economic Development Director and Zoning Administrator will review the current Zoning Board of Appeals bylaws to coordinate with recent updates to relevant sections of Zoning Ordinance 20-06. (1.1)
- Community and Economic Development Director and Zoning Administrator review of site plan, special use, and other development applications and preparation of staff reports for the Planning Commission regarding Zoning Ordinance compliance.
- Zoning Administrator review of site plan applications eligible for administrative approval.
- Zoning Administrator review of building permits for zoning compliance.
- Zoning compliance letters
- Sign permits
- Continued use of MissDig notifications to catch activity in the Township needing zoning approval.
- Enforcement follow ups
- Yard sales
- Tall weeds and grass enforcement
- The Community and Economic Development Director and Zoning Administrator regularly hold informal pre-application development meetings with developers and business/property owners.

Ordinance Enforcement Activities (1.1, 1.3):

- 4941 E Valley Rd. – Dilapidated and potentially unsafe dwelling. The owner confirmed that he wants the roof completed but does not have the funds. A contractor who is looking into options to help the owner resolve the violations.
- Ordinance enforcement follow up on current matters and investigation of any new complaints.

Planning Commission Activities (1.1, 1.2, 1.4, 1.5, 1.6):

- The regular January 16, 2024 Planning Commission meeting is anticipated to include:
 - PRES23-03 Preliminary Site Plan Review for Valvoline Instant Oil Change Shop located on the south side of E. Bluegrass Rd. west of Encore Blvd.
 - Introduction and presentation of a special use permit application for a short-term rental at 5339 E. Broadway Road.
 - Continuation of a process to update the Master Plan

Zoning Board of Appeals Activities (1.1):

- No meeting scheduled in January.

Sidewalks, Pathways, and Parks & Recreation Plan/Program Activities (1.1, 1.2, 1.3, 1.4):

- The Community and Economic Development Director and the Township’s engineering consultant at Gourdie-Fraser are pursuing preliminary engineering and easements needed to prepare construction plans for new sidewalk projects along the:
 - north side of Pickard Rd. east from S. Lincoln Rd. to the existing sidewalk near Ashland Dr.;
 - east side of Bud St. north from E. Pickard Rd. to connect to Jameson Park;
 - east side of S. Isabella Rd. from E. Kay St. south to E. Broadway Rd.; and
 - south side of E. Bluegrass Rd. from S. Mission Rd. east across the frontage of the Red Lobster parcel to complete a connection to the Indian Pines Shopping Center.
- The Community and Economic Development Director plans to attend the 1/17/2024 meeting of the Cultural and Recreational Commission of Isabella County at the Isabella Sportsplex.

Other Activities:

- The Rental Inspector is using his photography skills to capture scenes from around the Township for the purpose of updating the Township website’s photo gallery.

Future Board of Trustee Meeting Agenda Items

Significant Items of Interest Longer Term

- Other Activities - Under the Community and Economic Development Director’s direction, the Building Services Clerk will begin work to coordinate with the file scanning contractor Graphic Sciences to transfer historical zoning/planning/site plan documents and files from the basement for scanning. (1.1)
- Economic Development - The Community and Economic Development Director will expand information on the Township’s website related to development approval processes and pre-application meeting options to further assist the development community.
- Economic Development - The Community and Economic Development Director and Middle Michigan Development Corporation representatives are continuing to evaluate a potential opportunity to apply for future grant funding from the U.S. Economic Development Administration to help support implementation of expanded industrial/business park development along the US-127 corridor. Depending on eligibility, this grant opportunity would require collaboration with the City of Mt. Pleasant and the Saginaw Chippewa Indian Tribe.
- Zoning Administration - The Community and Economic Development Director and Zoning Administrator plan to propose some additional updates to the sign regulations of Zoning Ordinance 20-06 to improve consistency in application and to minimize regulatory conflicts. (1.1)
- Economic Development – The Community and Economic Development Director will prepare an updated summary document for the website outlining economic development programs and incentives available from the State of Michigan and our DDA Districts for various types of projects.
- Other Activities - Consideration of a new 2023 - 2027 Parks and Recreation Master Plan for adoption, following a recommendation from the Planning Commission and a public hearing. (1.1, 1.2, 1.3, 1.4, 1.5)
- Building Services - When the county’s office situation stabilizes, the Community and Economic Development Director will resume working with the county Community Development Dept. Director to develop a draft reciprocal intergovernmental agreement proposal for Isabella County to provide for residential and commercial building inspection services during vacations. (1.1, 1.2, 1.3, 1.6)

- Building Services - The Community and Economic Development Director will follow up again with representatives from the Saginaw Chippewa Indian Tribe about building code and local ordinance enforcement questions related to the property at 5805 and 5935 E. Pickard Rd. acquired by the Tribe to become the new home of the Tribal College.
- Economic Development - Possible future airport-related Zoning Ordinance changes to create a separate zoning district for the Mt. Pleasant Airport to expand options for airport-related business activities beyond the scope allowed under the current the AG (Agricultural) district. (1.1, 1.6)
- Building Services – The Building Official continues to work in close coordination with the County’s plumbing, mechanical, and electrical inspectors on building projects to minimize delays and to ensure that construction meets the applicable health and safety standards. (1.1, 1.3, 1.6)
- PILOT Housing Projects - The Community and Economic Development Director will continue to oversee the administration of the Tax Exemption Ordinance and adopted PILOT resolutions in coordination with the Finance Director and Twp. Assessor to verify continuing compliance by the sponsors of the eligible housing projects. (1.1, 1.6)
- Other Activities - Repeal of the outdated and unenforceable Ordinance 2011-4 for marihuana dispensaries and growing operations (1.1)
- Other Activities – Consideration of new International Fire Code Ordinance for adoption, which would replace Ordinance No. 2014-05 and would reference the updated fire code to be enforced by the Mt. Pleasant Fire Department in both the City and the Township. (1.1, 1.3)
- Other Activities – Consideration of an updated Private Road Ordinance for adoption. (1.1, 1.3)
- Other Activities – Consider updates to the Township’s ordinance on open burning. (1.1, 1.3, 1.4)
- Other Activities - Consider updates to the Noxious Weeds Ordinance No. 1998-5 to improve consistency in applicable regulations of tall grass and weeds. (1.1, 1.3, 1.5)
- Other Activities - Consider updates to the Subdivision of Land Ordinance No. 1994-6 for consistency with updates to the state’s subdivision plat approval requirements. (1.1, 1.4, 1.6)
- Other Activities - Consider updates to the Land Division Ordinance No. 1997-8 to clarify application requirements and the division, combination, and boundary adjustment approval process. (1.1, 1.6)
- Other Activities – Consider ways to maximize the usefulness, readability, and functionality of the Township website’s Announcements, Public Notices, and News features. (1.1, 1.2)
- Other Activities – When the county’s office situation stabilizes, the Community and Economic Development Director, the County’s Community Development Director, and the City Planner will resume work on creating a unified “regional planning/zoning” theme on the County’s FetchGIS website where County, City, and Township zoning district and future land use maps could be displayed together with other relevant data.

Charter Township of Union

APPLICATION FOR SITE PLAN REVIEW

Minor Site Plan

Preliminary Site Plan

Final Site Plan

A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project _____		
Common Description of Property & Address (if issued) _____		
Applicant's Name(s) _____		
Phone/Fax numbers _____	Email _____	
Address _____ City: _____ Zip: _____		

Legal Description: _____	Attached _____	Included on Site Plan _____	Tax Parcel ID Number(s): _____
Existing Zoning: _____	Land Acreage: _____	Existing Use(s): _____	
ATTACHED: Letter describing the project and how it conforms to Section 14.2.S. (Standards for Site Plan Approval)			

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: _____ Phone: _____ Email _____ 2. Address: _____ City: _____ State: _____ Zip: _____ Contact Person: _____ Phone _____
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: _____ Phone: _____ Address: _____ City: _____ State: _____ Zip: _____ Signature: _____ Interest in Property: _____ 2. Name: _____ Phone: _____ Address: _____ City: _____ State: _____ Zip: _____ Signature:  Interest in Property: _____

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.



Signature of Applicant

Date

Office Use Only

Application Received By: _____ Fee Paid: \$ _____

Date Received: _____ Escrow Deposit Paid: \$ _____

Preliminary Site Plan Review Procedure

Each preliminary site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Preliminary Site Plan Approval

Approval of a preliminary site plan by the Planning Commission shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas in accordance with the standards for preliminary site plan approval specified in subsection 14.2(S). The Planning Commission may, at its discretion and with appropriate conditions attached, authorize limited work to begin for soils exploration, incidental site clearing, and other preliminary site work as specified in the authorization.

Outside Agency Approvals

The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval.

Final Site Plan Review Procedure

Each final site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Final Site Plan Approval

Approval of a final site plan by the Planning Commission constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met.

Minor Site Plan Review Procedure

A minor site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee, and two (2) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and site plans, at a maximum sheet size of 11 inches by 17 inches, at the Township Hall. The Zoning Administrator shall review the application materials and site plan for completeness, accuracy, and compliance with all applicable requirements and standards of this Ordinance and other Township ordinances.

The minor site plan shall be approved by the Zoning Administrator upon determination that all required information for the type of site plan has been provided per subsection 14.2(P), the site plan satisfies the applicable standards for site plan approval per subsection 14.2(S); and the site plan conforms to all other applicable requirements and standards of this Ordinance and other Township ordinances.

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW

HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: Valvoline

Name of business owner(s): Valvoline

Street and mailing address: 100 Valvoline Way Lexington, KY 40509

Telephone: _____

Fax: 937-507-1820

Email: Robin.peck@valvoline.com

I affirm that the information submitted is accurate.

Owner(s) signature and date:  10/26/2023

Information compiled by: _____

WT Group

1. The applicant is legally authorized to apply for site plan approval, and all required information has been provided.
 - a. **Confirmed.**
2. The proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances. –
 - a. **No variances are sought for this development.**
3. The proposed development will be harmonious with and not harmful, injurious, or objectionable to the environment or land uses in surrounding area.
 - a. ***This development is Harmonious in that this is a commercial use permitted along a commercial corridor. Similar to the use half mile east as to xx tire business.***
4. The proposed development respects natural topography, floodways, and floodplains; and minimizes the amount and extent of cutting and filling.
 - a. **The overall development is greater than 80 percent paved. Our outlet is relatively flat and we will reduce the amount of imperious. Existing grades will be maintained.**
5. Organic, wet, or other soils that are not suitable for development will be undisturbed or modified in such fashion as to make development feasible
 - a. **Such soils do not exist on our site, our site is a pad ready site and ready for construction.**
6. The proposed development is adequately coordinated with improvements serving the area, and with other existing or planned development in the vicinity
 - a. **This is an approved out lot as part of the overall development and existing utilities occur within close proximately of the site.**
7. Satisfactory and harmonious relationships will exist between the proposed development and the existing and planned development of contiguous lands and the surrounding area, including provisions for proper extensions of public roads and sidewalks through the development in accordance with the Township ordinances.
 - a. **As an approved outlot of this development the 8' wide public sidewalk along Bluegrass Rd. will be extended approx. 720 feet west. In addition the public watermain will be extended to the west.**
8. Development phases are in logical sequence so that any phase will not depend upon a subsequent phase for access, utilities, drainage or erosion control.
 - a. **This proposal is one of the later phases and therefore an access road and utilities are all available to the site.**

EXHIBIT "A" LEGAL DESCRIPTION

Land Situated in the State of Michigan, County of Isabella, Township of Union.

A Parcel of land to be determined from the following:

Part of the Southwest 1/4 and part of the Southeast 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan, described as: Beginning South 87 deg. 14' 35" East, along the East-West 1/4 line, 1568.51 feet

from the West 1/4 corner of said Section 26; thence continuing South 87 deg. 14' 35" East, along said East-West 1/4 line, 1062.06 feet; thence South 02 deg. 35' 08" West, 1158.58 feet; thence South 87 deg. 15' 30" East, parallel with said East-West 1/4 line, 935.88 feet; thence South 02 deg. 54'

01" West, 353.63 feet; thence North 87 deg. 15' 30" West, 576.12 feet; thence South 02 deg. 54' 01" West, parallel to the North-South 1/4 line, 1156.25 feet to the South Section line;

thence North 87 deg. 01' 00" West, along said South Section line, 326.65 feet to the South 1/4 corner of said Section 26; thence North 87 deg. 04' 43" West, along said South section line, 804.49 feet to the North right of way line of US-127

B.R.; thence along said North right of way line of US-127 B.R., 333.76 feet along a 3684.72 foot radius curve to the right, having a long chord bearing of North 52 deg. 52' 41" West, 333.64 feet; thence North 02 deg. 24' 38" East, 2476.47 feet back to the Place of beginning.

Except the following parcels:

1. Part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West,

Union Township, Isabella County, Michigan, described as:

Beginning South 87 deg. 14' 35" East along the East-West 1/4 line, 1568.51 feet and South 02 deg. 24' 38" West 351.25 feet from the West 1/4 corner of said Section 26; thence continuing South 02 deg. 24' 38" West 921.02 feet; thence South 87 deg. 24' 52" East 978.18 feet; thence North 02 deg. 35' 08" East 921.00 feet; thence North 87 deg. 24' 52" West 980.99 feet back to the place of beginning.

2. Part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West,

Union Township, Isabella County, Michigan, described as:

Beginning South 87 deg. 14' 35" East along the East-West 1/4 line, 1568.51 feet and South 02 deg. 24' 38" West 1272.26 feet from the West 1/4 corner of said Section 26; thence continuing South 02 deg. 24' 38" West 757.49 feet; thence South 87 deg. 24' 51" East 843.61 feet; thence 274.87 feet along a 260.00 foot radius curve to the left, having a long chord bearing of North 32 deg. 52' 18" East 262.25 feet; thence North 02 deg. 35' 08" East 531.04 feet; thence North 87 deg. 24' 52" West 978.18 feet back to the Place of Beginning.

3. Parcel A: Part of the West 20 acres of the Southeast 1/4 and that part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan, described as:

Beginning South 87 deg. 14' 35" East, along the East-West 1/4 line, 2630.59 feet and South 02 deg. 35' 08" West, 1539.79 feet from the West 1/4 corner of said Section 26; thence continuing South 02 deg. 35' 08" West, 260.33 feet;

thence 163.23 feet along a 340.00 foot radius curve to the right, having a long chord bearing of South 16 deg. 20' 21" West, 161.67 feet; thence 51.20 feet along a 38.00 foot radius curve to the left, having a long chord bearing of South 08 deg. 30' 15" East, 47.41 feet; thence South 47 deg. 06' 04" East, 79.22 feet; thence North 02 deg. 24' 38" East, 27.49 feet; thence South 87 deg. 35' 22" East 89.50 feet; thence South 02 deg. 24' 38" West, 103.89 feet; thence South 47 deg. 06' 04" East, 41.29 feet; thence 226.75 feet along a 460.00 foot radius curve to the left, having a long chord bearing of South 61 deg. 13' 23" East 224.46 feet to the East line of the West 20 acres of the Southeast 1/4; thence North 02 deg. 54' 01" East, along said East line of the West 20 acres of the Southeast 1/4, 717.08 feet; thence North 87 deg. 24' 52" West, 357.67 feet back to the place of beginning.

4. Part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West,

Union Township, Isabella County, Michigan, described as: Commencing at the West 1/4 corner of Section 26, Town 14 North, Range 4 West; thence South 87 deg. 14' 35" East along the East-West 1/4 line, 2550.58 feet to the West right of way line of Encore Blvd.; thence along said West right of way line of Encore Blvd. on the following two courses: thence South 02 deg. 35' 08" West, 1800.32 feet; thence 234.74 feet along a 260.00 foot radius curve to the right, having a long chord bearing of South 28 deg. 27' 00" West, 226.85 feet to the true place of beginning of the following described right of way; thence 72.65 feet along a 260.00 foot radius curve to the right, having a long chord bearing of South 62 deg. 19' 11" West, 72.42 feet; thence 162.31 feet along a 463.50 foot radius curve to the right, having a long chord bearing of South 82 deg. 33' 13" West, 161.49 feet; thence North 87 deg. 24' 51" West, 152.13 feet; thence 374.25 feet along a 390.00 foot radius curve to the left, having a long chord bearing of South 65 deg. 05' 43" West, 360.05 feet; thence South 37 deg. 36' 16" West, 300.23 feet to the Northerly right of way line of U.S. 127 B.R.; thence 80.02 feet along a 3684.72 foot radius curve to the left, having a long chord bearing of South 51 deg. 06' 12" East, 80.02 feet; thence North 37 deg. 36' 16"

East, 302.04 feet; thence 297.48 feet along a 310.00 foot radius curve to the right, having a long chord bearing of North 65 deg. 05' 43" East, 286.19 feet; thence South 87 deg. 24' 51" East, 152.13 feet; thence 191.82 feet along a 543.50 foot radius curve to the left, having a long chord bearing of North, 82 deg. 28' 30" East, 190.83 feet; thence 95.63 feet along a 340.00 foot radius curve to the left, having a long chord bearing of North 62 deg. 31' 58" East, 95.31 feet; thence North 35 deg. 00' 12" West, 80.00 feet back to the Place of Beginning.

5. Part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West,

Union Township, Isabella County, Michigan, described as: Commencing at the West 1/4 corner of Section 26, Town 14 North, Range 4 West; thence South 87 deg. 14' 35" East along the East-West 1/4 line, 2550.58 feet to the West right of way line of Encore Blvd.; thence along said West right of way line of Encore Blvd. on the following two courses: thence South 02 deg. 35' 08" West, 1800.32 feet; thence 234.74 feet along a 260.00 foot radius curve to the right, having a long chord bearing of South 28 deg. 27' 00" West, 226.85 feet; thence along the Northerly right of way of a proposed permanent 80 foot wide right of way on the following five courses: 72.65 feet along a 260.00 foot radius curve to the right, having a long chord bearing South 62 deg. 19' 11" West, 72.42 feet; thence 162.31 feet along a 463.50 foot radius curve to the right, having a long chord bearing of South 82 deg. 33' 13" West, 161.49 feet; thence North 87 deg. 24' 51" West, 152.13 feet; thence 374.25 feet along a 390.00 foot radius curve to the left, having a long chord bearing of South 65 deg. 05' 43" West, 360.05 feet; thence South 37 deg. 36' 16" West, 300.23 feet to the Northerly right of way line of U.S. 127 B.R.; thence 80.02 feet along a 3684.72 foot radius curve to the left, having a long chord bearing of South 51 deg. 06' 12" East, 80.02 feet to the true Place of Beginning of the following described clear vision right of way; thence continuing along said Northerly right of way line of U.S. 127 B.R. 200.62 feet along a 3684.72 foot radius curve to the left, having a long chord bearing of South 53 deg. 17' 07" East, 200.60 feet; thence North 07 deg. 40' 11" West, 282.31 feet to the Southerly right of way line of a proposed permanent 80 foot wide right of way; thence South 37 deg. 36' 16" West, along said Southerly right of way line, 201.78 feet back to the place of beginning.

Also excepting therefrom the following described parcel:

Part of the Northeast 1/4 of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, State of Michigan, described as: Beginning South 87 deg. 14' 35" East along the East-West 1/4 line, 2288.73 feet from the West 1/4 corner of said Section 26; thence continuing South 87 deg. 14' 35" East, along said East-West 1/4 line, 261.85 feet to the West right of way line of Encore Drive; thence South 02 deg. 35' 08" West, along said West right of way line of Encore Drive, 348.33 feet; thence North 87 deg. 24' 52" West, 261.85 feet; thence North 02 deg. 35' 08" East, parallel to said West right of way line of said Encore Drive, 349.11 feet back to the place of beginning, as deeded in Liber 1525, Page 430, and corrected in Liber 1526, Page 837, Isabella County Records.

S. Standards for Site Plan Approval.

In reviewing a minor, preliminary or final site plan, the Zoning Administrator or Planning Commission shall determine that the following standards are met, as applicable to the type of site plan:

Standards for Site Plan Approval	Minor Site Plan	Preliminary Site Plan	Final Site Plan
The applicant is legally authorized to apply for site plan approval, and all required information has been provided.	●	●	●
The proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances.	●	●	●
The final site plan is consistent with the policies of the Master Plan and other adopted Township planning documents, and with the approved preliminary site plan.			●
The proposed development will be harmonious with and not harmful, injurious, or objectionable to the environment or land uses in surrounding area.	●	●	●
The proposed development respects natural topography, floodways, and floodplains; and minimizes the amount and extent of cutting and filling.		●	●
Organic, wet, or other soils that are not suitable for development will be undisturbed or modified in such fashion as to make development feasible.		●	●
The movement of the vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will be safe and convenient.	●	●	●
The proposed development is adequately coordinated with improvements serving the area, and with other existing or planned development in the vicinity.		●	●
Satisfactory and harmonious relationships will exist between the proposed development and the existing and planned development of contiguous lands and the surrounding area, including provisions for proper extensions of public roads and sidewalks through the development in accordance with the Township ordinances.		●	●
Development phases are in logical sequence so that any phase will not depend upon a subsequent phase for access, utilities, drainage or erosion control.		●	●
The plan, including all engineering drawings, meets Township standards for fire and police protection, water supply, sewage disposal or treatment, storm drainage, and other public facilities and services.			●
The drainage plan conforms to applicable drainage and stormwater management standards, and any proposed improvements are adequate to handle anticipated stormwater runoff and accommodate upstream drainage without causing undue runoff on to neighboring property or overloading of area watercourses.			●
Proposed screening, buffering, and landscaping improvements are adequate for the location and intended purpose and conform to the standards of this Ordinance.	●		●
Exterior lighting conforms to Ordinance requirements and standards, and will not adversely affect adjacent or neighboring properties or traffic on adjacent roads.	●		●
The parking layout and vehicular circulation patterns and access points to the site are adequate to serve the proposed uses and will not adversely affect the flow of traffic on adjacent roads or create pedestrian-vehicle conflicts.	●		●
Grading or filling will not destroy or adversely affect the character of the property, adjacent properties or the surrounding area.			●
Erosion will be controlled during and after construction and will not adversely affect adjacent or neighboring property or public facilities or services.			●
The plan meets applicable standards of governmental agencies with jurisdiction, and necessary outside agency approvals have been obtained or are assured.	●		●



Site Plan Review Process:

Contact Information for Outside Agencies

Required Agency Contact Information

Mt. Pleasant Fire Department

Lt. Brad Doepker
804 E. High St.
Mt. Pleasant, MI 48858
Office: 989-779-5122
Cell Phone: 989-506-1442.
Email: bdoepker@mt-pleasant.org

Gourdie-Fraser Associates – Stormwater Management

Jennifer Graham, PE
123 W. Front Street
Traverse City, MI 49684
(231) 946-5874 (office)
(231) 946-3703 (fax)
(231) 313-4861 (cell)
Email: jennifer@gfa.tc

Charter Township of Union Department of Public Services

Kim Smith, Public Works Department Director
5228 South Isabella Road
Mt. Pleasant, MI 48858
Phone (989) 772-4600 ext. 224
Fax (989) 773-1988
ksmith@uniontownshipmi.com

Isabella County Road Commission

Patrick J. Gaffney, PE, Engineer Superintendent
2261 E. Remus Rd.
Mt. Pleasant, MI 48858
989-773-7131 x115
989-772-2371 fax
pgaffney@isabellaroads.com

Isabella County Transportation Commission

Rick Collins, Executive Director
2100 E. Transportation Dr.
Mt. Pleasant, MI 48858
Phone 989-773-6766
Fax 989-773-1873
rcollins@ictcbus.com

Optional Agency Contact Information

Michigan Transportation Department (Only required when work done in M-20 ROW) *

Ben Burrows
Mt. Pleasant TSC
1212 Corporate Drive
Mount Pleasant, MI 48858
989-775-6104 ext. 305
burrowsb@michigan.gov

City of Mt. Pleasant - Division of Public Works (Only required for Mt Pleasant city water/sewer) *

Stacie Tewari, P.E., LEED® AP
City Engineer
1303 N. Franklin Avenue
Mt. Pleasant, MI 48858
Phone: 989.779.5404
Fax: 989.772.6250
stewari@mt-pleasant.org

Isabella County Soil Erosion & Sedimentation Control

200 N. Main St.
Mt. Pleasant, MI 48858
989-317-4061

Central Michigan District Health Department

2012 E. Preston
Mt. Pleasant, MI 48858
989-773-5921

DTE

111 E. Pickard St.
Mt Pleasant, MI 48858
989-772-9061

Miss Dig

1-800-482-7171

Lormax Stern Development Company

Date: 10/30/2023

Reference: Valvoline
Bluegrass Rd, 1 Lot west of Encore Drive
Charter Township of Union
Mt. Pleasant, MI 48858

To Whom It May Concern:

Please accept this letter as authorization for WT Group, to act as agent in correspondence and representation of all approval and permitting matters required for Valvoline at the location referenced above.

If you have any questions, please contact me at: 248-890-7575 or abell@lormaxstern.com

Sincerely,



Andrew Bell

Managing Director

**Mount Pleasant Holdings, LLC
200 W. Michigan Avenue, Suite 201
Kalamazoo, MI 49007**

Date: 12/12/23

Reference: Valvoline
Bluegrass Rd, 1 Lot west of Encore Drive
Charter Township of Union
Mt. Pleasant, MI 48858

To Whom It May Concern:

Please accept this letter as authorization for WT Group, to act as agent in correspondence and representation of all site plan approval matters required for _____ Valvoline _____ at the location referenced above.
(insert job name here)

If you have any questions, please contact me at (269) 383-5775.

Sincerely,

Mount Pleasant Holdings, LLC

By: Manager 211, LLC, its Manager



Connor Sampson, Authorized Agent

PURCHASE AND SALE AGREEMENT

THIS PURCHASE AND SALE AGREEMENT ("**Agreement**") is made and entered into as of February 15, 2023 by and between Mount Pleasant Holdings, LLC, a Michigan limited liability company, whose address is 200 West Michigan Avenue, Suite 201, Kalamazoo, Michigan 49007 ("**Seller**") and Lormax Stern Development Company, LLC, a Michigan limited liability company, whose address is 38500 Woodward Avenue, Suite 200, Bloomfield Hills, Michigan 48304 ("**Buyer**"); provided, however, that Buyer shall have the right to assign this Agreement to any entity that is owned or controlled by Buyer or any principal of Buyer. The "**Effective Date**" of this Agreement is the date that this Agreement is fully executed by both Buyer and Seller.

1. **Purchase and Sale.** Seller owns the land in Union Township, Isabella County, Michigan, commonly known as 4244 E. Blue Grass Road as described in **Exhibit A** attached hereto (the "**Overall Parcel**"). The Overall Parcel is identified as Parcel 3 in **Exhibit A**, which is subject to land division. Subject to the terms, covenants, and conditions of this Agreement, Seller agrees to sell to Buyer, and Buyer agrees to purchase from Seller the following: (a) that portion of the Overall Parcel more particularly described in **Exhibit B** (the "**Property**") and as generally depicted in **Exhibit C**; (b) all right, title, and interest of Seller in and to (i) any strips and gores adjoining or adjacent to the Property to the north, south, and east, and in and to any land lying in the bed of any street, road, avenue, way or boulevard, open or proposed, in front of or adjoining the Property to the north, south, and east, whether or not legally described above; (ii) any award for damage to the Property by reason of any change of grade in any street, road, avenue, way, or boulevard; (iii) any pending or future award made in condemnation or in lieu thereof; and (iv) all rights, easements and interests, water, air and mineral rights, streets, public ways or rights-of-way, privileges, tenements, hereditaments, improvements, licenses, appurtenances, and other rights and benefits belonging or in any way related or appurtenant to the Property.

2. **Purchase Price.** The Purchase Price for the Property [REDACTED] (the "**Purchase Price**"), which shall be paid at the Closing (defined below), subject to adjustments and prorations set forth herein. Within five (5) days after the Effective Date, Buyer shall deposit the sum [REDACTED] (the "**Earnest Money**") with Title Connect LLC, whose address is 28470 W. 13 Mile Rd., Suite 325, Farmington Hills, Michigan 48334 (the "**Title Company**"), which shall be held by the Title Company pursuant to this Agreement, and which shall be applicable to the Purchase Price. The Earnest Money shall remain fully refundable to Buyer until: (i) Seller obtains land division approval from Union Township and any other applicable governing authorities in accordance with the Land Division Act, Act 288 of the Public Acts of 1967 (the "**Act**") and local laws and regulations to divide the Property from the Overall Parcel; and (ii) the expiration of the Inspection Period as defined hereinafter.

3. **Property Information.** Seller has previously provided to Buyer or will provide copies of the following (the "**Property Information**") upon Buyer's reasonable request:

(A) Easements with Covenants and Restrictions Affecting Land recorded in Liber 1327, Page 250, as amended by a First Amendment recorded in Liber 1344, Page 297, and a Second Amendment recorded in Liber 1894, Page 4878;

(B) Declaration of Easements, Covenants, Conditions and Restrictions recorded in Liber 1525, Page 406;

(C) Agreement regarding Utility Extensions and Access Drive recorded in Liber 1525, Page 434;

(D) Phase I Environmental Site Assessment prepared by Phillips Environmental Consulting Services, Inc., date January 18, 2010, Project No. 30-1315-10;

(B) During the Inspection Period, Buyer, at its expense, may obtain a Phase I Environmental Assessment, and if recommended by Buyer's environmental consultant, a Phase II Environmental Assessment in accordance with a work plan approved by Seller, such approval shall not be unreasonably withheld. All environmental information obtained by the Buyer concerning the Property shall be held in confidence and will not be disclosed before the Closing without Seller's express prior written permission except to (i) Buyer's employees, agents, and other authorized representatives and to Buyer's environmental consultant, lender, accountant and legal counsel, each of whom will also keep such information confidential, and (ii) as otherwise required by law. Buyer may not file a Baseline Environmental Assessment before the Closing without Seller's express prior written consent.

(C) During the Inspection Period, Buyer shall have the right to pursue any permits, licenses, approvals, as Buyer may determine necessary for its intended use of the Property as an oil change or tire facility including, without limitation, zoning and land use approvals, site plan approvals, and sign approvals (collectively, "**Governmental Approvals**"); provided, however, that Buyer shall not be entitled to effectuate a re-zone of the Property prior to the Closing. Buyer's rights and Seller's obligations concerning the application for any Governmental Approvals shall be subject to the following: (i) Seller shall reasonably cooperate with Buyer in connection with Buyer's Governmental Approvals, provided that Seller shall not be required to incur any expenses in connection therewith; (ii) all applications or submissions for any re-zoning shall be subject to Seller's timely review and approval before submittal to any governmental or quasi-governmental body, which shall not be unreasonably withheld; and (iii) in no event shall any Governmental Approvals be effective against the Property before the Closing. In connection with clause (i) of the preceding sentence, Seller will (a) sign and consent to instruments reasonably required for the Governmental Approvals (provided the same are acceptable to Seller in its business discretion), (b) furnish evidence of ownership of the Property; and (c) appear at municipal or administrative hearings as necessary at the reasonable request of Buyer. Buyer covenants and warrants that it shall not seek any Governmental Approvals, except in strict accordance with this paragraph. Buyer agrees to indemnify and hold Seller harmless from any liability, claim, damage or cost (including Seller's reasonable attorney fees) caused by Buyer's breach or threatened breach of the foregoing covenant and/or warranty. Buyer's indemnity obligations shall survive the termination of this Agreement. Notwithstanding anything herein to the contrary, Seller shall not be deemed unreasonable in withholding (and Seller shall have the right to withhold) consent to any rezoning or support any effort to obtain any Governmental Approval if Seller, in its sole business discretion, determines that the requested zoning or Governmental Approval is incompatible with the zoning and/or use or future development of any other property in about the Bluegrass Mall shopping center owned by Seller or if any site plan materially deviates from the site plan attached hereto as **Exhibit D**.

PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

Michigan.gov/EGLEpermits

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: Michigan.gov/EHSGuide. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

How Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
1) Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), Permit Section	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
2) Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, Asbestos Program , 517-284-6777	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
3) Please consult the Permitting at the Land and Water Interface Decision Tree document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - Joint Permit Application , 517-284-5567:		
a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
d. Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
4) Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? Union Township and Isabella County	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
5) Does the project involve the construction or alteration of a water supply system? Union Township Public Services Department and Drinking Water & Environmental Health Division (DWEHD), 517-284-6524	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
6) Does the project involve construction or alteration of any sewage collection or treatment facility? Union Township Public Services Department and WRD, Part 41 Construction Permit Program (staff) , 906-228-4527, or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
7) Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? Union Township and Public Swimming Pool Program , 517-284-6541, or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
8) Does the project involve the construction or modification of a campground? Union Township and DWEHD, Campgrounds program , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

9) Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), Solid Waste , 517-284-6588, or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
10) Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, Hazardous Waste Section, Treatment, Storage and Disposal , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Drinking (Potable) Water Supply?		
11) I am buying water from the municipal water supply system Contact the Union Township Public Services Dept.	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
12) I have a Non-Community Water Supply (Type II) Guide , Contact (District or County) Local Health Department , 517-485-0660	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
13) I am a community water supply (Type I) Community Water Supply, DWEHD District Office Community Water Supply Program , 517-284-6512	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
14) Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Wastewater Discharge System?		
15) NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, EGLE District Office , or National Pollutant Discharge Elimination (NPDES) Permit Program , 517-284-5568	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
16) Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, Permits Section , or EGLE District Office , 517-284-5588	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
17) Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, Groundwater Permits Program , 517-290-2570	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
18) Does the project involve the drilling or deepening of wells for waste disposal? Oil, Gas and Minerals Division (OGMD), 517-284-6841	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Operation and Air Emissions?		
19) Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, Permit Section , 517-284-6634	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
20) Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, Acid Rain Permit Program , 517-780-7843	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Waste Management?		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? MMD , 517-284-6588 or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? MMD, Hazardous and Liquid Waste , 517-284-6562	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (Hazardous Waste Program Forms & License Applications) MMD, EGLE District Office , 517-284-6562	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, Radioactive Material and Standards Unit , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD Radioactive Material and Standards Unit , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, Medical Waste Regulatory Program , 517-284-6594	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Sector-Specific Permits May be Relevant to My Business?		
Transporters	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste? MMD, Transporter Program , 517-284-6562	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
28) Does the project involve the <i>transport</i> of hazardous waste? MMD, Transporter Program , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, Water Hauler Information , 517-284-6527	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, Septage Program , 517-284-6535	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
31) Do you store, haul, shred or process <i>scrap tires</i> ? MMD, Scrap Tire Program , 517-284-6586	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Sectors	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, Dry Cleaning Program , 517-284-6780	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? Laboratory Services Certifications , 517-284-5424	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, Public Swimming Pools Program , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
35) Does the project involve the operation of a <i>campground</i> ? Union Township and DWEHD, Campgrounds , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Permits Do I Need to Add Chemicals to Lakes and Streams?		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, Aquatic Nuisance Control , 517-284-5593	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, Surface Water Assessment Section , 517-331-5228	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Why would I be subject to Oil, Gas and Mineral Permitting?	
38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, Petroleum Geology and Production Unit , 517-284-6826	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, Sand Dune Mining Program , 517-284-6826	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, Radioactive Protection Programs , 517-284-6581	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
Petroleum & Mining , OGMD, 517-284-6826	
41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
42) Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
44) Does the project involve mining coal?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
45) Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>

Contact **Union Township** and [EGLE Permits & Bonding](#), OGMD, 517-284-6841

LEGAL DESCRIPTION

EXHIBIT "A" LEGAL DESCRIPTION

LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF ISABELLA, TOWNSHIP OF UNION.

A PARCEL OF LAND TO BE DETERMINED FROM THE FOLLOWING:

PART OF THE SOUTHWEST 1/4 AND PART OF THE SOUTHEAST 1/4 OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING SOUTH 87 DEG. 14' 35" EAST, ALONG THE EAST-WEST 1/4 LINE, 1568.51 FEET FROM THE WEST 1/4 CORNER OF SAID SECTION 26; THENCE CONTINUING SOUTH 87 DEG. 14' 35" EAST, ALONG SAID EAST-WEST 1/4 LINE, 1062.06 FEET; THENCE SOUTH 02 DEG. 35' 08" WEST, 1158.58 FEET; THENCE SOUTH 87 DEG. 15' 30" EAST, PARALLEL WITH SAID EAST-WEST 1/4 LINE, 935.88 FEET; THENCE SOUTH 02 DEG. 54' 01" WEST, 353.63 FEET; THENCE NORTH 87 DEG. 15' 30" WEST, 576.12 FEET; THENCE SOUTH 02 DEG. 54' 01" WEST, PARALLEL TO THE NORTH-SOUTH 1/4 LINE, 1156.25 FEET TO THE SOUTH SECTION LINE; THENCE NORTH 87 DEG. 01' 00" WEST, ALONG SAID SOUTH SECTION LINE, 326.65 FEET TO THE SOUTH 1/4 CORNER OF SAID SECTION 26; THENCE NORTH 87 DEG. 04' 43" WEST, ALONG SAID SOUTH SECTION LINE, 804.49 FEET TO THE NORTH RIGHT OF WAY LINE OF US-127 B.R.; THENCE ALONG SAID NORTH RIGHT OF WAY LINE OF US-127 B.R., 333.76 FEET ALONG A 3684.72 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD BEARING OF NORTH 52 DEG. 52' 41" WEST, 333.64 FEET; THENCE NORTH 02 DEG. 24' 38" EAST, 2476.47 FEET BACK TO THE PLACE OF BEGINNING.

EXCEPT THE FOLLOWING PARCELS:

1. PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS:

BEGINNING SOUTH 87 DEG. 14' 35" EAST ALONG THE EAST-WEST 1/4 LINE, 1568.51 FEET AND SOUTH 02 DEG. 24' 38" WEST 351.25 FEET FROM THE WEST 1/4 CORNER OF SAID SECTION 26; THENCE CONTINUING SOUTH 02 DEG. 24' 38" WEST 921.02 FEET; THENCE SOUTH 87 DEG. 24' 52" EAST 978.18 FEET; THENCE NORTH 02 DEG. 35' 08" EAST 921.00 FEET; THENCE NORTH 87 DEG. 24' 52" WEST 980.99 FEET BACK TO THE PLACE OF BEGINNING.

2. PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS:

BEGINNING SOUTH 87 DEG. 14' 35" EAST ALONG THE EAST-WEST 1/4 LINE, 1568.51 FEET AND SOUTH 02 DEG. 24' 38" WEST 1272.26 FEET FROM THE WEST 1/4 CORNER OF SAID SECTION 26; THENCE CONTINUING SOUTH 02 DEG. 24' 38" WEST 757.49 FEET; THENCE SOUTH 87 DEG. 24' 51" EAST 843.61 FEET; THENCE 274.87 FEET ALONG A 260.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD BEARING OF NORTH 32 DEG. 52' 18" EAST 262.25 FEET; THENCE NORTH 02 DEG. 35' 08" EAST 531.04 FEET; THENCE NORTH 87 DEG. 24' 52" WEST 978.18 FEET BACK TO THE PLACE OF BEGINNING.

3. PARCEL A: PART OF THE WEST 20 ACRES OF THE SOUTHEAST 1/4 AND THAT PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS:

BEGINNING SOUTH 87 DEG. 14' 35" EAST, ALONG THE EAST-WEST 1/4 LINE, 2630.59 FEET AND SOUTH 02 DEG. 35' 08" WEST, 1539.79 FEET FROM THE WEST 1/4 CORNER OF SAID SECTION 26; THENCE CONTINUING SOUTH 02 DEG. 35' 08" WEST, 280.33 FEET; THENCE 163.23 FEET ALONG A 340.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD BEARING OF SOUTH 16 DEG. 20' 21" WEST, 161.67 FEET; THENCE 51.20 FEET ALONG A 38.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD BEARING OF SOUTH 08 DEG. 30' 15" EAST, 47.41 FEET; THENCE SOUTH 47 DEG. 06' 04" EAST, 79.22 FEET; THENCE NORTH 02 DEG. 24' 38" WEST, 27.49 FEET; THENCE SOUTH 87 DEG. 35' 22" EAST 89.50 FEET; THENCE SOUTH 02 DEG. 24' 38" WEST, 103.89 FEET; THENCE SOUTH 47 DEG. 06' 04" EAST, 41.29 FEET; THENCE 226.75 FEET ALONG A 460.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD BEARING OF SOUTH 61 DEG. 13' 23" EAST 224.46 FEET TO THE EAST LINE OF THE WEST 20 ACRES OF THE SOUTHEAST 1/4; THENCE NORTH 02 DEG. 54' 01" EAST, ALONG SAID EAST LINE OF THE WEST 20 ACRES OF THE SOUTHEAST 1/4, 717.08 FEET; THENCE NORTH 87 DEG. 24' 52" WEST, 357.67 FEET BACK TO THE PLACE OF BEGINNING.

4. PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST,

UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE WEST 1/4 CORNER OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST; THENCE SOUTH 87 DEG. 14' 35" EAST ALONG THE EAST-WEST 1/4 LINE, 2550.58 FEET TO THE WEST RIGHT OF WAY LINE OF ENCORE BLVD.; THENCE ALONG SAID WEST RIGHT OF WAY LINE OF ENCORE BLVD. ON THE FOLLOWING TWO COURSES: THENCE SOUTH 02 DEG. 35' 08" WEST, 1800.32 FEET; THENCE 234.74 FEET ALONG A 260.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD BEARING OF SOUTH 28 DEG. 27' 00" WEST, 226.85 FEET TO THE TRUE PLACE OF BEGINNING OF THE FOLLOWING DESCRIBED RIGHT OF WAY; THENCE 72.65 FEET ALONG A 260.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD BEARING OF SOUTH 62 DEG. 19' 11" WEST, 72.42 FEET; THENCE 162.31 FEET ALONG A 463.50 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD BEARING OF SOUTH 82 DEG. 33' 13" WEST, 161.49 FEET; THENCE NORTH 87 DEG. 24' 51" WEST, 152.13 FEET; THENCE 374.25 FEET ALONG A 390.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD BEARING OF SOUTH 65 DEG. 05' 43" WEST, 360.05 FEET; THENCE SOUTH 37 DEG. 36' 16" WEST, 300.23 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF U.S. 127 B.R.; THENCE 80.02 FEET ALONG A 3684.72 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD BEARING OF SOUTH 51 DEG. 06' 12" EAST, 80.02 FEET; THENCE NORTH 37 DEG. 36' 16" EAST, 302.04 FEET; THENCE 297.48 FEET ALONG A 310.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD BEARING OF NORTH 65 DEG. 05' 43" EAST, 286.19 FEET; THENCE SOUTH 87 DEG. 24' 51" EAST, 152.13 FEET; THENCE 191.82 FEET ALONG A 543.50 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD OF NORTH, 82 DEG. 28' 30" EAST, 190.83 FEET; THENCE 95.63 FEET ALONG A 340.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD BEARING OF NORTH 62 DEG. 31' 58" EAST, 95.31 FEET; THENCE NORTH 35 DEG. 00' 12" WEST, 80.00 FEET BACK TO THE PLACE OF BEGINNING.

5. PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST,

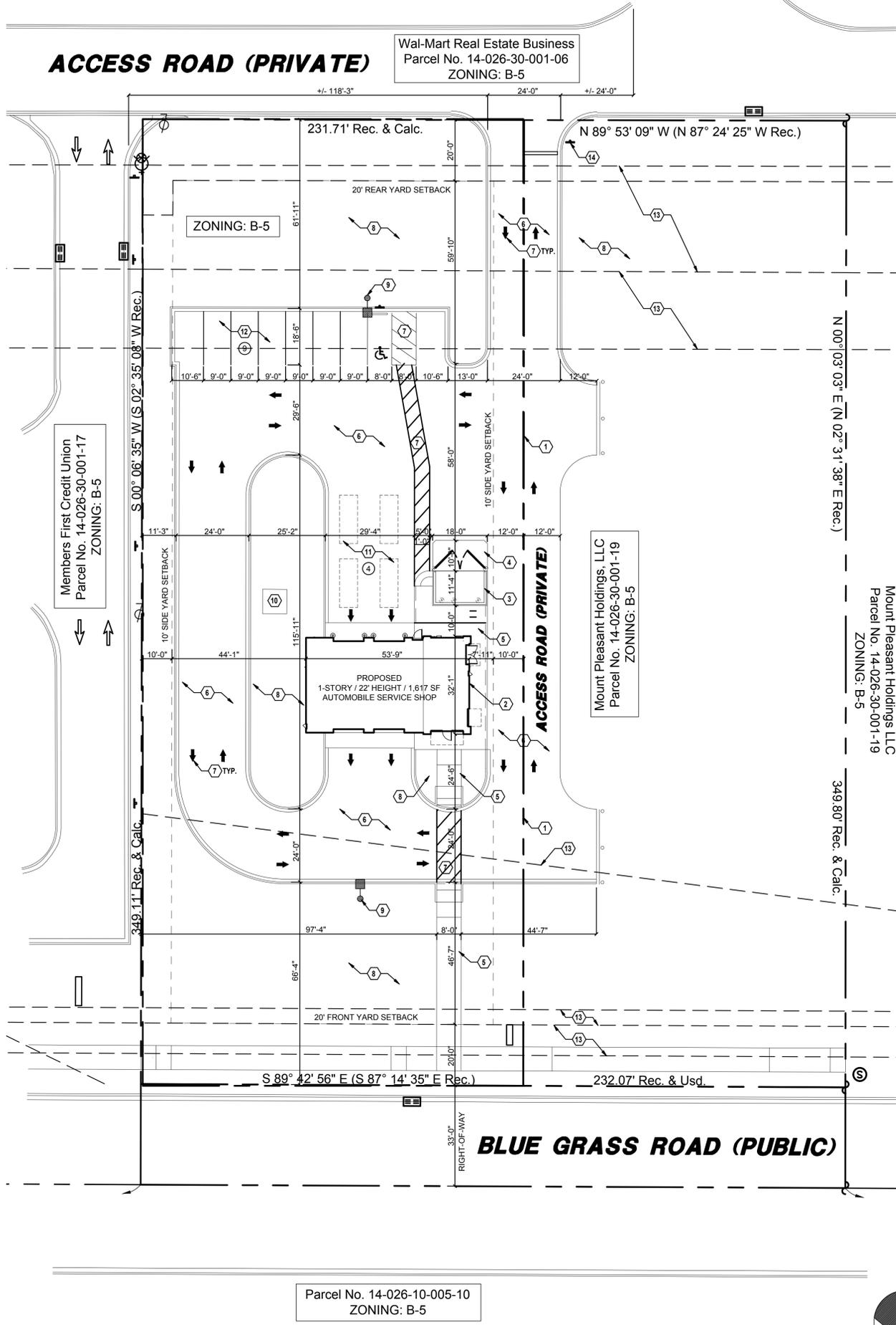
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE WEST 1/4 CORNER OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST; THENCE SOUTH 87 DEG. 14' 35" EAST ALONG THE EAST-WEST 1/4 LINE, 2550.58 FEET TO THE WEST RIGHT OF WAY LINE OF ENCORE BLVD.; THENCE ALONG SAID WEST RIGHT OF WAY LINE OF ENCORE BLVD. ON THE FOLLOWING TWO COURSES: THENCE SOUTH 02 DEG. 35' 08" WEST, 1800.32 FEET; THENCE 234.74 FEET ALONG A 260.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD BEARING OF SOUTH 28 DEG. 27' 00" WEST, 226.85 FEET; THENCE ALONG THE NORTHERLY RIGHT OF WAY OF A PROPOSED PERMANENT 80 FOOT WIDE RIGHT OF WAY ON THE FOLLOWING FIVE COURSES: 72.65 FEET ALONG A 260.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD BEARING SOUTH 62 DEG. 19' 11" WEST, 72.42 FEET; THENCE 162.31 FEET ALONG A 463.50 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD BEARING OF SOUTH 82 DEG. 33' 13" WEST, 161.49 FEET; THENCE NORTH 87 DEG. 24' 51" WEST, 152.13 FEET; THENCE 374.25 FEET ALONG A 390.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD BEARING OF SOUTH 65 DEG. 05' 43" WEST, 360.05 FEET; THENCE SOUTH 37 DEG. 36' 16" WEST, 300.23 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF U.S. 127 B.R.; THENCE 80.02 FEET ALONG A 3684.72 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD BEARING OF SOUTH 51 DEG. 06' 12" EAST, 80.02 FEET TO THE TRUE PLACE OF BEGINNING OF THE FOLLOWING DESCRIBED CLEAR VISION RIGHT OF WAY; THENCE CONTINUING ALONG SAID NORTHERLY RIGHT OF WAY LINE OF U.S. 127 B.R. 200.62 FEET ALONG A 3684.72 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD BEARING OF SOUTH 53 DEG. 17' 07" EAST, 200.60 FEET; THENCE NORTH 07 DEG. 40' 11" WEST, 282.31 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF A PROPOSED PERMANENT 80 FOOT WIDE RIGHT OF WAY; THENCE SOUTH 37 DEG. 36' 16" WEST, ALONG SAID SOUTHERLY RIGHT OF WAY LINE, 201.78 FEET BACK TO THE PLACE OF BEGINNING.

ALSO EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL:

PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, STATE OF MICHIGAN, DESCRIBED AS: BEGINNING SOUTH 87 DEG. 14' 35" EAST ALONG THE EAST-WEST 1/4 LINE, 2288.73 FEET FROM THE WEST 1/4 CORNER OF SAID SECTION 26; THENCE CONTINUING SOUTH 87 DEG. 14' 35" EAST, ALONG SAID EAST-WEST 1/4 LINE, 261.85 FEET TO THE WEST RIGHT OF WAY LINE OF ENCORE DRIVE; THENCE SOUTH 02 DEG. 35' 08" WEST, ALONG SAID WEST RIGHT OF WAY LINE OF ENCORE DRIVE, 348.33 FEET; THENCE NORTH 87 DEG. 24' 52" WEST, 261.85 FEET; THENCE NORTH 02 DEG. 35' 08" EAST, PARALLEL TO SAID WEST RIGHT OF WAY LINE OF SAID ENCORE DRIVE, 349.11 FEET BACK TO THE PLACE OF BEGINNING, AS DEEDED IN LIBER 1525, PAGE 430, AND CORRECTED IN LIBER 1526, PAGE 837, ISABELLA COUNTY RECORDS.



1 KEY PLAN
A-1.0 Scale: N.T.S.



2 ARCHITECTURAL SITE PLAN
A-1.0 Scale: 1" = 20'-0"



CONTACTS

PROPERTY OWNER:
MOUNT PLEASANT HOLDINGS, LLC
200 W. MICHIGAN AVE. SUITE 201
KALAMAZOO, MI 49007
CONTACT: CONNOR SAMPSON
PHONE: (269) 383-5775

APPLICANT / TENANT:
VALVOLINE INSTANT OIL CHANGE
100 VALVOLINE WAY
LEXINGTON, KY 40509
CONTACT: ROBIN PECK
PHONE: (937) 507-1820

LEASE AGREEMENT

APPLICANT WILL BE LEASING A PORTION OF THE PROPERTY FROM THE OWNER TO CONSTRUCT A 1-STORY COMMERCIAL RETAIL AUTOMOBILE REPAIR SHOP. TENANT HAS NO INTENTION TO DIVIDE THE LOT AND NO INTENTION TO SUB-LEASE REMAINING AREAS OF THE PROPERTY OR SUB-LEASE PORTIONS OF THEIR BUILDING.

PROPERTY INFORMATION

LOCATION:
1 LOT WEST OF ENCORE DR. ON BLUEGRASS RD.
CHARTER TOWNSHIP OF UNION, MICHIGAN 48858

BUILDING ADDRESS:
4448 E. BLUEGRASS RD.
MT. PLEASANT, MI 48858

PARCEL NUMBER 14-026-30-001-19
SITE DIMENSIONS 349'-9" x 231'-8"
LOT AREA +/- 73,334.79 S.F.
LEASED AREA +/- 39,783.12 S.F.

PROPOSED LANDSCAPING: 25,092 S.F. (34%)
PROPOSED HARDSCAPING: 47,877 S.F. (66%)

EXISTING ZONING: B-5, HIGHWAY BUSINESS DISTRICT
PROPOSED ZONING: B-5 HIGHWAY BUSINESS DISTRICT
ADJACENT ZONING: B-5, ALL SIDES
PERMITTED USED: AUTOMOBILE REPAIR SHOP / GARAGE; ALL OPERATIONS WITHIN BUILDING

SETBACKS:
FRONT YARD SETBACK = 20 FEET
SIDE YARD SETBACK = 10 FEET
REAR YARD SETBACK = 20 FEET

F.A.R.: 3.224 S.F. / 72,969 S.F. = 0.044

BUILDING INFORMATION

USE STATEMENT: THERE ARE NO EXISTING STRUCTURES ON THE PROPERTY. APPLICANT INTENDS TO CONSTRUCT A NEW COMMERCIAL RETAIL AUTOMOBILE REPAIR BUILDING ON THE PROPERTY WITH AN ADJOINING PAVED LOT FOR OFF-STREET PARKING. TENANT'S PRIMARY RETAIL SERVICE IS AUTOMOTIVE OIL CHANGES. TENANT INTENDS TO COMPLETE THEIR DEVELOPMENT AS 1 PHASE. DEVELOPMENT TO INCLUDE A MASONRY DUMPSTER ENCLOSURE LOCATED IN THE REAR OF THE PROPERTY.

HEIGHT: 22'-0", 1-STORY WITH FULL BASEMENT
WIDTH: 53'-9"
DEPTH: 32'-1"
GROSS AREA: 3,224 S.F.
BASEMENT: 1,607 S.F.
GROUND FLOOR: 1,617 S.F.

NO. SERVICE BAYS: 2
NO. EMPLOYEES: 6 (3 EMPLOYEES PER SERVICE BAY)

PARKING CALCULATIONS

REQUIRED PARKING: 1.5 STALLS PER BAY X 2 BAYS 3 STALLS	PROVIDED PARKING: (9) PARKING STALLS (9' x 16'-6") (2) PARKING IN BUILDING TOTAL: 11 STALLS
1 STALL PER EMPLOYEE X 6 EMPLOYEES 6 STALLS TOTAL: 9 STALLS	
REQUIRED STACKING: 2 STACKING STALLS PER BAY X 2 BAYS 4 STACKING	PROVIDED STACKING: (4) STACKING STALLS

SITE KEYNOTES

- ① LEASE LINE
- ② PROPOSED 1-STORY COMMERCIAL RETAIL BUILDING, SEE SHEET A-3.0
- ③ MASONRY DUMPSTER ENCLOSURE W/ CONCRETE PAD, SEE SHEET A-10.1
- ④ 10' CONCRETE PAD IN FRONT OF DUMPSTER ENCLOSURE
- ⑤ CONCRETE WALK
- ⑥ ASPHALT PAVING
- ⑦ PAVEMENT STRIPING & NAVIGATION SYMBOLS
- ⑧ LANDSCAPING, PER LANDSCAPE ARCHITECT
- ⑨ POLE MOUNTED SITE LIGHTING, SEE PHOTOMETRIC PLAN
- ⑩ ELECTRICAL TRANSFORMER
- ⑪ STACKING PARKING FOR SERVICE BAYS
- ⑫ OFF-STREET PARKING FOR PATRONS AND EMPLOYEES
- ⑬ UTILITY EASEMENTS, SEE SURVEY
- ⑭ STOP SIGN & STOP BAR

RYAN R. TRIPHANN DESIGN, PLLC
CONTACT: RYAN R. TRIPHANN
2635 PRATIUM AVENUE SUITE 200
HOFFMAN ESTATES, IL 60192
PH: 847-452-7278
EMAIL: RTRIPHANNDESIGN@GMAIL.COM

COPYRIGHT NOTICE
This drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site names herein, and cannot be reproduced in any manner without the express written permission from the Professional.

DATE	ISSUE
12/08/2023	OWNER REVIEW SET
12/15/2023	SITE PLAN REVIEW

PROFESSIONAL SEAL

PROFESSIONAL LICENSE NO:
ARC 191747
CERTIFICATE OF AUTHORIZATION NO:
FRM 21314408

PROFESSIONAL IN CHARGE
RYAN R. TRIPHANN
PROJECT MANAGER
AG

QUALITY CONTROL
JL
DRAWN BY
JL, JG

PROJECT NAME



VALVOLINE
INSTANT
OIL CHANGE

4448 E. BLUEGRASS RD
MT. PLEASANT, MI 48858

PROJECT NUMBER
D2300011

SHEET NAME
ARCHITECTURAL -
SITE PLAN

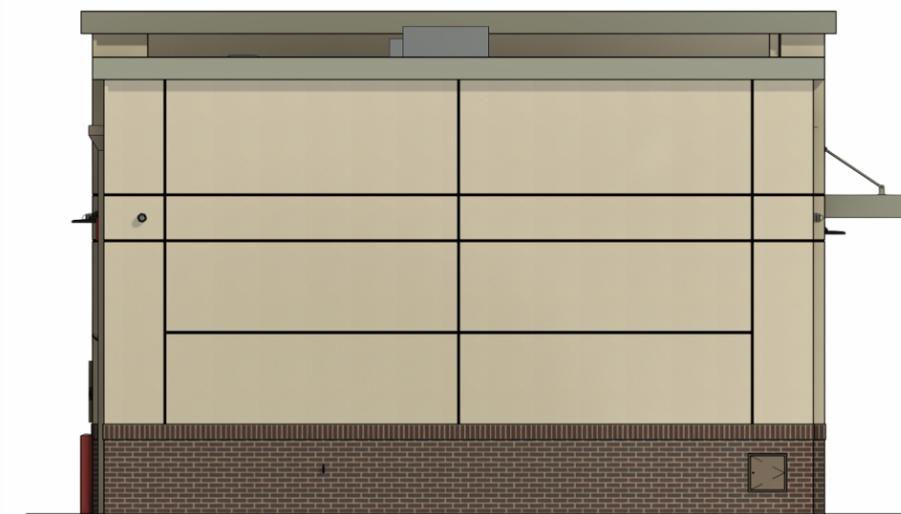
SHEET #
A-1.0



2 OVERALL RIGHT SIDE EXTERIOR ELEVATION (RIGHT)
Scale: 1/8" = 1'-0"



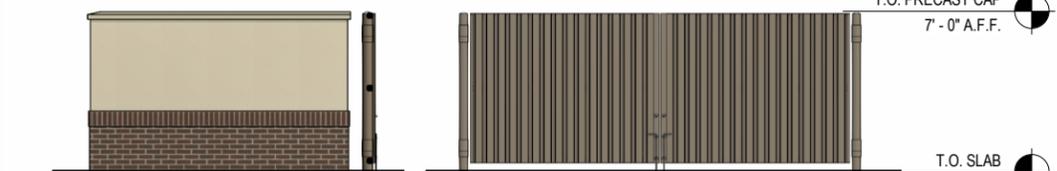
1 OVERALL BACK EXTERIOR ELEVATION
Scale: 1/8" = 1'-0"



4 OVERALL LEFT SIDE EXTERIOR ELEVATION (LEFT)
Scale: 1/8" = 1'-0"



3 OVERALL FRONT EXTERIOR ELEVATION
Scale: 1/8" = 1'-0"



5 OVERALL FRONT & SIDE TRASH ENCLOSURE ELEVATIONS
Scale: 1/8" = 1'-0"

EXTERIOR FINISHES - BRICK / EIFS

EXTERIOR INSULATED FINISH SYSTEM:	DRYVIT (SANDBLEBBLE FINE) COLOR: E.I.F.S. 1 = #113 AMARILLO WHITE	METAL CANOPY:	AWNEX CANOPY SYSTEM - COLOR TO MATCH PAC-CLAD "SILVER"	STOREFRONT SYSTEM:	2x4 1/2" KAWNEER TRIFAB VG 451T SERIES CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM w/ 1" INSULATED GLAZING.
FACE BRICK: (WAINSCOT)	BELDEN - "MODULAR MIDLAND BLEND"	COPING, SOFFIT & TRIM:	PAC-CLAD SNAP EDGE EXTENDED FASCIA (12-1/2") AND VENTED SOFFIT AND TRIM - COLOR TO MATCH PAC-CLAD "SILVER"	H.M. DOORS & FRAMES:	FIELD PAINT W/ SHERWIN-WILLIAMS B66-1300 PRO-CYRL PRIMER FOLLOWED BY (2) FINISH COATS OF B66-300 SHER-CYRL HPA. COLOR SHALL BE SW-7515 "HOMESTEAD BROWN". PROVIDE MOCK-UP AND VERIFY COLOR W/ OWNER
PRECAST CAP:	CUSTOM CAST STONE - "LIGHT BUFF"	ROOF SCUPPERS & DOWNSPOUTS:	DIMENSIONAL METALS, INC. - "BEIGE"	O.H. DOOR FINISH:	CLEAR ANODIZED ALUMINUM
MORTAR:	LEHIGH STANDARD KIT - "BEIGE"	ACCESS PANEL:	STAINLESS STEEL		
MASONRY SEALER:	ALL MASONRY SURFACES SHALL BE TREATED w/ SEALER.				

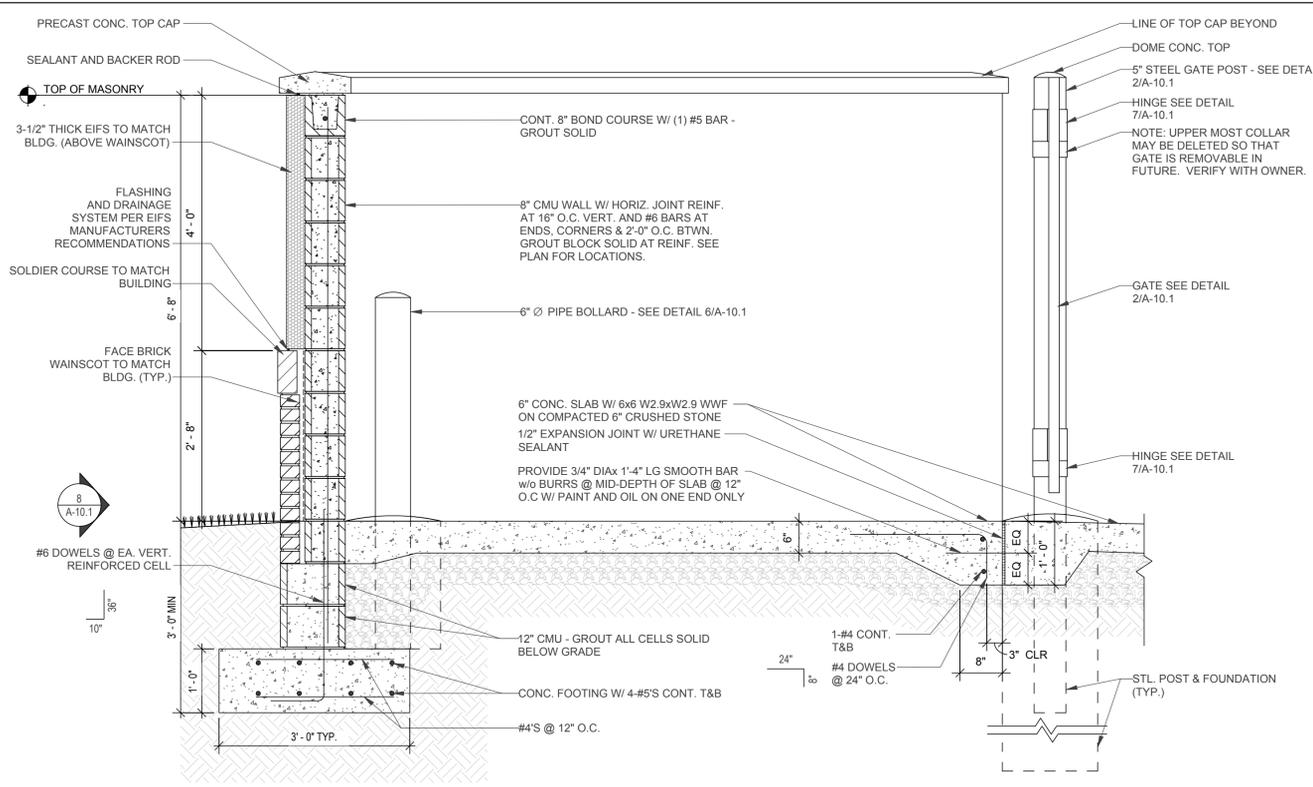
ISSUE RECORD									
DATE	12/15/23								
	SITE PLAN REVIEW								

**4448 E. BLUEGRASS RD.
MT. PLEASANT, MI 48858**

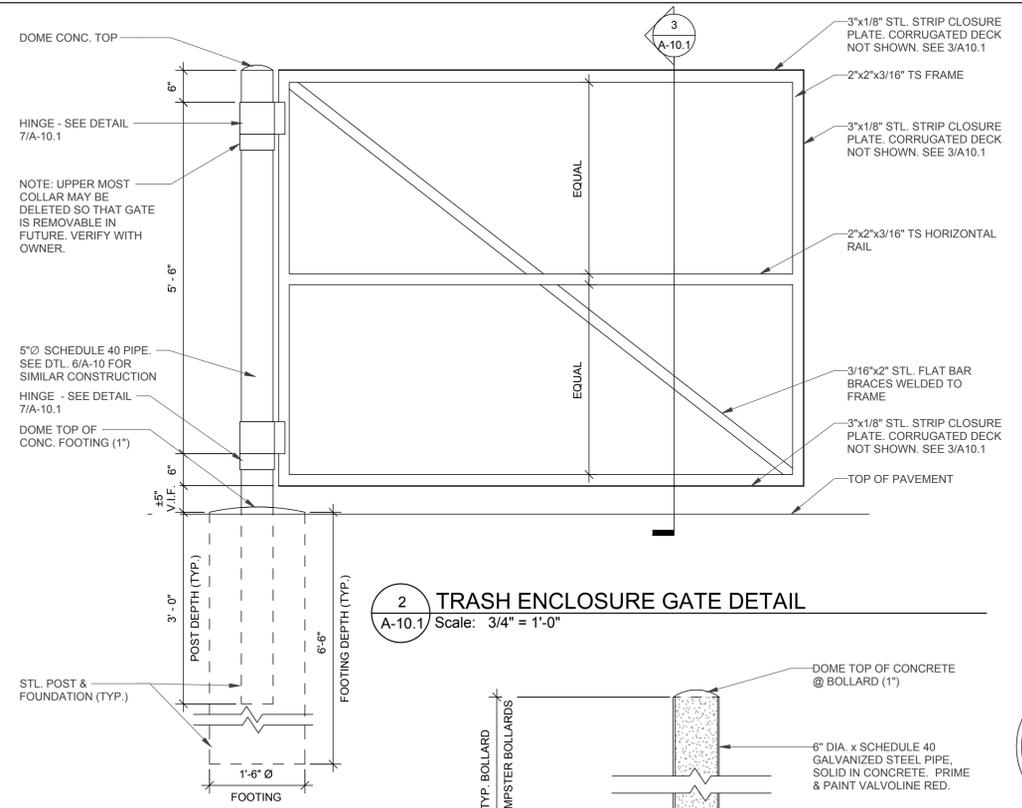


A-3.0

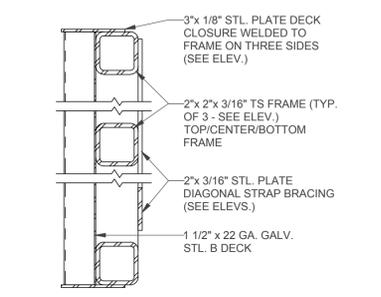
12/13/2023 2:35:04 PM \\192.168.100.22\CDDG\2023 PROJECTS\D2300111 - Valvoline - Mt. Pleasant, MI\100 CURRENT (2BRH-AZ-EXT\WR)\2BRH-AZ Arch.rvt



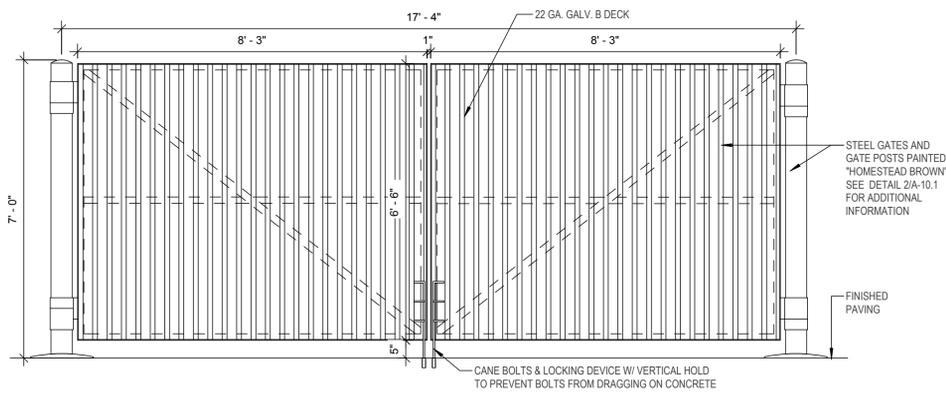
1 SECTION @ TRASH ENCLOSURE
A-10.1 Scale: 3/4" = 1'-0"



2 TRASH ENCLOSURE GATE DETAIL
A-10.1 Scale: 3/4" = 1'-0"

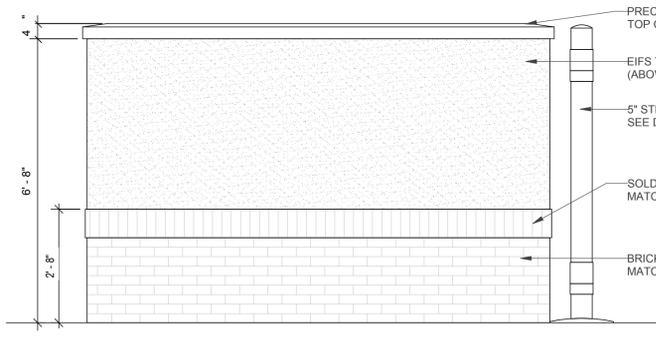


3 GATE SECTION
A-10.1 Scale: 3" = 1'-0"

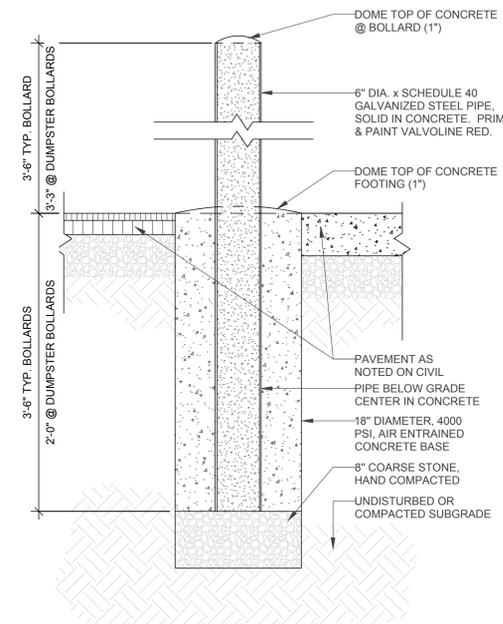


4 A-10.1/4 - DUMPSTER ENCLOSURE FRONT ELEVATION BRICK/EIFS
A-10.1 Scale: 1/2" = 1'-0"

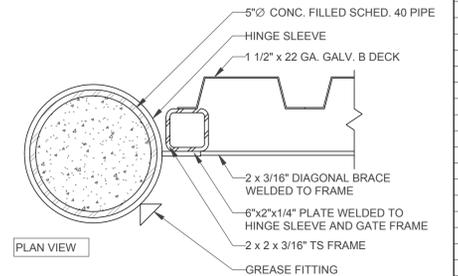
NOTE: ALL EXTERIOR TRASH ENCLOSURE STEEL SHALL BE GALVANIZED



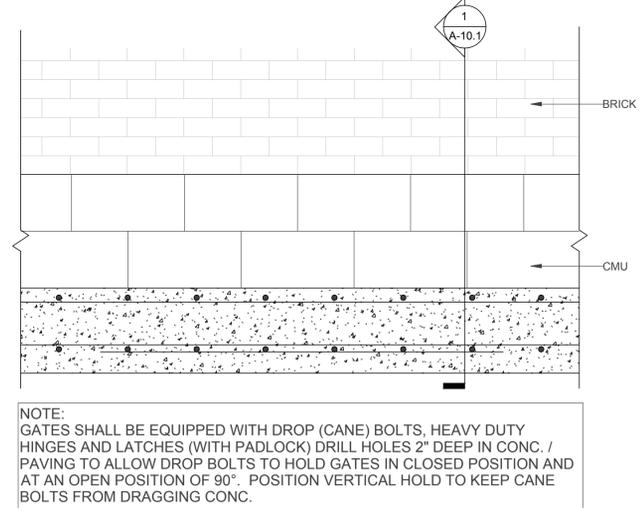
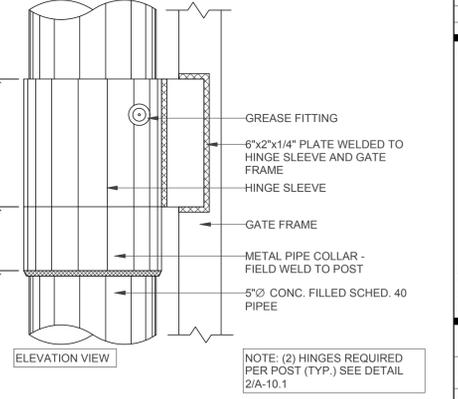
5 TYP. DUMPSTER ENCLOSURE SIDE ELEVATION
A-10.1 Scale: 1/2" = 1'-0"



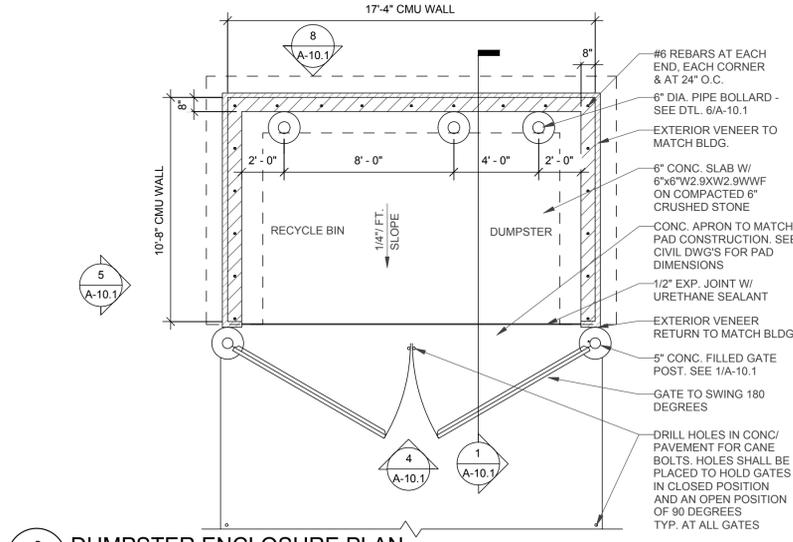
6 BOLLARD DETAIL
A-10.1 Scale: 1" = 1'-0"



7 HINGE DETAIL
A-10.1 Scale: 3" = 1'-0"



8 FOOTING DETAIL
A-10.1 Scale: 1" = 1'-0"



9 DUMPSTER ENCLOSURE PLAN
A-10.1 Scale: 1/4" = 1'-0"

DUMPSTER EXTERIOR FINISH NOTES

- REFER ALSO TO "EXTERIOR FINISHES", SHEET A-3.1 AND A-3.2
- BRICK: MATCH BUILDING BRICK
- STONE: MATCH BUILDING STONE
- MORTAR: MATCH BUILDING MORTAR
- TOP CAP: CUSTOM CAST STONE - "LIGHT BUFF" (OR APPROVED EQUAL)
- SEALER: ALL BRICK SURFACES SHALL BE TREATED W/ SEALER. REFER TO SPECIFICATIONS.
- BOLLARDS / GUARD POSTS: FIELD PAINT: PR-2 FOLLOWED BY TWO COATS OF PT-4
- GATES & GATE POSTS: FIELD PAINT: PR-2 FOLLOWED BY TWO COATS OF PT-2

RYAN R. TRIPHAWN DESIGN, PLLC
CONTACT: RYAN R. TRIPHAWN
2635 PRATTMAN AVENUE, SUITE 200
HOFFMAN ESTATES, IL 60192
PH: 847.452.7278
EMAIL: RTRIPHAWN@GMAIL.COM

COPYRIGHT NOTICE
This drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site names herein, and cannot be reproduced in any manner without the express written permission from the Professional.

DATE	ISSUE
12/08/2023	OWNER REVIEW SET
12/14/2023	SITE PLAN REVIEW

PROFESSIONAL SEAL

PROFESSIONAL LICENSE NO.: ARC191747
CERTIFICATE OF AUTHORIZATION NO.: FRM21314408

PROFESSIONAL IN CHARGE
RYAN R. TRIPHAWN
PROJECT MANAGER
AG
QUALITY CONTROL
JL
DRAWN BY
JL, JG

PROJECT NAME



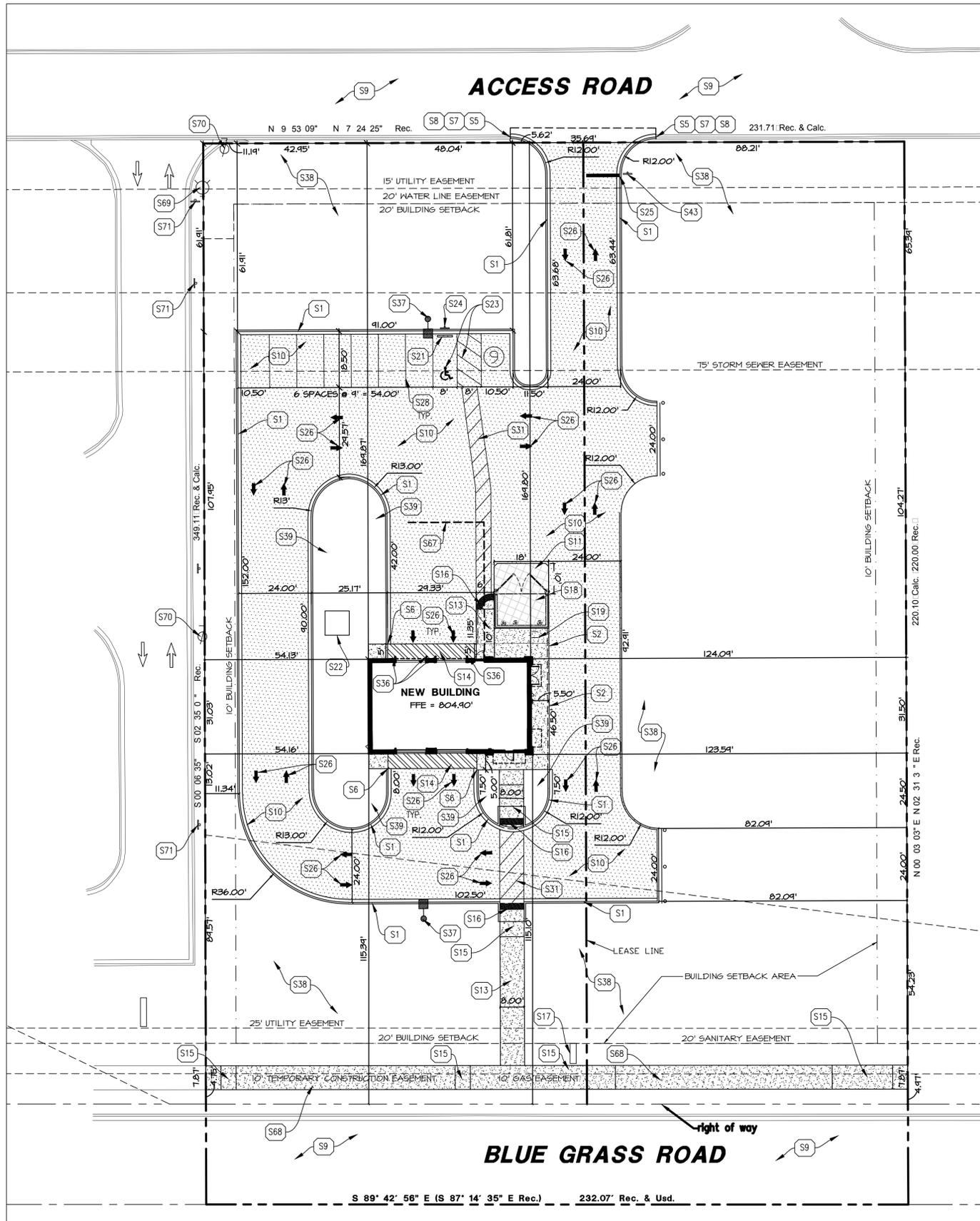
VALVOLINE INSTANT OIL CHANGE

4448 E. BLUEGRASS RD
MT. PLEASANT, MI 48858

PROJECT NUMBER
D2300111

SHEET NAME
DUMPSTER ENCLOSURE

SHEET #
A-10.1



GENERAL SITE NOTES:

1. CONTRACTOR MUST SECURE ALL NECESSARY PERMITS PRIOR TO STARTING WORK.
2. IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING, AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
4. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE STATE AND LOCAL GOVERNMENT AGENCY'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
5. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODE.
6. NOTIFY THE CITY INSPECTOR TWENTY-FOUR (24) HOURS BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
7. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS, AND STAKES.
8. ARCHITECTURAL PLANS ARE TO BE USED FOR BUILDING STAKE OUT.
9. ALL DIMENSIONS ARE FROM FACE OF BUILDING, CURB, AND WALL UNLESS OTHERWISE SPECIFIED ON PLANS.
10. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
11. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATION.
12. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
13. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY SPECIFICATIONS.
14. STANDARD/HEAVY DUTY PAVEMENT AND CONCRETE SECTIONS SHALL FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY GILES ENGINEERING ASSOCIATES, DATED AUGUST 23, 2023.
15. ALL CURB RADII SHALL BE 5' UNLESS OTHERWISE NOTED ON THE PLANS.
16. LOWER-LEVEL EXCAVATION REQUIRED TO BE COMPLETED BY CONTRACTOR.

SITE KEY NOTES

- S1 CURB AND GUTTER.
- S2 INTEGRAL CURB AND SIDEWALK.
- S5 TAPER CURB TO MATCH EXISTING.
- S6 TAPER CURB FROM 6" TO 0" OVER 10'.
- S7 LIMITS OF SAWCUT.
- S8 MATCH EXISTING PAVEMENT ELEVATION.
- S9 EXISTING ASPHALT PAVEMENT TO REMAIN.
- S10 STANDARD DUTY ASPHALT/CONCRETE PAVING
- S11 HEAVY DUTY CONCRETE PAVING
- S13 CONCRETE SIDEWALK.
- S14 BLACK "COLOR TOP" CONCRETE SEALER BY SHERWIN WILLIAMS.
- S15 SIDEWALK RAMP @ 8.33% MAX.
- S16 DETECTABLE WARNINGS PER ADA REQUIREMENTS
- S17 MONUMENT SIGN (PER ARCH. PLANS)
- S18 DUMPSTER ENCLOSURE (PER ARCH. PLANS)
- S19 BICYCLE RACK. (2)
- S21 CONCRETE WHEEL STOP. (1)
- S22 CONCRETE PAD (PER LOCAL CODES)
- S23 ADA ACCESSIBLE PARKING SPACE AND AISLE STRIPING & SYMBOL OF ACCESSIBILITY (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- S24 ACCESSIBLE PARKING SIGN (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- VAN ACCESSIBLE PARKING SIGN (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- S25 STOP BAR (PER LOCAL CODES)
- S26 DIRECTIONAL TRAFFIC ARROW (PER LOCAL CODES)
- S28 PARKING STALL STRIPING (PER LOCAL CODES)
- S31 PEDESTRIAN CROSSWALK STRIPING. (PER LOCAL CODES)
- S34 FIRE DEPARTMENT CONNECTION (SEE ARCH. PLANS)
- S36 BOLLARD (4)
- S37 LIGHT POLE (TYPICAL-PER LIGHTING PLAN)
- S38 LANDSCAPE AREA (PER LANDSCAPE PLAN)
- S39 LANDSCAPE ISLAND (PER LANDSCAPE PLAN)
- S43 "STOP" SIGN
- S66 CONSTRUCTION CAMERA POST
- S67 SERVICE BELL HOSE, (PER ARCH PLANS)
- S68 PROPOSED CONCRETE PUBLIC SIDEWALK.
- S69 EXISTING FIRE HYDRANT TO REMAIN.
- S70 EXISTING LIGHT POLE TO REMAIN. PROTECT DURING CONSTRUCTION.
- S71 EXISTING SIGN TO REMAIN.

SITE DATA SUMMARY:

VALVOLINE TOTAL SITE AREA:	1.68 ACRES/ 73,369 SF
VALVOLINE LEASE AREA:	0.913 ACRES/ 39,784 SF
ZONING	B-5
BUILDING	1,836 SF FOOT PRINT (3672 SF)
FAR:	3672 SF:73369 SF 0.05
LOT COVERAGE:	0.05 (3672 SF)
PARKING REQUIRED:	9 (1 ACCESS, 8 PARKING SPACES)
PARKING PROVIDED:	11 (1 ACCESS, 8 PARKING SPACES, 2 BAY SPACES)
PERVIOUS COVER:	47,877 SF
IMPERVIOUS COVER:	25,492 SF
REQUIRED BICYCLE PARKING	2
PROVIDED BICYCLE PARKING	2



LOCATION MAP (N.T.S)

EXISTING LEGEND:

- EXISTING LIGHT POLE
- EXISTING FIRE HYDRANT

PROPOSED LEGEND:

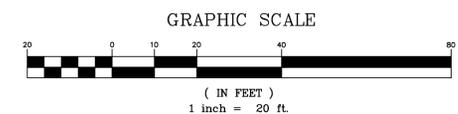
- PROPERTY LINE/LEASE LINE
- PROPOSED CURB
- PROPOSED CURB & GUTTER
- PROPOSED SITE LIGHT, SEE PHOTOMETRIC PLAN
- PROPOSED PARKING SPACES
- EASEMENT LINE
- PROPOSED SAW CUT
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT. REFER TO PAVING PLAN.
- PROPOSED STANDARD DUTY CONCRETE PAVEMENT. REFER TO PAVING PLAN.
- PROPOSED CONCRETE SIDEWALK PAVEMENT. REFER TO PAVING PLAN.
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT. REFER TO PAVING PLAN.
- PROPOSED BLACK "COLOR TOP" CONCRETE SEALER BY SHERWIN WILLIAMS.

PARKING CALCULATION

PARKING REQUIRED:
 1.5 SPACES PER BAY
 1 SPACE PER EMPLOYEE PER SHIFT

EMPLOYEES PER SHIFT: 6 MAX
 NUMBER OF BAYS: 2
 TOTAL STANDARD SPACES REQUIRED: 9

NUMBER OF ADA SPACES: 1
 BAY SPACES: 2
 NUMBER OF STANDARD PARKING SPACES: 8
 TOTAL SPACES PROVIDED: 11



COPYRIGHT NOTICE
 This drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site names herein, and cannot be reproduced in any manner without the express written permission from the Professional.

DATE	ISSUE
12/08/2023	OWNER REVIEW SET
12/15/2023	SITE PLAN REVIEW



12-14-2023
 PROFESSIONAL LICENSE NO. FE-621037906

PROFESSIONAL IN CHARGE
 JASON E. GREEN
 PROJECT MANAGER
 RES
 QUALITY CONTROL
 RES
 DRAWN BY
 TJW

D2300111

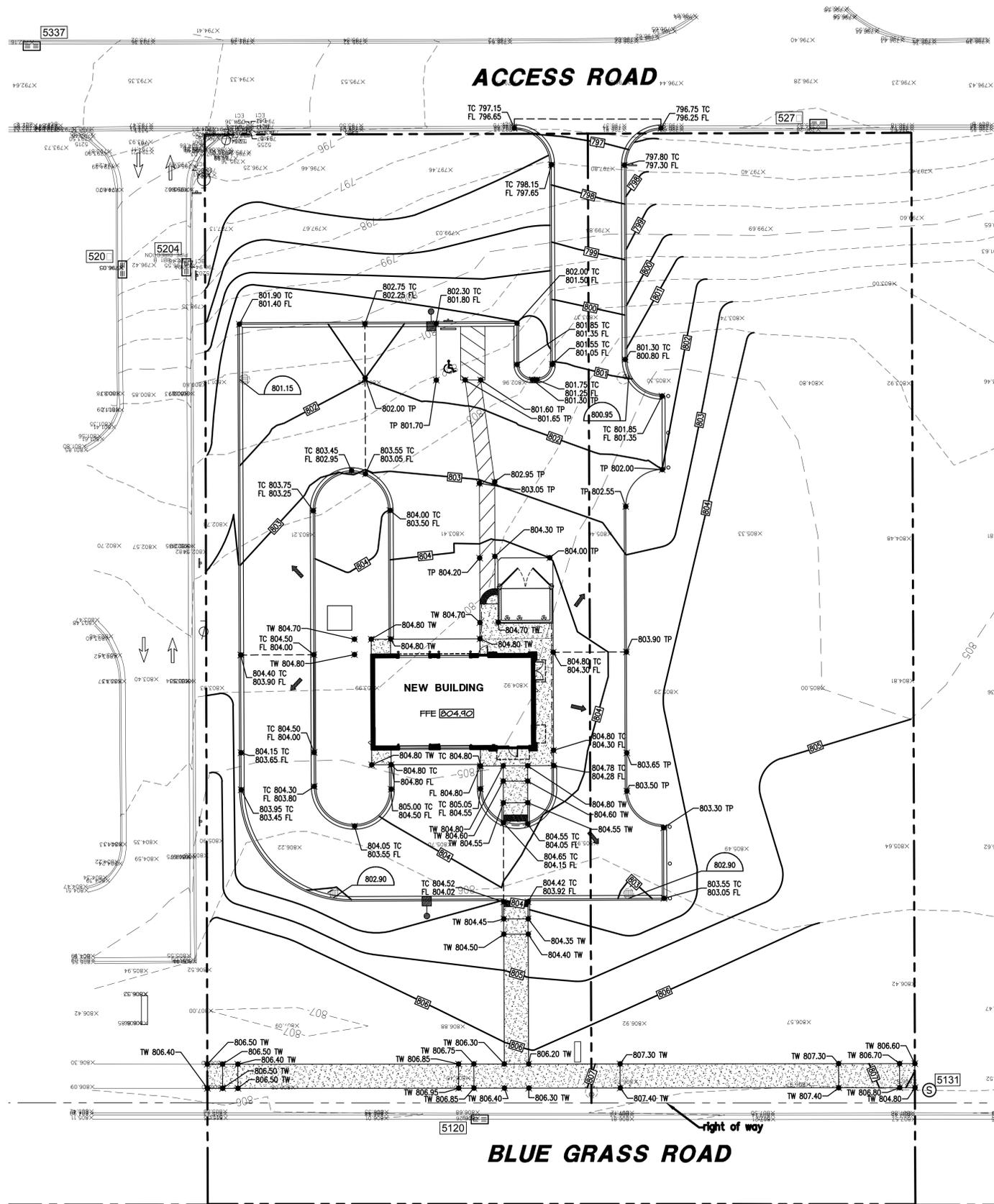


VALVOLINE INSTANT OIL CHANGE
 4448 E. BLUEGRASS ROAD
 MOUNT PLEASANT, MI 48858

PROJECT NUMBER
 D2300111

SHEET NAME
SITE PLAN

SHEET #
C-1.0



GENERAL GRADING/DRAINAGE NOTES:

- ALL GRADING AND SITE PREPARATION SHALL CONFORM WITH SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE CITY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- PRIOR TO ANY EXCAVATION OF THE PROJECT SITE, THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
- ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
- FIELD VERIFY LOCATIONS, SIZES AND IF APPLICABLE INVERTS OF EXISTING UTILITIES FOR PROPOSED CONNECTIONS PRIOR TO CONSTRUCTION.
- LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION.
- INSTALL SILT CONTROL MEASURES BEFORE BEGINNING SITE WORK. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
- INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO GRADING.
- CUT AND FILL SLOPES SHALL HAVE A MAXIMUM SLOPE OF 2:1.
- ALL EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRUCTION OF EMBANKMENTS, CONSTRUCTION FILLS, AND THE FINAL SHAPING AND TRIMMING TO THE LINES AND GRADES SHOWN ON THE PLANS.
- ALL TREES, BRUSH, AND ORGANIC TOPSOIL AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED, UNLESS OTHERWISE SPECIFIED, AND DISPOSED OF AT AN OFF-SITE LOCATION, WITH THE EXCEPTION THAT ENOUGH TOPSOIL SHALL BE RETAINED FOR RESPREAD AND GENERAL LANDSCAPING. AREAS WHICH ARE TO BE FILLED SHALL BE COMPACTED TO A MAXIMUM DENSITY OF 95% AS DETERMINED BY THE MODIFIED AASHTO COMPACTION TEST IN THE PAVED AREAS AND 85% IN THE OTHER AREAS.
- STRIP AND STOCKPILE TOPSOIL. SPREAD FOUR (4) INCHES MINIMUM OF TOPSOIL ON LANDSCAPE AREAS AND REMOVE EXCESS TOPSOIL FROM SITE. PREPARE SUB-GRADE FOR PAVEMENT AND CURBS AND BACKFILL CURBS AFTER CURB CONSTRUCTION.
- PROVIDE SUPPLY OF TOPSOIL FOR LANDSCAPE CONTRACTOR FOR INSTALLATION IN ALL LANDSCAPE ISLANDS.
- PROVIDE AND INSTALL TOPSOIL IN DISTURBED AREAS TO BE GRASSED, TO INCLUDE PAVEMENT SHOULDERS AND DETENTION AREAS.
- ALL EARTHWORK AND BASE COURSE FOR THE PARKING AREA SHALL BE COMPACTED TO A MINIMUM OF 95% MODIFIED LABORATORY DENSITY. CERTIFICATION SAID COMPACTION SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER, OR HIS/HER REPRESENTATIVE, PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL. BOTH PROOF ROLLING AND COMPACTION TESTING MUST BE APPROVED AND WITNESSED BY THE ENGINEER OR OWNER REPRESENTATIVE.
- THE PAVEMENT SUBGRADE AND BASE COURSE MATERIAL SHALL BE INSPECTED AND APPROVED BY THE ENGINEER OR OWNER REPRESENTATIVE PRIOR TO CONSTRUCTING THE BASE AND SURFACE COURSES THEREON.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO ALL INLETS AND CATCH BASINS. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REGRADING OR REPAIR TO MATCH ORIGINAL EXISTING CONDITIONS.
- SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A AND LOCAL REGULATIONS.
- STRUCTURES FOR STORM SEWERS SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS. WHERE GRANULAR TRENCH BACKFILL IS REQUIRED AROUND THESE STRUCTURES, THE COST SHALL BE CONSIDERED AS INCIDENTAL AND SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE STRUCTURE.
- CONFIRM INVERTS OF ALL EXISTING STORM INLETS AND SANITARY SEWER MANHOLES BEFORE COMMENCING CONSTRUCTION.
- ALL STORM SEWER LINES 18"-54" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE ACCORDING TO ASTM C-76 TYPE III, UNLESS OTHERWISE SPECIFIED ON PLANS.
- A GEOTEXTILE MATTING (LANDLOCK TRM 450 OR EQUIVALENT) SHALL BE USED FOR EROSION CONTROL ON ALL SLOPES GREATER THAN 3H:1V.
- DRAINAGE STRUCTURES AND DETENTION POND SHALL BE MAINTAINED BY PROPERTY OWNERS.
- CONTRACTOR SHALL ADHERE TO PROPOSED GRADES ALONG CREEKS, ESPECIALLY IN THE AREA OF THE PROPOSED DETENTION POND. IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY PENALTIES INCURRED.
- ALL PROPOSED SPOT ELEVATIONS SHOWN INDICATE FINISHED GRADED ELEVATIONS AT EDGE OF PAVEMENT AND/OR GRADE BREAKS, UNLESS OTHERWISE NOTED.
- SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.

SITE GRADING NOTES:

- EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE ALTA/NSPS LAND TITLE SURVEY LAST DATED 10-9-2023, PREPARED BY CESO, INC. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR SHALL CONTACT 811 OR 1-800-482-7171 AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE TO PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
- CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- ALL HANDICAP ACCESSIBLE ROUTES (SIDEWALKS, WALKWAYS, PAVEMENTS, ETC.) SHALL MAINTAIN A MAXIMUM GROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%. ACCESSIBLE PARKING STALLS SHALL MAINTAIN A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.
- VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- ALL EXCESS SOILS THAT CANNOT BE USED AS SUITABLE FILL SHALL BE HAULED FROM THE SITE AND LEGALLY DISPOSED OF.
- PREPARE SUBGRADE AS SPECIFIED WITHIN THE GEOTECHNICAL REPORT DATED FEBRUARY 20TH, 2023 PREPARED BY GILES ENGINEERING ASSOCIATES, INC.
- ALL TOPSOIL BENEATH PROPOSED STRUCTURES AND PAVEMENT SHALL BE REMOVED. REFER TO THE GEOTECHNICAL REPORT DATED AUGUST 23RD, 2023 PREPARED BY GILES ENGINEERING ASSOCIATES, INC. FOR EXISTING TOPSOIL DEPTHS.
- EXISTING PAVEMENT AGGREGATE BASE COURSE SHALL NOT BE RE-USED AS AGGREGATE BASE COURSE FOR THE NEW PAVEMENT SECTION.

EXISTING LEGEND:

- +000.00--- EXISTING SPOT GRADE
- 000--- EXISTING CONTOUR LINE
- ⊕ EXISTING LIGHT POLE
- ⊗ EXISTING FIRE HYDRANT
- ⊗ EXISTING WATER VALVE
- ⊗ EXISTING SANITARY MANHOLE
- ⊗ EXISTING CURB INLET

PROPOSED LEGEND:

- PROPERTY LINE
- === PROPOSED CURB & GUTTER
- PROPOSED CURB WITH REVERSE GUTTER PITCH
- PROPOSED RIDGE LINE
- 000--- PROPOSED CONTOUR LINE
- ⊕ XXXX PROPOSED SPOT GRADE
- ⊕ XXXX * INTERPOLATED SPOT GRADE
- > DRAINAGE SLOPE AND DIRECTION
- 00000--- PROPOSED RIM ELEVATION
- ⊕ PROPOSED INLET
- ⊕ PROPOSED CLOSED LID MANHOLE
- ⊕ PROPOSED CATCH BASIN
- TP TOP OF PAVEMENT ELEVATION
- TW TOP OF SIDEWALK ELEVATION
- G FINISHED GRADE ELEVATION
- FF FINISHED FLOOR ELEVATION
- TC TOP OF CURB ELEVATION
- FL FLOW LINE ELEVATION
- ADJUST ADJUST EXISTING RIM ELEVATION
- TF TOP OF FOUNDATION ELEVATION

WT Group
 Engineering • Design • Consulting
 2875 Peoria Avenue | Hoffman Estates, IL 60132
 P: 224-224-1044 | www.wtgroup.com

COPYRIGHT NOTICE
 This drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site names herein, and cannot be reproduced in any manner without the express written permission from the Professional.

DATE	ISSUE
12/08/2023	OWNER REVIEW SET
12/15/2023	SITE PLAN REVIEW

PROFESSIONAL SEAL

 12-14-2023
 PROFESSIONAL LICENSE NO. FE-620757906

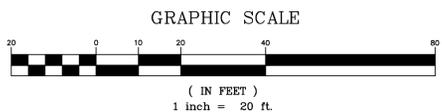
PROFESSIONAL IN CHARGE
JASON E. GREEN
 PROJECT MANAGER
 RES
 QUALITY CONTROL
 RES
 DRAWN BY
 TJW
 D2300111

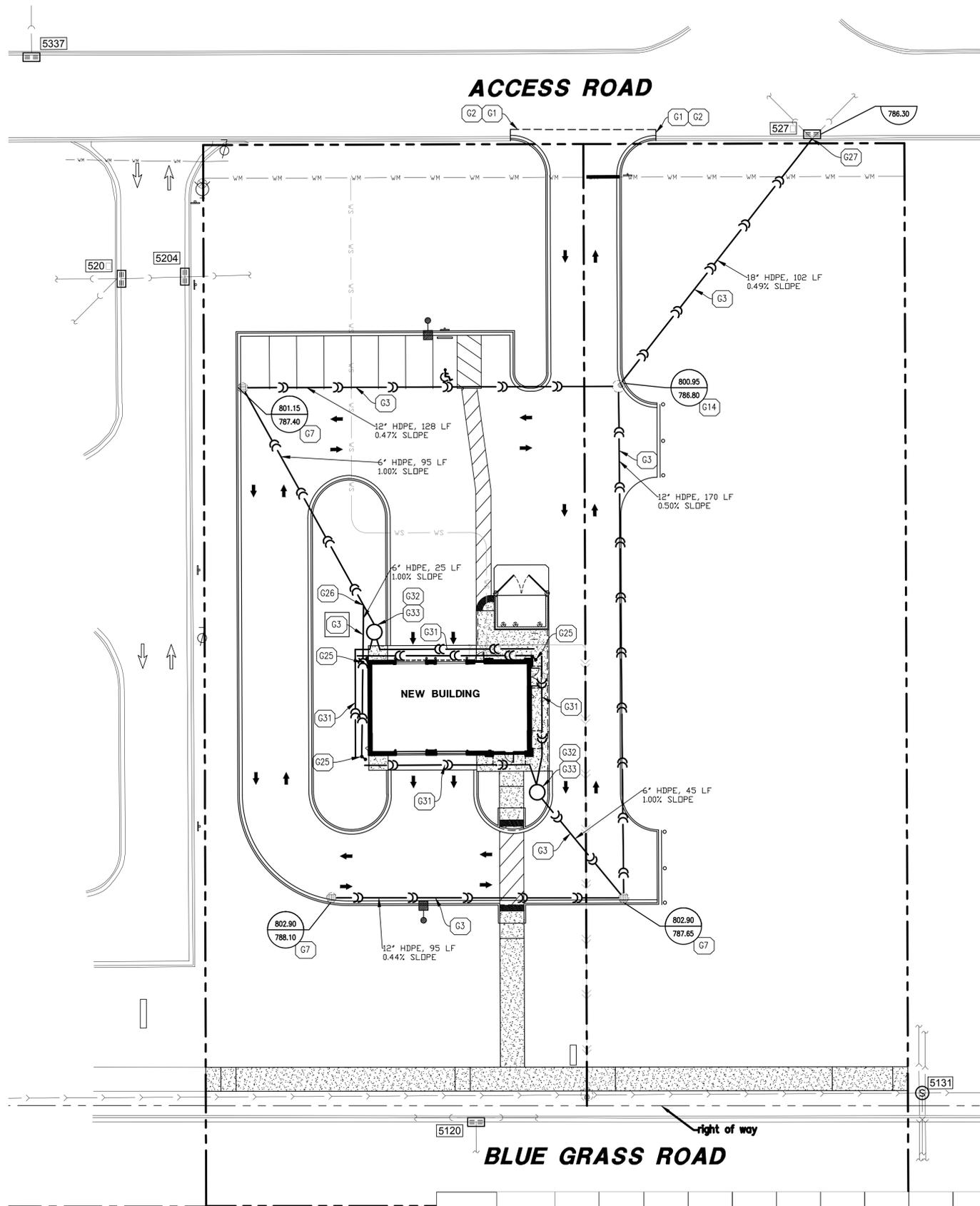
VALVOLINE INSTANT OIL CHANGE
 4448 E. BLUEGRASS ROAD
 MOUNT PLEASANT, MI 48858

PROJECT NUMBER
 D2300111
 SHEET NAME
GRADING PLAN

SHEET #
C-3.0
 039

811
 Know what's below.
 Call before you dig.





GRADING KEY NOTES

- G1 MATCH EXISTING PAVEMENT ELEVATION.
- G2 LIMITS OF SAWCUT AND PAVEMENT REMOVAL
- G3 STORM SEWER (SEE NOTE FOR TYPE, SIZE AND SLOPE)
- G4 STORM SEWER MANHOLE. REFER TO DETAIL ON C-7.2.
- G7 CURB INLET. REFER TO DETAIL ON C-7.2.
- G10 GATE INLET. SEE NOTE FOR GRATE TYPE. REFER TO DETAIL ON C-7.2.
- G14 JUNCTION BOX. REFER TO DETAIL ON C-7.2.
- G25 DOWN SPOUTS - PER ARCH. PLANS (SEE NOTE FOR NUMBER AND SIZE)
- G26 CONNECT DOWN SPOUTS UNDERGROUND TO STORM PIPE (SEE NOTE FOR NUMBER AND SIZE)
- G27 CONNECT TO EXISTING STORM DRAIN PIPE, MANHOLE, STUB-OUT, OR INLET. (CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION)
- G31 REFER TO PLUMBING PLAN FOR FOUNDATION DRAIN DESIGN
- G32 REFER TO PLUMBING AND ELECTRICAL PLANS FOR SUMP PUMP, POWER AND LOW VOLTAGE DESIGN.
- G33 FOUNDATION SUMP PUMP MANHOLE STRUCTURE PER DETAIL ON C-7.2.

EXISTING UTILITY DATA

STORM STRUCTURES

- 5120 - CURB INLET WITH GRATE
RIM = 806.18
FL 18" RCP W & E = 797.5'
FL 12" RCP N = 797.6'
- 5204 - CURB INLET WITH GRATE
RIM = 796.41
FL 24" RCP W & E = 789.9'
- 5208 - CURB INLET WITH GRATE
RIM = 795.92
FL 24" RCP W & E = 790.0'
FL 12" HDPE NE = 792.3'
- 5278 - CURB INLET WITH GRATE
RIM = 795.73
FL 24" RCP SE = 786.1'
FL 18" RCP SW = 786.2'
- 5337 - CURB INLET WITH GRATE
RIM = 792.10
FL 18" RCP S = 786.1'

SANITARY STRUCTURES

- 5105 - SANITARY MANHOLE
RIM = 804.97
FL 10" PVC N,S,W,E = 788.3'
FL 8" PVC N = 794.3'
FL 8" PVC S = 794.3'
FL 6" PVC SSW = 794.8'
- 5131 - SANITARY MANHOLE
RIM = 807.29
FL 10" PVC N,S,W,E = 789.4'
FL 8" PVC N = 795.3'
FL 8" PVC N & S = 795.4'

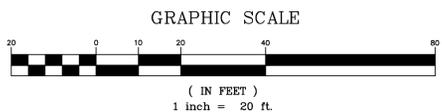
EXISTING LEGEND:

- P — P — PROPERTY LINE
- S — S — EXISTING STORM SEWER
- SS — SS — EXISTING SANITARY SEWER
- WM — WM — EXISTING WATER MAIN
- USE — USE — EXISTING ELECTRIC LINE
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING STORM INLET
- ⊙ EXISTING STORM CURB INLET
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING CATCH BASIN (CIRCULAR GRATE)
- ⊙ EXISTING CATCH BASIN (RECTANGULAR GRATE)
- ⊙ EXISTING UTILITY POLE
- G — G — EXISTING GUY WIRE

PROPOSED LEGEND:

- C — C — PROPOSED CURB & GUTTER
- S — S — PROPOSED STORM SEWER
- SS — SS — PROPOSED SANITARY SEWER
- FM — FM — PROPOSED FORCEMAIN
- WS — WS — PROPOSED WATER SERVICE
- S — S — DRAINAGE SLOPE AND DIRECTION
- ⊙ PROPOSED RIM ELEVATION
- ⊙ PROPOSED INVERT ELEVATION
- V.I.F. VERIFY IN FIELD
- ⊙ PROPOSED INLET
- ⊙ PROPOSED CLOSED LID MANHOLE
- ⊙ PROPOSED CATCH BASIN
- ⊙ PROPOSED B-BOX
- INTERPOLATED

Area Designation	INLET/ M.H. From	INLET/ M.H. To	Length Feet	Area acres	Sum of Area acres	C Value	C'A	CUM. C'A	Time of Conc. (min)	Intensity I10 (in/hr)	Sum of Flows (cfs)	Intensity I50 (in/hr)	Sum of Flows (cfs)	Intensity I100 (in/hr)	Sum of Flows (cfs)	DIA PIPE (INCHES)	CULVERT CAPACITY CFS	DWN STRM HGL	V INLET	V IN PIPE	V HEAD INCOMING (FT) COL 21 SQU / 2G	UP STATION GRATE	HGL COVER COL 28 - COL 34
1	A1	A2	93	0.28	0.28	0.90	0.25	0.25	10.00	4.26	1.07	5.37	1.35	5.82	1.46	12	2.64	88.66	3.36	3.36	0.18	102.90	14.08
2	A2	A3	116	0.43	0.71	0.90	0.38	0.64	10.00	4.26	1.64	5.37	2.06	5.82	2.24	12	2.11	88.21	2.69	2.69	0.11	102.90	14.24
3	A3	A5	50	0.04	0.75	0.90	0.04	0.68	10.00	4.26	0.17	5.37	0.21	5.82	0.23	12	3.60	88.03	4.58	4.58	0.33	103.9	15.69
4	A4	A5	123	0.13	0.88	0.90	0.11	0.79	10.00	4.26	0.48	5.37	0.61	5.82	0.66	12	2.59	88.03	3.30	3.30	0.17	100.95	12.76
5	A5	A6	102	0.21	1.09	0.90	0.19	0.98	10.00	4.26	0.80	5.37	1.01	5.82	1.09	18	10.47	89.00	5.93	5.93	0.55	95.82	7.79



COPYRIGHT NOTICE
This drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site names herein, and cannot be reproduced in any manner without the express written permission from the Professional.

DATE	ISSUE
12/08/2023	OWNER REVIEW SET
12/15/2023	SITE PLAN REVIEW



12-14-2023
PROFESSIONAL LICENSE NO. PE-621037906

PROFESSIONAL IN CHARGE
JASON E GREEN
PROJECT MANAGER
RES
QUALITY CONTROL
RES
DRAWN BY
TJW

D2300111



VALVOLINE INSTANT OIL CHANGE
4448 E. BLUEGRASS ROAD
MOUNT PLEASANT, MI 48858

PROJECT NUMBER
D2300111

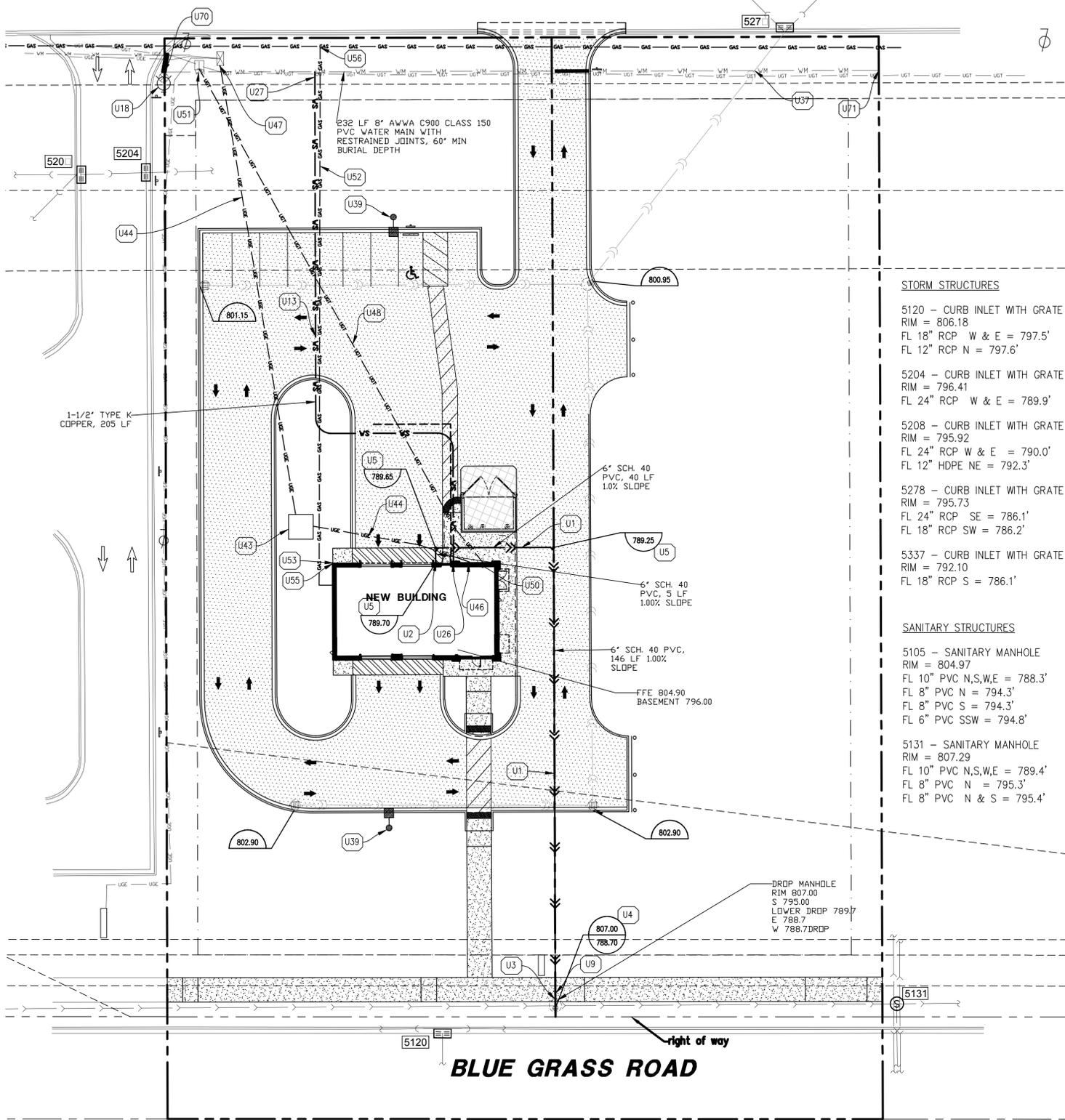
SHEET NAME
DRAINAGE PLAN

SHEET #
C-4.2

NOT ISSUED FOR CONSTRUCTION



ACCESS ROAD



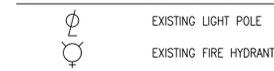
GENERAL UTILITY NOTES:

- CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE NO CONFLICTS EXIST WITH PROPOSED IMPROVEMENTS. NOTIFY ENGINEER IMMEDIATELY IF UTILITIES ARE LOCATED DIFFERENTLY THAN SHOWN. THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY COMPANY IN ORDER TO RELOCATE IF NEEDED IN CONFORMANCE WITH THEIR GUIDELINES.
- CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE REMOVAL OF INDICATED UTILITIES ON SITE (SEE DEMOLITION PLAN). CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS REQUIRED FOR DEMOLITION AND HAUL OFF FROM THE APPROPRIATE AUTHORITIES.
- AUTHORIZATION MUST BE OBTAINED FROM THE XXXXXXXXXX AUTHORITY TO CONSTRUCT, ALTER OR MODIFY A WATER OR SEWER LINE. CONSTRUCTION OF WATER AND SEWER INFRASTRUCTURE WILL BE AUTHORIZED BY THE WATER SYSTEM UPON:
 - APPROVAL OF SUBMITTED PLANS.
 - NOTIFICATION OF THE WATER SYSTEM AT LEAST 24 HOURS PRIOR TO STARTING CONSTRUCTION.
- AT THE COMPLETION OF THE WATER AND/OR SEWER CONSTRUCTION AND PRIOR TO RECORDING THE FINAL PLAN, THE CONTRACTOR WILL FURNISH THE WATER SYSTEM INSPECTOR RECORD DRAWINGS OF THE PROJECT.
- BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE GAS COMPANY FOR THE CONSTRUCTION OF THE GAS LINE BETWEEN METER AND MAIN.
- BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE POWER COMPANY FOR THE CONSTRUCTION OF ELECTRICAL CONDUIT TO PROVIDE SERVICE TO THE TRANSFORMER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, PRIOR TO CONSTRUCTION, ALL EXISTING LOCATIONS AND INVERT ELEVATIONS OF SANITARY SEWERS, STORM DRAINAGE, AND WATER MAINS. IF ANY INVERT ELEVATION VARIES MORE THAN 0.1 FT. FROM RECORD ELEVATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. WORK SHALL NOT PROCEED UNTIL THE CONTRACTOR IS NOTIFIED BY THE ENGINEER.
- CONNECT TO EXISTING UTILITIES AND INSTALL UTILITIES IN COMPLIANCE WITH REQUIREMENTS OF APPROPRIATE JURISDICTIONAL AGENCIES.
- COORDINATE WITH BUILDING PLANS TO ASSURE ACCURACY OF UTILITY CONNECTIONS AND COMPLIANCE WITH LOCAL CODES.
- ALL SEWERS TO BE MAINTAINED THROUGHOUT CONSTRUCTION, INCLUDING CLEANING OF ANY SILT OR DEBRIS ACCUMULATED IN STRUCTURES.
- ALL WATER LINES SHALL HAVE AT LEAST FOUR AND ONE HALF (4.5) FEET ABOVE GROUND COVER FROM THE TOP OF THE PIPE TO THE FINISHED GROUND SURFACE.
- ALL WATER LINES 2" OR SMALLER SHALL BE TYPE K-COPPER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING UTILITY LOCATES.

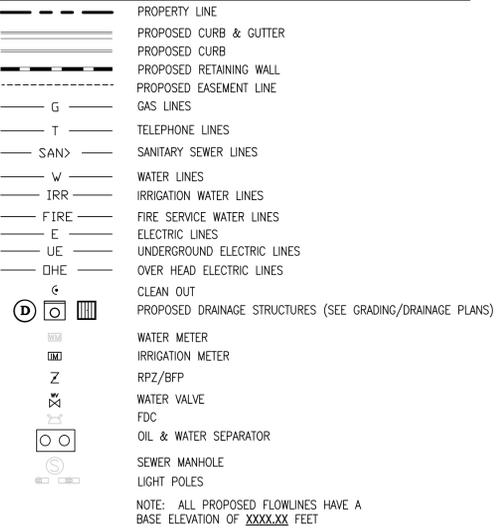
UTILITY KEY NOTES

- U1 SANITARY SEWER (SEE NOTE FOR TYPE, SIZE AND SLOPE)
- U2 SANITARY SEWER POINT OF ENTRY (PER MEP PLANS)
- U3 SANITARY SEWER POINT OF CONNECTION
- U4 SANITARY SEWER MANHOLE, REFER TO DETAIL ON C-7.3
- U5 SANITARY SEWER CLEAN-OUT, REFER TO DETAIL ON C-7.3
- U9 CONNECT TO EXISTING SANITARY SEWER, MANHOLE STUB-OUT OR CLEAN-OUT. (CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION)
- U13 DOMESTIC WATER LINE (SEE NOTE FOR TYPE AND SIZE)
- U18 EXISTING FIRE HYDRANT
- U26 WATER LINE POINT OF ENTRY (PER MEP PLANS)
- U27 WATER LINE POINT OF CONNECTION, TAPPING SADDLE 8" X 1 1/2"
- U28 CONTRACTOR SHALL COORDINATE WITH WATER DEPARTMENT TO ENSURE THAT SERVICE IS NOT INTERRUPTED AT ANY TIME.
- U37 MAINTAIN MIN. 24" VERTICAL SEPARATION BELOW STORM SEWER
- U39 LIGHT POLE LOCATIONS (SEE LIGHTING PLAN FOR DETAILS)
- U43 PROPOSED ELECTRIC TRANSFORMER
- U44 UNDERGROUND ELECTRIC SERVICE
- U46 ELECTRIC SERVICE POINT OF ENTRY (PER MEP PLANS)
- U47 ELECTRIC SERVICE POINT OF CONNECTION
- U48 UNDERGROUND TELEPHONE SERVICE (INSTALL TWO 2" CONDUITS)
- U50 TELEPHONE SERVICE POINT OF ENTRY (PER MEP PLANS)
- U51 TELEPHONE SERVICE POINT OF CONNECTION
- U52 GAS SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH GAS COMPANY FOR THE INSTALLATION OF THE GAS SERVICE LINE.
- U53 GAS METER
- U55 GAS LINE POINT OF ENTRY (PER MEP PLANS)
- U56 GAS LINE POINT OF CONNECTION
- U60 CONTRACTOR TO VERIFY EXISTING UTILITY CONNECTIONS/ LOCATIONS PRIOR TO THE START OF WORK
- U62 LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL.
- U63 ADJUST MANHOLE RIM TO MATCH FINISH FLOOR GRADE.
- U66 ELECTRIC SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH ELECTRIC COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION OF CONDUITS. NO OTHER UTILITIES ALLOWED IN ELECTRIC DITCH. CONTRACTOR SHALL INSTALL TWO (2) - 4" SECONDARY CONDUITS FROM THE TRANSFORMER TO THE BUILDING. (SEE MEP PLANS).
- U68 TELEPHONE SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION OF CONDUITS.
- U69 EXIST TRANSFORMER CONCRETE. CONNECT SECONDARY TO THIS CABINET
- U70 WET CONNECTION TO EXIST 8" GATE VALVE, REMOVE EXISTING STUB AND CAP. ALIGNMENT OF EXISTING WATER MAIN APPEARS TO CONFLICT WITH THE EXISTING ELECTRICAL POWER TRANSFORMER. ROUTE PROPOSED WATER LINE FROM CONNECTION WITH THE EXISTING FIRE HYDRANT TO THE NORTH OF THE TRANSFORMER INSTALLATION USING 45 DEGREE RESTRAINED JOINT ELLS AND 5" MINIMUM LONG JOINTS OF 8" DIA. AWWA C900 CLASS 150 PVC WATER MAIN. ALL WATER MAIN DEPTH TO MATCH EXISTING MAIN DEPTHS. 5' MINIMUM DEPTH. EXCAVATION OF EXISTING DRIVEWAY APPROACH NOT AUTHORIZED BY THIS SET OF PLANS
- U71 INSTALL 8" RESTRAINED JOINT CL 150 AWWA 501 GATE VALVE, 8" AWWA C900 PVC CL 150 5' STUB, RESTRAINED JOINT CAP

EXISTING LEGEND:



PROPOSED LEGEND:



SUMP PUMP ELEVATION TABLE

DESCRIPTION	ELEVATION
FFE FIRST FLOOR	804.90
BASEMENT FLOOR	796.00
FLOW LINE OF DRAIN TILES	795.00 MAX
ELEVATION OF BOTTOM OF EACH SUMP	793.00
HIGH POINT OF EACH FORCE MAIN FLOW LINE	800.90
ELEVATION OF FORCE MAIN OUTLET AT NEW STORM SEWER INLET	798.50 MAX

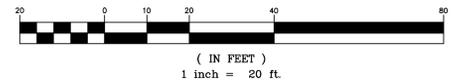
INSTALL 2" DIAMETER, SCH 40 PVC PUSH JOINT FORCE MAINS WITH AN EVEN SLOPE FROM THE HIGH POINT TO THE OUTLET IN THE STORM INLET

FORCE MAINS TO HAVE A HIGH POINT AT THE SUMP AND THEN HAVE A POSITIVE SLOPE DOWN TO THE STORM SEWER THAT IS AT LEAST 0.5%

NOTE TO DESIGNER:
IT IS VALVOLINE'S PREFERENCE TO USE A SINGLE CLEANOUT OUTSIDE OF THE BUILDING ENVELOPE. IN THE INSTANCE THAT THIS IS NOT ALLOWED PER THE AHJ REQUIREMENTS, REFER BACK TO AHJ APPROVED LAYOUT STANDARD.

NOTE TO DESIGNER:
IT IS VALVOLINE'S PREFERENCE TO HAVE BOTH THE DOMESTIC AND IRRIGATION WATER METERS LOCATED INSIDE OF THE BUILDING, WITH THE IRRIGATION INSTALLER BEING RESPONSIBLE FOR PROVIDING AND INSTALLING THE PLUMBING FOR THE IRRIGATION SYSTEM FROM THE EXTERIOR TO THE BACKFLOW PREVENTER LOCATED INSIDE THE BUILDING. IN THE INSTANCE THAT THIS IS NOT ALLOWED PER THE AHJ REQUIREMENTS, REFER BACK TO AHJ APPROVED LAYOUT STANDARD.

GRAPHIC SCALE



COPYRIGHT NOTICE
This drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site names herein, and cannot be reproduced in any manner without the express written permission from the Professional.

DATE	ISSUE
12/08/2023	OWNER REVIEW SET
12/15/2023	SITE PLAN REVIEW



12-14-2023
PROFESSIONAL LICENSE NO. PE-62105/906

PROFESSIONAL IN CHARGE
JASON E. GREEN
PROJECT MANAGER
RES
QUALITY CONTROL
RES
DRAWN BY
TJW

D2300111



VALVOLINE INSTANT OIL CHANGE
4448 E. BLUEGRASS ROAD
MOUNT PLEASANT, MI 48858

PROJECT NUMBER
D2300111

SHEET NAME

UTILITY PLAN

SHEET #

C-6.0

NOT ISSUED FOR CONSTRUCTION



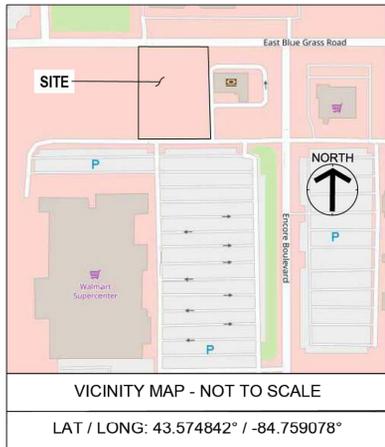


EXHIBIT "A" LEGAL DESCRIPTION

Land Situated in the State of Michigan, County of Isabella, Township of Union.

A Parcel of land to be determined from the following:

Part of the Southwest 1/4 and part of the Southeast 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan, described as: Beginning South 87 deg. 14' 35" East, along the East-West 1/4 line, 1568.51 feet from the West 1/4 corner of said Section 26; thence continuing South 87 deg. 14' 35" East, along said East-West 1/4 line, 1062.06 feet; thence South 02 deg. 35' 08" West, 1158.58 feet; thence South 87 deg. 15' 30" East, parallel with said East-West 1/4 line, 935.88 feet; thence South 02 deg. 54' 01" West, 353.63 feet; thence North 87 deg. 15' 30" West, 576.12 feet; thence South 02 deg. 54' 01" West, parallel to the North-South 1/4 line, 1156.25 feet to the South Section line; thence North 87 deg. 01' 00" West, along said South Section line, 326.65 feet to the South 1/4 corner of said Section 26; thence North 87 deg. 04' 43" West, along said South section line, 804.49 feet to the North right of way line of US-127 B.R.; thence along said North right of way line of US-127 B.R., 333.76 feet along a 3684.72 foot radius curve to the right, having a long chord bearing of North 52 deg. 52' 41" West, 333.64 feet; thence North 02 deg. 24' 38" East, 2476.47 feet back to the Place of beginning.

Except the following parcels:

- Part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan, described as:

Beginning South 87 deg. 14' 35" East along the East-West 1/4 line, 1568.51 feet and South 02 deg. 24' 38" West 351.25 feet from the West 1/4 corner of said Section 26; thence continuing South 02 deg. 24' 38" West 921.02 feet; thence South 87 deg. 24' 52" East 978.18 feet; thence North 02 deg. 35' 08" East 921.00 feet; thence North 87 deg. 24' 52" West 980.99 feet back to the place of beginning.

- Part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan, described as:

Beginning South 87 deg. 14' 35" East along the East-West 1/4 line, 1568.51 feet and South 02 deg. 24' 38" West 1272.26 feet from the West 1/4 corner of said Section 26; thence continuing South 02 deg. 24' 38" West 757.49 feet; thence South 87 deg. 24' 51" East 843.61 feet; thence 274.87 feet along a 260.00 foot radius curve to the left, having a long chord bearing of North 32 deg. 52' 18" East 282.25 feet; thence North 02 deg. 35' 08" East 531.04 feet; thence North 87 deg. 24' 52" West 978.18 feet back to the Place of Beginning.

- Parcel A: Part of the West 20 acres of the Southeast 1/4 and that part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan, described as:

Beginning South 87 deg. 14' 35" East, along the East-West 1/4 line, 2630.59 feet and South 02 deg. 35' 08" West, 1539.79 feet from the West 1/4 corner of said Section 26; thence continuing South 02 deg. 35' 08" West, 260.33 feet; thence 163.23 feet along a 340.00 foot radius curve to the right, having a long chord bearing of South 16 deg. 20' 21" West, 161.67 feet; thence 51.20 feet along a 38.00 foot radius curve to the left, having a long chord bearing of South 08 deg. 30' 15" East, 47.41 feet; thence South 47 deg. 06' 04" East, 79.22 feet; thence North 02 deg. 24' 38" East, 27.49 feet; thence South 87 deg. 35' 22" East 89.50 feet; thence South 02 deg. 24' 38" West, 103.89 feet; thence South 47 deg. 06' 04" East, 41.29 feet; thence 226.75 feet along a 460.00 foot radius curve to the left, having a long chord bearing of South 61 deg. 13' 23" East 224.46 feet to the East line of the West 20 acres of the Southeast 1/4; thence North 02 deg. 54' 01" East, along said East line of the West 20 acres of the Southeast 1/4, 717.08 feet; thence North 87 deg. 24' 52" West, 357.67 feet back to the place of beginning.

- Part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan, described as: Commencing at the West 1/4 corner of Section 26, Town 14 North, Range 4 West; thence South 87 deg. 14' 35" East along the East-West 1/4 line, 2550.58 feet to the West right of way line of Encore Blvd.; thence along said West right of way line of Encore Blvd. on the following two courses: thence South 02 deg. 35' 08" West, 1800.32 feet; thence 234.74 feet along a 260.00 foot radius curve to the right, having a long chord bearing of South 28 deg. 27' 00" West, 226.85 feet; thence along the Northerly right of way of a proposed permanent 80 foot wide right of way on the following five courses: 72.65 feet along a 260.00 foot radius curve to the right, having a long chord bearing of South 62 deg. 19' 11" West, 72.42 feet; thence 162.31 feet along a 463.50 foot radius curve to the right, having a long chord bearing of South 82 deg. 33' 13" West, 161.49 feet; thence North 87 deg. 24' 51" West, 152.13 feet; thence 374.25 feet along a 390.00 foot radius curve to the left, having a long chord bearing of South 65 deg. 05' 43" West, 360.05 feet; thence South 37 deg. 36' 16" West, 300.23 feet to the Northerly right of way line of U.S. 127 B.R.; thence 80.02 feet along a 3684.72 foot radius curve to the left, having a long chord bearing of South 51 deg. 06' 12" East, 80.02 feet; thence North 37 deg. 36' 16" East, 302.04 feet; thence 297.48 feet along a 310.00 foot radius curve to the right, having a long chord bearing of North 65 deg. 05' 43" East, 286.19 feet; thence South 87 deg. 24' 51" East, 152.13 feet; thence 191.92 feet along a 543.50 foot radius curve to the left, having a long chord of North, 82 deg. 28' 30" East, 190.83 feet; thence 95.63 feet along a 340.00 foot radius curve to the left, having a long chord bearing of North 62 deg. 31' 58" East, 95.31 feet; thence North 35 deg. 00' 12" West, 80.00 feet back to the Place of Beginning.

- Part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan, described as: Commencing at the West 1/4 corner of Section 26, Town 14 North, Range 4 West; thence South 87 deg. 14' 35" East along the East-West 1/4 line, 2550.58 feet to the West right of way line of Encore Blvd.; thence along said West right of way line of Encore Blvd. on the following two courses: thence South 02 deg. 35' 08" West, 1800.32 feet; thence 234.74 feet along a 260.00 foot radius curve to the right, having a long chord bearing of South 28 deg. 27' 00" West, 226.85 feet; thence along the Northerly right of way of a proposed permanent 80 foot wide right of way on the following five courses: 72.65 feet along a 260.00 foot radius curve to the right, having a long chord bearing of South 62 deg. 19' 11" West, 72.42 feet; thence 162.31 feet along a 463.50 foot radius curve to the right, having a long chord bearing of South 82 deg. 33' 13" West, 161.49 feet; thence North 87 deg. 24' 51" West, 152.13 feet; thence 374.25 feet along a 390.00 foot radius curve to the left, having a long chord bearing of South 65 deg. 05' 43" West, 360.05 feet; thence South 37 deg. 36' 16" West, 300.23 feet to the Northerly right of way line of U.S. 127 B.R.; thence 80.02 feet along a 3684.72 foot radius curve to the left, having a long chord bearing of South 51 deg. 06' 12" East, 80.02 feet to the true Place of Beginning of the following described clear vision right of way; thence continuing along said Northerly right of way line of U.S. 127 B.R. 200.62 feet along a 3684.72 foot radius curve to the left, having a long chord bearing of South 53 deg. 17' 07" East, 200.60 feet; thence North 07 deg. 40' 11" West, 282.31 feet to the Southerly right of way line of a proposed permanent 80 foot wide right of way; thence South 37 deg. 36' 16" West, along said Southerly right of way line, 201.78 feet back to the place of beginning.

Also excepting therefrom the following described parcel:

Part of the Northeast 1/4 of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, State of Michigan, described as: Beginning South 87 deg. 14' 35" East along the East-West 1/4 line, 2288.73 feet from the West 1/4 corner of said Section 26; thence continuing South 87 deg. 14' 35" East, along said East-West 1/4 line, 261.85 feet to the West right of way line of Encore Drive; thence South 02 deg. 35' 08" West, along said West right of way line of Encore Drive, 348.33 feet; thence North 87 deg. 24' 52" West, 261.85 feet; thence North 02 deg. 35' 08" East, parallel to said West right of way line of said Encore Drive, 349.11 feet back to the place of beginning, as deeded in Liber 1525, Page 430, and corrected in Liber 1526, Page 837, Isabella County Records.

AS-SURVEYED

Situated in the County of Isabella, State of Michigan, Township 14 North, Range 4 West, part of the northeast quarter of the southwest quarter of Section 26, Outlot 2, and being part of a parcel conveyed to Mount Pleasant Holdings Inc. (Liber 1520, Page 221) and being more fully described as follows:

COMMENCING at the west quarter corner of Section 26 and a 3" disc in a monument box found in the centerline of E. Blue Grass Road (public) (66'); thence South 89°42'56" East, along the east and west quarter Section line and said centerline of E. Blue Grass Road, a distance of 2056.66 feet to the TRUE PLACE OF BEGINNING;

Thence South 89°42'56" East, continuing along the east and west quarter Section line and said centerline of E. Blue Grass Road, a distance of 232.07 feet to the northwesterly corner of a parcel conveyed to Members First Credit Union;

Thence South 00°06'35" West, along the westerly line of said Members First Credit Union parcel, a distance of 349.11 feet to the southwesterly corner of said Members First Credit Union parcel, a point on the northerly line of a parcel conveyed to Wal-Mart Real Estate Business and a mad nail found, passing a 1/2" rebar with a "PS 27595" cap found at 33.04 feet;

Thence North 89°53'09" West, along said northerly line of said Wal-Mart Real Estate Business parcel, a distance of 231.71 feet to a 1/2" rebar with a "PS 27595" cap found;

Thence North 00°03'03" East, through said Mount Pleasant Holdings Inc. parcel, a distance of 349.80 feet, passing a 1/2" rebar with a "PS 27595" cap found at 316.74 feet, to the TRUE PLACE OF BEGINNING and containing 1.8603 acres, more or less, as surveyed by Steven W. Clutter, PS 7655, for and on behalf of CESO, Inc. in July 2023.

All deed references are from the Isabella County Recorder's records.

The basis of bearings for this description is Michigan State Plane South Zone (NAD 83, 2011) derived from GPS Observations.

SCHEDULE B - SECTION II

- Items 1 - 9
- NOT A MATTER OF SURVEY
- Right(s) of Way and/or Easement(s) and rights incidental thereto, as granted in a document: Granted to: Consumers Power Company (now known as Consumers Energy) Recording No. Liber 171, Page 523
- LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT. EASEMENT IS BASED ON THE LOCATION OF THE SOUTHWESTERLY LINE OF THE ANN ARBOR RAILROAD RIGHT-OF-WAY. LOCATION OF THE ANN ARBOR RAILROAD CANNOT BE DETERMINED.
 - Intentionally Deleted
 - Right(s) of Way and/or Easement(s) and rights incidental thereto as set forth in a document: In favor of: Union Township
Recording No.: Liber 642, Page 503
- NOT ON SURVEYED PROPERTY
 - Right(s) of Way and/or Easement(s) and rights incidental thereto as set forth in a document: In favor of: Charter Township of Union
Recording No.: Liber 1083, Page 165
- PLOTTED AND SHOWN ON SURVEYED PROPERTY
 - Easements with Covenants and Restriction Affecting Land
Recording Date: December 16, 2005
Recording No.: Liber 1327, Page 250
- BLANKET IN NATURE
First Amendment to Easements with Covenants and Restriction Affecting Land
Recording Date: April 24, 2006
Recording No.: Liber 1344, Page 297
- BLANKET IN NATURE
Second Amendment to Easements with Covenants and Restrictions Affecting Land
Recording Date: June 14, 2022
Recording No.: Liber 1895, Page 4878
- BLANKET IN NATURE
 - Reciprocal Easement Agreement Executed by: Kohl's Michigan, L.P. and Bluegrass Investment Group, LLC Recording Date: April 24, 2006
Recording No.: Liber 1344, Page 312
- NOT ON SURVEYED PROPERTY
 - Michcon Distribution Easement
Recording Date: July 24, 2006
Recording No.: Liber 1356, Page 971
- PLOTTED AND SHOWN ON SURVEYED PROPERTY
 - Covenants, conditions, restrictions and easements but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document
Recording No: Liber 1525, Page 406
- PLOTTED AND SHOWN ON SURVEYED PROPERTY
 - Agreement Regarding Utility Extensions and Access Drive
Executed by: Mount Pleasant Holdings, LLC, a Michigan limited liability company and Members First Credit Union, a Michigan state chartered credit union Recording Date: August 10, 2010
Recording No.: Liber 1525, Page 434
- BLANKET IN NATURE
 - Right(s) of Way and/or Easement(s) and rights incidental thereto as set forth in a document:
In favor of: Charter Township of Union
Recording No: Liber 1561, Page 291
- PLOTTED AND SHOWN ON SURVEYED PROPERTY

SURVEYOR NOTES:

- This survey does not constitute a title search by the surveyor. All information regarding record easements, and other documents that might affect the quality of title to the parcel shown hereon we obtained through a certified title commitment conducted by Fidelity National Title Insurance Company, Commitment Number OH NCS No. GLW2300475, Local File No. GLT2300199 and bearing an effective date of April 3, 2023 at 8:00 a.m.
- Indirect access to the surveyed property is available to E. Blue Grass Road and Encore Boulevard via Liber 1327, Page 250, Liber 1525, Page 406 & Liber 1525, Page 434.
- No roadway improvement plans were disclosed to CESO during the survey.
- The utilities shown are located from field survey information, Underground Detective Utility Locate Scan and/or existing drawings supplied by client (MISSDIG 811 Ticket # 2023070500236). The surveyor makes no guarantee that the utilities located comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities located are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available.
- Parcel is located within Zone "X" (Area of Minimal Flood Hazard) as indicated by the Flood Insurance Rate Map (FIRM) Map Number 26073C0309D, effective date: 2/5/2014 published by the Federal Emergency Management Agency.
- There are 0 regular parking spaces & 0 handicap spaces on the subject parcel.
- The closest intersection is E. Blue Grass Rd. & Encore Blvd. located approximately 320 feet East of the site.
- There was no observed evidence of current earth moving work, building construction or building additions at the time of this survey.
- No proposed changes in street right of way lines were provided to the surveyor. No evidence of street or sidewalk construction or repairs observed at time of survey.

ZONING REPORT

- Zoning report provided by: NDDS National Due Diligence Services
Project No: 2318440-45627
Dated: April 28, 2023
- Zoning District
-B-5: Highway Business
- Adjacent Property Zoning
-North: ROW: E Blue Grass Rd
-South: B-5: Highway Business
-East: B-5: Highway Business
-West: B-5: Highway Business
- Building Setback Requirements
Min. Front from Street: 50'
Min. Corner Side: 50'
Min. Interior Side: 20'
Min. Rear: 25'
* Off-street parking shall be permitted to occupy a portion of the required front yard, provided that there shall be maintained a minimum landscape setback of ten (10) feet between the nearest point of the off-street parking and the nearest road right-of-line as indicated on the Master Thoroughfare Plan.
- Height Restrictions
Maximum Height: 35 feet
Required:
Maximum Stories: None stated
- Area Requirements
Minimum Lot Area: 16,000 sq.ft.
Minimum Lot Width (at building line): 100 feet
Minimum Lot Frontage (at right-of-way): None stated
- Density Requirements
Maximum Floor Area Ratio: None stated
Required:
Maximum Dwelling units per Acre: None stated
Maximum Lot Coverage (for building): 30%
Required:
Minimum Lot Coverage (imperVIOUS): None Stated
- Parking
Parking Use Category: Automobile Repair Shop or Garage, if all operations are conducted in an enclosed building
Parking Space Formula: 1 space/employees based on the largest daily work shift, plus adequate off-street parking for visitors and for vehicles awaiting service or pick-up, based on anticipated use.

SURVEYOR'S CERTIFICATION:

TO: Valvoline LLC, a Delaware limited liability company, and Fidelity National Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1 - 5, 6(a), 6(b), 7(a), 7(b)(1), 8, 9, 11(a)(b), 13, 14, 16, 17, 18, & 20 of Table A thereof. The fieldwork was completed on July 18, 2023
Date of Plat or Map October 9, 2023

Robert E. Matko PS No. 54055 Date _____
matko@cesoinc.com
13060 South US Highway 27
Suite D
Dewitt, Michigan 18820
(517)622-3000



Valvoline LLC

ALTA / NSPS LAND TITLE SURVEY
Northeast One-quarter of the Southwest One-quarter Sec. 26, T-14N, and R-4W
Outlot 2, County of Isabella, State of Michigan

Revisions / Submissions		
ID	Description	Date

Project Number: 762842
Scale: 1" = 30'
Drawn By: MSD
Checked By: SWC
Date: October 9, 2023
Issue:

Drawing Title:

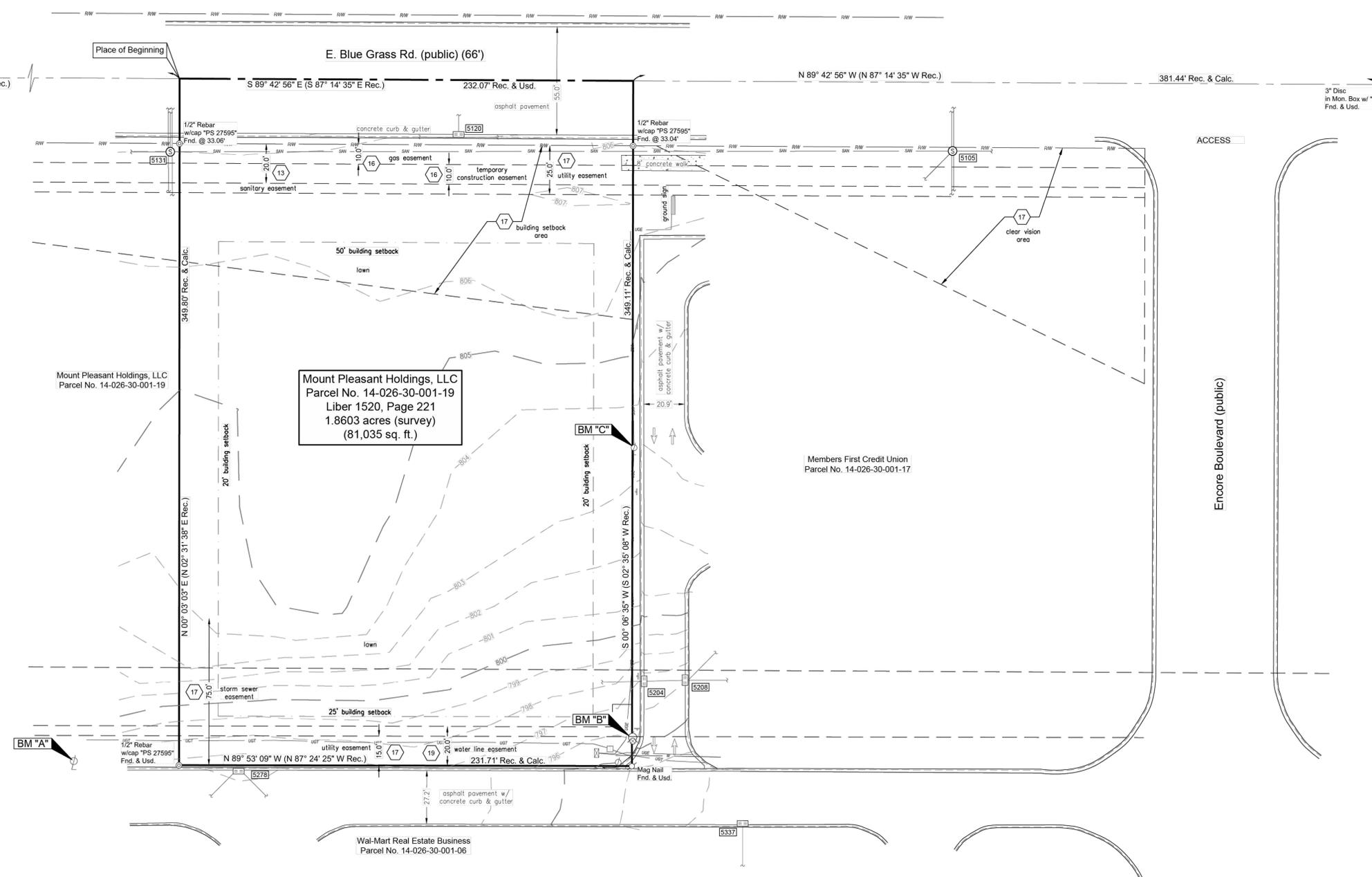


ALTA / NSPS LAND TITLE SURVEY
 Northeast One-quarter of the Southwest One-quarter Sec. 26, T-14N, and R-4W
 Outlot 2, County of Isabella, State of Michigan

Valvoline LLC

Revisions / Submissions		
ID	Description	Date

Project Number: 762842
 Scale: 1" = 30'
 Drawn By: MSD
 Checked By: SWC
 Date: October 9, 2023
 Issue:
 Drawing Title:



- STORM STRUCTURES**
- 5120 - CURB INLET WITH GRATE
 RIM = 806.18
 FL 18" RCP W & E = 797.5'
 FL 12" RCP N = 797.6'
 - 5204 - CURB INLET WITH GRATE
 RIM = 796.41
 FL 24" RCP W & E = 789.9'
 - 5208 - CURB INLET WITH GRATE
 RIM = 795.92
 FL 24" RCP W & E = 790.0'
 FL 12" HDPE NE = 792.3'
 - 5278 - CURB INLET WITH GRATE
 RIM = 795.73
 FL 24" RCP SE = 786.1'
 FL 18" RCP SW = 786.2'
 - 5337 - CURB INLET WITH GRATE
 RIM = 792.10
 FL 18" RCP S = 786.1'

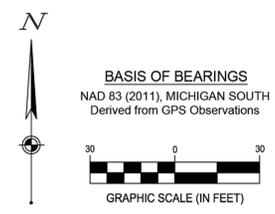
- SANITARY STRUCTURES**
- 5105 - SANITARY MANHOLE
 RIM = 804.97
 FL 10" PVC N,S,W,E = 788.3'
 FL 8" PVC N = 794.3'
 FL 8" PVC S = 794.3'
 FL 6" PVC SSW = 794.8'
 - 5131 - SANITARY MANHOLE
 RIM = 807.29
 FL 10" PVC N,S,W,E = 789.4'
 FL 8" PVC N = 795.3'
 FL 8" PVC N & S = 795.4'

BENCHMARK
 Vertical Datum: NAVD88
 derived from GPS Observations

BM "A": "X" Cut in to Light Pole Base Approximately 348' South of centerline of E. Blue Grass Rd. and 589' West from the centerline of Encore Blvd. Elevation = 800.18'

BM "B": Top Nut of Hydrant Approximately 335' South the centerline of E. Blue Grass Rd. and 295' West from the centerline of Encore Blvd. Elevation = 797.89'

BM "C": "X" Cut in Northwest Bolt of Light Pole Approximately 187' South of the centerline of E. Blue Grass Rd. and 300' West of the centerline of Encore Blvd. Elevation = 806.26'



SURVEY LEGEND

⊙ - Iron Pin Found as Described	Fnd. (F) - Found
⊙ - PK Nail/Mag Nail Found	Usd. (U) - Used
⊙ - Monument Found as Described	Rec. (R) - Deed

TOPOGRAPHIC LEGEND

⊕ Light Pole	☐ Telephone Box
⊕ Electric Transformer	⊕ Fire Hydrant
⊕ Curb Inlet	⊕ Water Valve
⊕ Sanitary Manhole	⊕ Sign

Structure Number

— G —	Gas Line
— W —	Water Line
— UGE —	Underground Electric (Per Plan)
— UGT —	Underground Communications
— STM —	Storm Sewer
— SAN —	Sanitary Sewer

W:\PROJECTS\VALVOLINE\762842 - E Blue Grass Rd. - MT Pleasant MUD4-SURVEY\DWG\762842 - VOC-MT Pleasant_ML_surr.dwg - 10/9/2023 - Aubrey Wagner

PRELIMINARY SITE PLAN REPORT

TO:	Planning Commission	DATE:	January 8, 2024
FROM:	Peter Gallinat Zoning Administrator	ZONING:	B-5, Highway Business District
PROJECT:	PRESR23-03 Preliminary Site Plan approval – Proposed Valvoline Instant Oil Change facility. A 3,224-square-foot building with two bays.		
PARCEL(S):	PID 14-026-30-001-19		
OWNER(S):	Mount Pleasant Holdings LLC (Buyer: Lormax Stern Dev. Co.)		
LOCATION:	Approx. 1.86 acres located at E. Bluegrass Road. in the SW 1/4 of Section 23.		
EXISTING USE:	Vacant lot	ADJACENT ZONING:	B-5
FUTURE LAND USE DESIGNATION:	<i>Commercial/Light Industrial:</i> While currently more auto-centric, [the Bluegrass Center] area has the potential to transition into a more walkable, vibrant center. Future uses should be integrated to include multi-story, mixed-use buildings; first floor retail and office uses; public use and spaces; entertainment and restaurant venues; and additional attached housing types such as townhouses. Both vehicular and pedestrian cross connections should be promoted between sites, providing for future connections through easements, and should collectively promote a vibrant, livable center to the neighboring university population.		
ACTION:	To approve the PRESR23-03 preliminary site plan dated 12/15/2023 for a 3,334 square-foot Valvoline Instant Oil Change facility with two bays on the south side of E. Bluegrass Rd. west of Encore Blvd. in the SW 1/4 of Section 26 and in the B-5(Highway Business) District.		

Site Plan Approval Process

Per Section 14.2.C. of the Zoning Ordinance, both preliminary site plan approval and final site plan approval are required for this project. Per Section 14.2.J., approval of a preliminary site plan by the Planning Commission “*shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas.*” Planning Commission approval of a final site plan “*constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met*” (Section 14.2.L.). Documentation of applicable outside agency permits and approvals will be required as part of a final site plan application.

Background Information

This site was originally planned as part of the larger Union Commons development, and is served by the regional private stormwater management system created for Union Commons and still managed by the developer. Four (4) development parcels were planned along the E. Bluegrass Rd. frontage but not divided until much later when one (1) outlot was created for what is now the Members First Credit Union site on the southwest corner of E. Bluegrass Rd. and Encore Blvd.

Proposed Development Parcel Comments

In 2023, the remaining vacant land was split into three (3) parcels by the owner, Mount Pleasant Holdings, LLC. The Valvoline development parcel (PID 14-026-30-001-19) is located immediately west of the Members First Credit Union. Contingent upon site plan approvals, the Valvoline parcel would be purchased by the Lormax Stern Development Company, which would then lease the entire parcel to Valvoline.

The existing parcel is approximately 232 feet in width. Approximately 116 feet of the parcel width is currently proposed to be used by Valvoline. There are no current plans by Valvoline or Lormax to utilize the remainder of the parcel. This arrangement is inefficient and is not consistent with the intent of the Bluegrass Center Area as described in the Township’s Master Plan. The remaining vacant portion as currently planned does not appear to have sufficient width to support additional commercial development. Staff recommends that the landowners consider a boundary adjustment to incorporate the undeveloped land into an expanded vacant parcel to the west. Staff further recommends that the Valvoline development plan be adjusted to maximize the development potential of the subject parcels.

Preliminary Site Plan Review Comments

The following comments are based on the standards for preliminary site plan approval and specific elements of the proposed site plan:

1. **Section 14.2.P. (Required Site Plan Information).** Except for details noted elsewhere in this report that could be addressed by the applicant on the final site plan for this project, the site plan can conform to the minimum Section 14.2.P. information requirements for a preliminary site plan. However, it is noted by staff that the site plan sheet numbering is inconsistent, making references more of a challenge. The following should be addressed by the applicant on the final site plan:
 - Revise the photometric plan and ALTA survey sheets included in the final site plan to include sheet numbering that is consistent with the rest of the plan set.

2. **Section 8 (Environmental Performance Standards).** The hazardous substance reporting form and EGLE permit checklist form are included in the application materials. Both have been completed. **CONFORMS**

3. **Section 4 (Building Location and the E. Bluegrass Rd. frontage).** The proposed building location is set well back from the E. Bluegrass Rd. frontage, far in excess of the minimum required 20.0-foot front yard setback for the B-5 zoning district. As noted on the ALTA Survey (sheet 2 of 2 in the site plan set), there is a private “building setback” easement on the lot that appears to be designed to protect views of the Union Commons sign at Encore Blvd. The following should be addressed by the applicant on the final site plan:
 - To make the most efficient use of the lot possible, staff recommends that the building location be adjusted to directly abut this private easement line.

- Consistent with the intent of the Bluegrass Center Area as described in the Master Plan and to make efficient use of the land, staff recommends that the applicant consider adding pedestrian amenities or other site design elements within the private easement area of the front yard that would improve visibility for the proposed business from the roadway and provide an amenity for employees.
4. **Section 9 (Off-Street Parking, Loading Requirements).** An instant oil change shop requires 3.5 parking spaces per service bay (including the service bay space), plus (1) space per employee based on the largest daily work shift. The plan on sheet A-1 shows a total of four (4) stacking spaces outside of each bay with nine (9) additional spaces to the south. One (1) barrier-free (ADA) parking space is provided along with the required access aisle and striped crosswalk to the building. A total of 15 parking spaces are proposed. The following details will need to be provided on the final site plan:
- Correct the parking formula calculations on sheet A-1 and C-1 from 1.5 spaces per bay to the minimum required 3.5 spaces required per service bay.
 - Staff recommends that the applicant consider only having seven (7) spaces to the south that are wider than the nine (9) proposed and of a uniform width. The current plan shows varying space widths. This project only requires 13 parking spaces total, of which six (6) are covered by stacking spaces and two (2) service bays. If reconfigured, this arrangement could help accommodate larger vehicles.
 - Correct the barrier-free (ADA) parking space width to match the width shown for the other parking on the final site plan, and correct the information on the barrier-free (ADA) parking detail to be consistent with what is depicted on the plan.
 - Add the required loading space that is accessible by and designed to accommodate the size and height of delivery vehicles typically utilized by the establishment (as noted and delineated on the site plan), in a manner and location that does not interfere with pedestrian or vehicular traffic.
5. **Section 9.6.C (Access Management, Service Drive).** The site will be utilizing two service drives to and from the site (the plan notes these as “Access Roads”). The following details will need to be provided on the final site plan:
- Revise all plan sheets to change labels from “Access Roads” to the more accurate “Service Drives” in accordance with Section 9.6.C.
 - If a boundary adjustment is made (as recommended above under “Proposed Development Parcel Comments”), then provide details for the required cross-access easement agreement for the proposed service drive on the final site plan.
6. **Section 7.10 (Sidewalks and Pathways).** The plan provides for an 8-foot-wide sidewalk connection from E. Bluegrass Road to the business. A sidewalk has been proposed to be constructed along the entire parcel that matches the sidewalk to the west at Members First Credit Union. The following details will need to be provided on the final site plan:
- Identify the width of the sidewalk along E. Bluegrass Road. The plan shows that it

matches the sidewalk on Members First Credit Union, but a width is not given (the width of 8-feet for the connector sidewalk is noted on the plan).

7. **Section 7.14 (Trash Removal and Collection).** A 10-foot, 8-inch by 17-foot dumpster enclosure is proposed in the rear yard south of the building. There is a 10-foot by 10-foot concrete pad proposed in front of the dumpster enclosure. Both a dumpster and recycle bin are proposed inside the enclosure. The enclosure will match the proposed building brick, stone and mortar. The Enclosure will be seven (7)-feet in height. **CONFORMS**

Additional Comments - Looking Ahead to the Final Site Plan

8. **Section 10 (Landscaping and Screening).** Detailed landscape plans are not required at the preliminary site plan stage, but the applicant has provided a preliminary plan for review. The following details will need to be added to the final site plan:
 - Add one (1) more shade tree. The plan notes one (1) shade tree required per five (5) spaces, with two (2) trees shown on the plan. Car stacking and service bay spaces are considered part of the required parking, so a minimum of three (3) shade trees are required for 15 spaces.
 - Add one (1) more shrub. The plan provides for 23 shrubs, but the Zoning Ordinance standards as applied to this site require a minimum of 24 shrubs.
 - Correct the term “street tree” to deciduous trees to differentiate with the ornamental trees required.
 - Off-street parking areas containing greater than ten (10) spaces shall incorporate at least thirty (30) square feet of interior landscaping per parking space. Interior parking lot landscaping shall include the following: Internal islands and medians, Landscaped areas surrounded on three sides by a parking area (i.e., peninsulas or fingers), Landscaped areas at the corners of a parking area and bordered by parking on at least two sides. The current plan will require 450-square-feet for interior landscaping. The interior turf landscaping to the east of the building could be considered but needs to be identified as such with the square-footage total labeled (see section 10.2.F).
 - Please note that for the purposes of this report, staff only considered the developed portion for landscaping requirements. If no boundary adjustment is made (as recommended above under “Proposed Development Parcel Comments”), the site landscaping will need to be adjusted to account for the lineal road frontage of the entire parcel and not just the portion that is being developed.
9. **Section 8.2 (Exterior Lighting).** The plan provides for a lighting plan on page 1 of 1 between the utility and landscaping pages. Although legible on the larger sets, the photometric plan and lighting specifications are not legible on the 11-inch by 17-inch reduced plan set. The plan provides for light poles and five (5) wall pack lights. All lights are down shielded. The light poles appear to be 27-feet in height. The following details will need to be provided on the final site plan

- Correct the plan to show the freestanding pole lighting at a maximum of 22-feet in height measured from the ground level to the centerline of the light source, as required per Section 8.2.E. (Height).
 - Revise the font size or otherwise adjust the photometric plan and lighting specifications to be legible on the 11-inch by 17-inch plan set. If needed, consider separating the photometric plan and specifications on two (2) sheets.
10. **Outside agency approvals.** The applicant is responsible for obtaining all necessary outside agencies permits or approvals prior to submittal of a final site plan application, including from Gourdie Fraser for Storm Water Management, Isabella County Transportation Commission, Township Public Services, Isabella County Road Commission, and the Mt. Pleasant Fire Department.

Objective

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

Key Findings

- The proposed project as designed does not appear to maximize efficient use of the land. A boundary adjustment and relocation of the building forward on the lot should be considered to avoid waste and maximize the development potential of the E. Bluegrass Rd. parcels.
- With the exception of details and recommended changes that can be addressed by the applicant on the final site plan, the plan substantially conforms to Section 14.2.P. (Required Site Plan Information) and Section 14.2.S. (Standards for Site Plan Approval) for a preliminary site plan.

Recommendations

Based on the above findings, I recommend approval of the PRES23-03 preliminary site plan application, subject to any conditions the Planning Commission may choose to add related to the building location on the lot.

Please contact me at (989) 772-4600 ext. 241, or via email at pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat – Zoning Administrator

Draft Motions: PRESPR 23-03 Preliminary Site Plan Review Application
Valvoline Instant Oil Change

MOTION TO APPROVE THE PRELIMINARY SITE PLAN AS PRESENTED:

Motion by _____, supported by _____, to approve the PRESPR23-03 preliminary site plan dated December 15, 2023 for a 3,334 square-foot Valvoline Instant Oil Change facility with two bays on the south side of E. Bluegrass Road west of Encore Blvd. in the southwest quarter of Section 26 and in the B-5 (Highway Business) zoning district, finding that the site plan fully complies with the applicable Zoning Ordinance requirements for preliminary_site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval).

MOTION TO APPROVE THE PRELIMINARY SITE PLAN WITH CONDITIONS:

Motion by _____, supported by _____, to approve the PRESPR23-03 preliminary site plan dated December 15, 2023 for a 3,334 square-foot Valvoline Instant Oil Change facility with two bays on the south side of E. Bluegrass Road west of Encore Blvd. in the southwest quarter of Section 26 and in the B-5 (Highway Business) zoning district, finding that the site plan can comply with the applicable Zoning Ordinance requirements for preliminary_site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s):

1. To make the most efficient use of the lot possible, it is the determination of the Planning Commission to require that the proposed Valvoline building location be adjusted forward to directly abut the private “building setback” easement line depicted on the ALTA survey.
-
-

MOTION TO POSTPONE ACTION:

Motion by _____, supported by _____, to postpone action on the PRESPR23-03 preliminary site plan dated December 15, 2023 for a 3,334 square-foot Valvoline Instant Oil Change facility on the south side of E. Bluegrass Road west of Encore Blvd. in the southwest quarter of Section 26 and in the B-5 (Highway Business) zoning district, finding until _____, 2024 for the following reasons:

MOTION TO DENY:

Motion by _____, supported by _____, to deny the PRESPR23-03 preliminary site plan dated December 15, 2023 for a 3,334 square-foot Valvoline Instant Oil Change facility with two bays on the south side of E. Bluegrass Road west of Encore Blvd. in the southwest quarter of Section 26 and in the B-5 (Highway Business) zoning district, finding that the site plan does not comply with applicable Zoning Ordinance requirements, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:

Charter Township of Union

APPLICATION FOR SPECIAL USE PERMIT APPROVAL

A completed application will contain all information required per the Zoning Ordinance, Section 14.3 (Special Use Permits); and be accompanied by a separate minor site plan or preliminary site plan application per Section 14.02.C. (Site Plan Approval Required).

Minor Site Plan
 Preliminary Site Plan

Name of Proposed Development/Project <u>5339 E. BROADWAY / AIRBNB</u>	
Common Description of Property & Address (if issued) <u>5339 E. BROADWAY RD, MT. PLEASANT, MI 48858</u>	
Applicant's Name(s) <u>BRENT CURTISS</u>	
Phone/Fax numbers <u>517-763-8355</u>	Email <u>curtissbg@gmail.com</u>
Address <u>5374 E. COE RD</u>	City: <u>Shepherd</u> Zip: <u>48883</u>

Legal Description: <input checked="" type="checkbox"/> Attached	<input type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s): <u>14-013-10-032-03</u>
Existing Zoning: _____	Land Acreage: <u>.67</u>	Existing Use(s): <u>Residential</u>
<input type="checkbox"/> ATTACHED: Letter describing the proposed use and how it conforms to Section 14.3.J. (Standards for Special Use Approval)		

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: <u>Brent Curtiss</u> Phone: <u>517-763-8355</u> Email: <u>curtissbg@gmail.com</u> 2. Address: <u>5374 E. COE RD</u> City: <u>Shepherd</u> State: <u>MI</u> Zip: <u>48883</u> Contact Person: <u>Brent Curtiss</u> Phone: <u>517-763-8355</u>
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: <u>Brent Curtiss</u> Phone: <u>517-763-8355</u> Address: <u>5374 E. COE RD</u> City: <u>Shepherd, MI</u> State: <u>MI</u> Zip: <u>48883</u> Signature: <u>[Signature]</u> Interest in Property: <u>owner/lessee/other</u> 2. Name: <u>ROBIN CURTISS</u> Phone: <u>987-304-5834</u> Address: <u>5339 E. BROADWAY RD</u> City: <u>MT. PLEASANT</u> State: <u>MI</u> Zip: <u>48858</u> Signature: <u>[Signature]</u> Interest in Property: <u>owner/lessee/other</u>

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information may be cause for revocation of the special use permit approval. Approval of the requested special use shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.

_____ Date 10/30/23
 Signature of Applicant

Office Use Only

Application Received By: _____ Fee Paid: \$ _____
 Date Received: _____ Escrow Deposit Paid: \$ _____

Charter Township of Union

APPLICATION FOR SITE PLAN REVIEW

Minor Site Plan
 Preliminary Site Plan
 Final Site Plan

A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project <u>5339 E. BROADWAY / AIRBNB</u>		
Common Description of Property & Address (if issued) <u>5339 E. BROADWAY RD, MT. PLEASANT, MI 48058</u>		
Applicant's Name(s) <u>BRENT CURTISS</u>		
Phone/Fax numbers <u>(517) 763-8355</u>	Email <u>curtissbg@gmail.com</u>	
Address <u>5374 E. COE RD</u>	City: <u>SHEPHERD</u>	Zip: <u>48883</u>

Legal Description: <input checked="" type="checkbox"/> Attached	<input type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s): <u>14-013-10-032-03</u>
Existing Zoning: _____	Land Acreage: <u>.67</u>	Existing Use(s): <u>RESIDENTIAL</u>
ATTACHED: Letter describing the project and how it conforms to Section 14.2.S. (Standards for Site Plan Approval)		

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: <u>Brent Curtiss</u> Phone: <u>517-763-8355</u> Email: <u>curtissbg@gmail.com</u>	
	2. Address: <u>5374 E. COE RD</u> City: <u>SHEPHERD</u> State: <u>MI</u> Zip: <u>48883</u> Contact Person: <u>Brent Curtiss</u> Phone: <u>517-763-8355</u>	
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: <u>Brent Curtiss</u> Phone: <u>517-763-8355</u> Address: <u>5374 E. COE RD</u> City: <u>SHEPHERD</u> State: <u>MI</u> Zip: <u>48883</u> Signature: <u>Brent Curtiss</u> Interest in Property: <u>owner/lessee/other</u>	
	2. Name: <u>ROBIN CURTISS</u> Phone: <u>989-304-5834</u> Address: <u>5339 E. BROADWAY RD.</u> City: <u>MT. PLEASANT</u> State: <u>MI</u> Zip: <u>48858</u> Signature: <u>Robin Curtiss</u> Interest in Property: <u>owner/lessee/other</u>	

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.

_____ 10/30/23
 Signature of Applicant Date

Office Use Only

Application Received By: _____ Fee Paid: \$ _____

Date Received: _____ Escrow Deposit Paid: \$ _____

Preliminary Site Plan Review Procedure

Each preliminary site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Preliminary Site Plan Approval

Approval of a preliminary site plan by the Planning Commission shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas in accordance with the standards for preliminary site plan approval specified in subsection 14.2(S). The Planning Commission may, at its discretion and with appropriate conditions attached, authorize limited work to begin for soils exploration, incidental site clearing, and other preliminary site work as specified in the authorization.

Outside Agency Approvals

The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval.

Final Site Plan Review Procedure

Each final site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Final Site Plan Approval

Approval of a final site plan by the Planning Commission constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met.

Minor Site Plan Review Procedure

A minor site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee, and two (2) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and site plans, at a maximum sheet size of 11 inches by 17 inches, at the Township Hall. The Zoning Administrator shall review the application materials and site plan for completeness, accuracy, and compliance with all applicable requirements and standards of this Ordinance and other Township ordinances.

The minor site plan shall be approved by the Zoning Administrator upon determination that all required information for the type of site plan has been provided per subsection 14.2(P), the site plan satisfies the applicable standards for site plan approval per subsection 14.2(S); and the site plan conforms to all other applicable requirements and standards of this Ordinance and other Township ordinances.

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: n/a

Name of business owner(s): Brent Curtiss & Robin Curtiss

Street and mailing address: 5339 E. Broadway Rd, Mt Pleasant

Telephone: (517) 763-8355

Fax: _____

Email: curtissbg@gmail.com

I affirm that the information submitted is accurate.

Owner(s) signature and date: 

Information compiled by: _____

PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

Michigan.gov/EGLEpermits

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: Michigan.gov/EHSGuide. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

How Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
1) Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), <u>Permit Section</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
2) Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, <u>Asbestos Program</u> , 517-284-6777	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
3) Please consult the <u>Permitting at the Land and Water Interface Decision Tree</u> document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - <u>Joint Permit Application</u> , 517-284-5567:		
a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
d. Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
4) Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? Union Township and Isabella County	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
5) Does the project involve the construction or alteration of a water supply system system? Union Township Public Services Department and <u>Drinking Water & Environmental Health Division (DWEHD)</u> , 517-284-6524	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
6) Does the project involve construction or alteration of any sewage collection or treatment facility? Union Township Public Services Department and <u>WRD, Part 41 Construction Permit Program (staff)</u> , 906-228-4527, or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
7) Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? Union Township and <u>Public Swimming Pool Program</u> , 517-284-6541, or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
8) Does the project involve the construction or modification of a campground? Union Township and <u>DWEHD,Campgrounds program</u> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

9) Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), <u>Solid Waste</u> , 517-284-6588, or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
10) Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, <u>Hazardous Waste Section, Treatment, Storage and Disposal</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Drinking (Potable) Water Supply?		
11) I am buying water from the municipal water supply system Contact the Union Township Public Services Dept.	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
12) I have a Non-Community Water Supply (Type II) <u>Guide</u> , <u>Contact (District or County) Local Health Department</u> , 517-485-0660	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
13) I am a community water supply (Type I) <u>Community Water Supply, DWEHD District Office Community Water Supply Program</u> , 517-284-6512	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
14) Do you desire to develop a <u>withdrawal of over 2,000,000 gallons of water per day from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways?</u> WRD, <u>Great Lakes Shorelands Unit, Water Use Program</u> , 517-284-5563	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Wastewater Discharge System?		
15) NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, <u>EGLE District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u> , 517-284-5568	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
16) Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, <u>Permits Section</u> , or <u>EGLE District Office</u> , 517-284-5588	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
17) Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, <u>Groundwater Permits Program</u> , 517-290-2570	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
18) Does the project involve the drilling or deepening of wells for waste disposal? <u>Oil, Gas and Minerals Division (OGMD)</u> , 517-284-6841	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Operation and Air Emissions?		
19) Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, <u>Permit Section</u> , 517-284-6634	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
20) Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, <u>Acid Rain Permit Program</u> , 517-780-7843	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Waste Management?		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? <u>MMD</u> , 517-284-6588 or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? <u>MMD, Hazardous and Liquid Waste</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (<u>Hazardous Waste Program Forms & License Applications</u>) <u>MMD, EGLE District Office</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, <u>Radioactive Material and Standards Unit</u> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD <u>Radioactive Material and Standards Unit</u> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, <u>Medical Waste Regulatory Program</u> , 517-284-6594	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Sector-Specific Permits May be Relevant to My Business?		
Transporters	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste? MMD, <u>Transporter Program</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
28) Does the project involve the <i>transport</i> of hazardous waste? MMD, <u>Transporter Program</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, <u>Water Hauler Information</u> , 517-284-6527	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, <u>Septage Program</u> , 517-284-6535	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
31) Do you store, haul, shred or process <i>scrap tires</i> ? MMD, <u>Scrap Tire Program</u> , 517-284-6586	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Sectors	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, <u>Dry Cleaning Program</u> , 517-284-6780	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? <u>Laboratory Services Certifications</u> , 517-284-5424	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, <u>Public Swimming Pools Program</u> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
35) Does the project involve the operation of a <i>campground</i> ? <u>Union Township and DWEHD, Campgrounds</u> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Permits Do I Need to Add Chemicals to Lakes and Streams?		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, <u>Aquatic Nuisance Control</u> , 517-284-5593	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, <u>Surface Water Assessment Section</u> , 517-331-5228	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Why would I be subject to Oil, Gas and Mineral Permitting?

<p>38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, <u>Petroleum Geology and Production Unit</u>, 517-284-6826</p>	<p>Y <input type="checkbox"/></p>	<p>N <input checked="" type="checkbox"/></p>
<p>39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u>, 517-284-6826</p>	<p>Y <input type="checkbox"/></p>	<p>N <input checked="" type="checkbox"/></p>
<p>40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, <u>Radioactive Protection Programs</u>, 517-284-6581</p>	<p>Y <input type="checkbox"/></p>	<p>N <input checked="" type="checkbox"/></p>
<p><u>Petroleum & Mining</u>, OGMD, 517-284-6826</p>		
<p>41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?</p>	<p>Y <input type="checkbox"/></p>	<p>N <input checked="" type="checkbox"/></p>
<p>42) Does the project involve the surface or open-pit mining of metallic mineral deposits?</p>	<p>Y <input type="checkbox"/></p>	<p>N <input checked="" type="checkbox"/></p>
<p>43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?</p>	<p>Y <input type="checkbox"/></p>	<p>N <input checked="" type="checkbox"/></p>
<p>44) Does the project involve mining coal?</p>	<p>Y <input type="checkbox"/></p>	<p>N <input checked="" type="checkbox"/></p>
<p>45) Does the project involve changing the status or plugging of a mineral well?</p>	<p>Y <input type="checkbox"/></p>	<p>N <input checked="" type="checkbox"/></p>
<p>46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?</p>	<p>Y <input type="checkbox"/></p>	<p>N <input checked="" type="checkbox"/></p>

Contact **Union Township** and EGLE Permits & Bonding, OGMD, 517-284-6841

5339 E. Broadway Rental

Owner information

Brent Curtiss (Owner & Local Agent)
5374 E. Coe Rd
Shepherd, MI 48883
(517) 763-8355; curtissbg@gmail.com

Property Information

5339 E. Broadway Rd
Mt. Pleasant, MI 48858

Purpose

We would like to utilize our studio apartment located at 5339 E. Broadway as a special use short term rental through the Airbnb platform. The period of time shall be 1-30 nights with a maximum of 1 rental in any 4-night period.

Listing Description (posted on Airbnb site)

Centrally located, close to CMU Campus, Downtown Mt. Pleasant, & multiple golf courses. The Soaring Eagle Casino is less than 1.5 miles away, perfect for that concert or any casino event!

The Studio Apt. offers a queen bedroom set behind the privacy of the sliding barndoors. The queen air mattress located in the living room provides accommodation for up to 2 people.

The back deck is the perfect place to enjoy your morning coffee or grill out & relax in the evenings!

House Instructions (posted on Airbnb site)

The entrance and parking to the Studio is on the west side of the house and the north side of the garage. You will enter the key code provided the day of your check in. After entering your access code, press the fingerprint area pictured on the keypad. To lock the door, brush your hand across the keypad when leaving.

When checking out, please leave all towels on the floor of the shower. Bedding can remain on the bed. All dishes should be loaded in the dishwasher and the dishwasher set to clean before checking out. All trash should be placed in the Waste Management dumpster located on the west side of the studio apartment.

Pets (posted on Airbnb site)

No pets are allowed in or at the studio apartment.

Noise Ordinance (posted on Airbnb site)

The Township supports a nuisance ordinance that includes but shall not be limited to outside noise that is clearly audible at a road-right-of-way or lot boundary of the premises, and that unreasonably interferes with the comfort, quiet, and repose of others in the area between 10:00pm and 7:00am on Sunday, Monday, Tuesday, Wednesday, or Thursday nights; and between 11:00pm and 7:00am on Friday and Saturday nights.

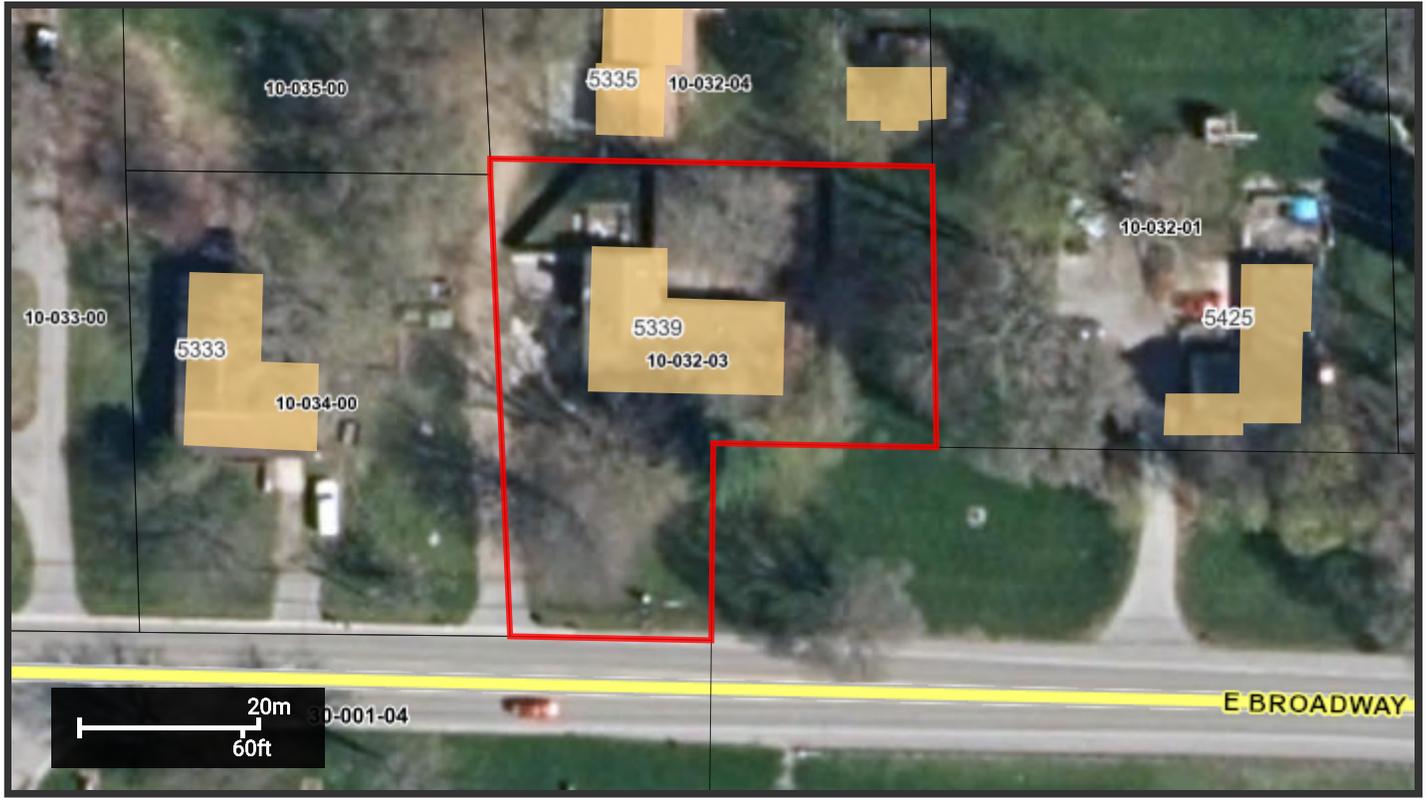


Isabella County GIS Tax Info

Parcel Report: 14-013-10-032-03

10/30/2023

8:01:21 AM



Property Address

5339 E BROADWAY RD
MT PLEASANT, MI, 48858

Owner Address

CURTISS BRENT & CURTISS ROBIN
--
5339 E BROADWAY RD
MT PLEASANT, MI 48858

Unit: 14
Unit Name: UNION

General Information for 2023 Tax Year

Parcel Number: 14-013-10-032-03

Prop. Class Code:	401
Prop. Class Name:	RESIDENTIAL-IMPROVED
School Dist Code:	37010
School Dist Name:	MT PLEASANT CITY SCHOOL DIST

Assessed Value:	\$79,700
Taxable Value:	\$71,911
State Equalized Value:	\$79,700
Exemption Percent:	100

Prev Year Info

Prev Year Info	MBOR Assessed	Final SEV	Final Taxable
2022	\$71,800	\$71,800	\$68,487
2021	\$66,300	\$66,300	\$66,300

Land Information

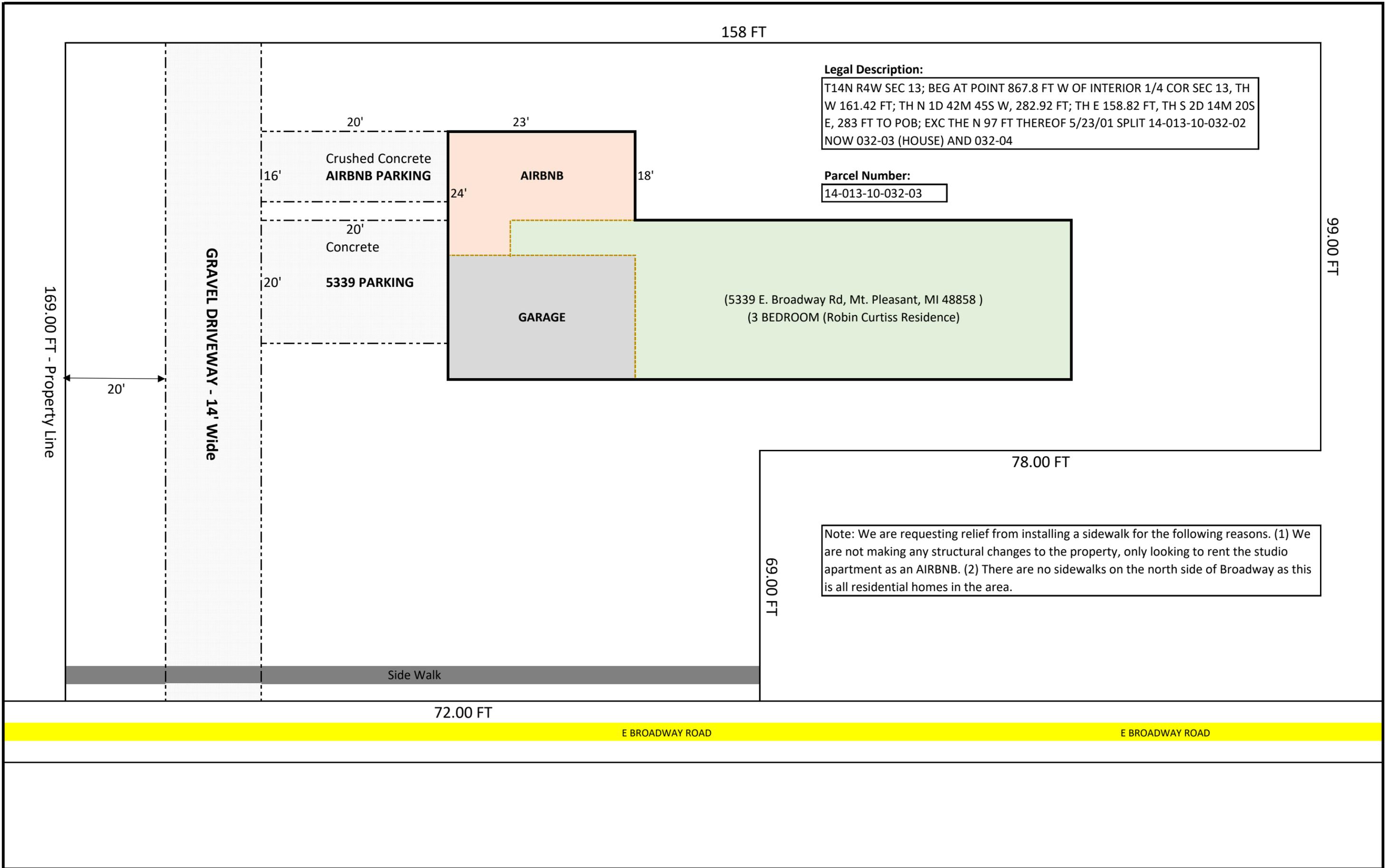
Acreage:	0.67
Zoning:	
Town/Range/Sec	14N 04W 013

Legal Description

T14N R4W SEC 13; BEG AT POINT 867.8 FT W OF INTERIOR 1/4 COR SEC 13, TH W 161.42 FT; TH N 1D 42M 45S W, 282.92 FT; TH E 158.82 FT, TH S 2D 14M 20S E, 283 FT TO POB; EXC THE N 97 FT THEREOF 5/23/01 SPLIT 14-013-10-032-02 NOW 032-03 (HOUSE) AND 032-04

Sales Information

Sale Date: 08-18-2020



Legal Description:
 T14N R4W SEC 13; BEG AT POINT 867.8 FT W OF INTERIOR 1/4 COR SEC 13, TH W 161.42 FT; TH N 1D 42M 45S W, 282.92 FT; TH E 158.82 FT, TH S 2D 14M 20S E, 283 FT TO POB; EXC THE N 97 FT THEREOF 5/23/01 SPLIT 14-013-10-032-02 NOW 032-03 (HOUSE) AND 032-04

Parcel Number:
 14-013-10-032-03

Note: We are requesting relief from installing a sidewalk for the following reasons. (1) We are not making any structural changes to the property, only looking to rent the studio apartment as an AIRBNB. (2) There are no sidewalks on the north side of Broadway as this is all residential homes in the area.

99.00 FT

69.00 FT





















SPECIAL USE PERMIT APPLICATION PRESENTATION

TO:	Planning Commission	DATE:	January 5, 2024
FROM:	Peter Gallinat, Zoning Administrator	ZONING:	R-2B One and Two Family, Medium Residential District.
PROJECT:	PSUP23-01 Special Use Permit Application, Short Term Rental.		
PARCEL(S):	PID 14-013-10-032-03		
OWNER(S):	Curtiss, Brent & Robin.		
LOCATION:	Approximately .67 acres located at 5339 E. Broadway Road in the NW 1/4 of Section 13.		
EXISTING USE:	Existing single-family dwelling	ADJACENT ZONING:	R-2B, R-4
FUTURE LAND USE DESIGNATION:	<i>Residential:</i> This category is meant to promote single-family homes on a variety of lot sizes. With new development, subdivision design should protect open space and natural features and limit single driveways onto corridors.		
ACTION REQUESTED:	To present PSUP23-01 special use application for a proposed short-term rental located at 5339 E. Broadway Road in the NW ¼ Section 13 and in the R-2B (One and Two Family, Medium Residential) zoning district.		

Background Information

In October of last year, it came to the attention of Township staff that the residential building at 5339 E. Broadway Road was being used for a short-term rental through AirBNB. The owner was notified that this type of use needed Township rental certification and special use permit approvals to continue. The owner/applicant met with Township staff to discuss the requirements to operate a short-term rental. The owner also considered the options of using the property as a long-term rental, but decided to pursue a special use permit for a short-term rental use.

This is the first application for a short-term rental since the special use was added to the Zoning Ordinance in 2020. For the benefit of both the applicant and the Planning Commission, it was decided by Township staff to first introduce the application to the Commission before any formal public hearing is scheduled.

Review Comments

Section 14.3J. of the Zoning Ordinance establishes the standards for special use approval. No special use permit shall be granted unless the Planning Commission makes affirmative findings of fact and records adequate data, information, and evidence showing that:

Section 14.3.J. (Standards for Special Use Approval)		Status	
1	The proposed land use is identified in Section 3 as a special use in the zoning district.	Conforms	
	Short-Term Rental Housing is listed in Section 3.9 as a special use in the R-2B (One and Two Family, Medium Density Residential District).		
2	The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of traffic, noise, vibration, smoke, fumes, odors, dust, glare, light, drainage, pollution or other adverse impacts.	Conforms	
	The proposed use conforms to this standard.		
3	The special use will be designed, constructed, operated, and maintained in a manner compatible with adjacent uses, the surrounding area, and the intent of the zoning district. Where determined necessary by the Planning Commission, the applicant has provided adequately for any restrictions on hours or days of operation, minimization of noise, and screening improvements or other land use buffers to ensure land use compatibility and minimize adverse impacts.	Conforms	
	The plan indicates the expected frequency that the unit will be rented. The plan also indicates the Township Noise Ordinance hours for quiet times.		
4	The special use location and character is consistent with the general principles, goals, objectives, and policies of the adopted Master Plan.	Conforms	
	The special use for the short-term rental does not change the residential character of the residential property. The use provides for new housing options for visitors to the Township and the greater Mt. Pleasant area.		
5	The proposed special use conforms to all applicable requirements or standards of this Ordinance or other Township ordinances.	Conforms	
	Section 6.58.A Short-Term Rental Housing:		
	1. General Standards. All short-term rentals shall conform to the following general standards: <ul style="list-style-type: none"> a. The dwelling is an allowable land use in the zoning district and there are no unresolved Township ordinance violations associated with the lot, structure or other improvements. b. The dwelling and premises shall be maintained in good repair at all times. There shall be no change in the appearance of the dwelling or premises, or other visible evidence of the rental. External and internal alterations not customary for a single-family dwelling are prohibited. 		
	2. Zoning Permit Required. In addition to the required Special Use Permit approval, an annual zoning permit must be obtained from the Zoning Administrator prior to establishing a short-term rental. Annual zoning permits must be renewed each year prior to the date of permit expiration.		Can Conform
	3. Period of Time. The short-term rental may be for any period from one (1) night to thirty (30) nights. A maximum of one (1) short-term rental event shall occur in any four (4) night period.		Conforms
4. Occupancy. The maximum occupancy for the short-term rental shall be no more than two (2) persons per bedroom lawfully established within the principal dwelling consistent with applicable Building Code requirements.	Conforms		

Section 14.3.J. (Standards for Special Use Approval)	Status
<p>5. Designation of a Local Agent. If the property owner does not qualify as, or does not desire to be, a local agent, then the property owner shall designate a local agent and authorize in writing the local agent to act as the property owner’s agent for acts required of the property owner under these regulations. The local agent must reside or maintain a physical place of business within 25.0 miles of the short-term rental premises.</p>	<p>Conforms</p>
<p>6. Information Updates. Notification information for the property owner and local agent shall be kept current and up to date. The Zoning Administrator shall be notified in writing within 24 hours of any changes to ownership, local agent or their contact information.</p>	<p>Can Conform</p>
<p>7. Parking. The number of vehicles on any premises subject to this Ordinance shall not exceed one (1) motor vehicle per lawfully established bedroom, in addition to the owner’s personal vehicle(s). The owner shall provide off-street parking facilities for all owner and occupant motor vehicles, recreational vehicles, and trailers on the premises in accordance with the following requirements:</p> <ul style="list-style-type: none"> a. Parked vehicles shall be located outside of any road right-of-way and shall not block or impede the use of sidewalks, pedestrian pathways, fire lanes or emergency access to the premises. Conforms b. Parking shall be limited to an accessory garage or carport, private driveway or improved offstreet parking pad adjacent to the driveway. Conforms c. Parking and associated improvements shall also conform to the requirements of Section 9 of this Ordinance and other applicable Township ordinances. Conforms 	<p>Conforms</p>
<p>8. Waste Disposal. Documentation shall be submitted that occupants of the short-term rental will be notified prior to occupancy that they are not allowed to leave, and others are not allowed to leave, trash, rubbish, refuse, or garbage within public view, except in proper waste or recycling containers for the purposes of collection and disposal. No commercial dumpsters shall be allowed on the premises of a short-term rental.</p>	<p>Conforms</p>
<p>9. Safety Requirements. All short-term rentals shall conform to the following safety standards:</p> <ul style="list-style-type: none"> a. Prior to any rental occupancy, the owner shall be responsible for compliance with all Building Code and Township Housing Code Ordinance requirements that apply to use of the dwelling for rental purposes. b. The street address of the premises and emergency contact phone numbers shall be clearly displayed in the short-term rental for the benefit of occupants. c. Each sleeping room shall have two (2) legal means of egress to the exterior (for example, a door and a legal egress window). d. The street address for the short-term rental shall be a minimum of four (4) inch numbers, which shall be posted both on the mailbox and on the building in a location that is clearly visible from the street. <p>The site was pre-inspected by the Township Rental Inspector and found to be in good order. A final inspection will be required before issuance of a rental certification for the property.</p>	<p>Can conform</p>
<p>10. Encroachments and Nuisance Conditions Prohibited. Occupants during a rental period shall not encroach on neighboring lots and shall not create a nuisance. For purposes of this subsection, a nuisance includes but shall not be limited to outside noise that is clearly audible at a road right-of-way or lot boundary of the premises, and that unreasonably interferes with the comfort, quiet and repose of others in the area between 10:00 p.m. and 7:00 a.m. on Sunday, Monday, Tuesday, Wednesday or Thursday nights; and between 11:00 p.m. and 7:00 a.m. on Friday or Saturday nights.</p>	<p>Conforms</p>

Section 14.3.J. (Standards for Special Use Approval)		Status
<p>11. Wastewater Disposal. For short-term rentals not connected to a public sewer system, the wastewater disposal system shall be properly functioning, be maintained in properly functioning condition, and examined by a commercial septic hauler a minimum of once every three (3) years to determine if the septic tank needs to be pumped out. Parcel is served by Township water and sewer.</p>	Conforms	
<p>12. Required Occupant Notifications. Occupants of short-term rentals shall be provided with the following information in writing by the property owner or local agent prior to occupancy:</p> <ul style="list-style-type: none"> a. The name of the property owner or any local agent responsible to perform obligations related to the short-term rental, their telephone number(s), and an email address at which that individual may be reached on a 24-hour basis. Conforms. b. The maximum number of occupants allowed at any time in the short-term rental, based on the requirements of this Section. Conforms. c. Instructions as to parking, operation of mechanical equipment and appliances, restrictions on use of the premises, and all other rules for the premises. Conforms. d. Notification that an occupant may be cited or fined by the Township, in addition to any other legal remedies available to the Township, for violation of this Ordinance. Applicant indicates Township Noise Ordinance but that should be expanded to include all Township Ordinances and the notice of being cited or fined. Can Conform. e. The requirement that all pets shall be secured on the premises or on a leash at all times. Applicant indicates that no pets are allowed. Conforms. f. The requirement that the person who rents a short-term rental shall pay any applicable sales tax and/or required Michigan Use Tax. Can Conform. g. A copy of this Section and written record of the approved Special Use Permit. Can Conform. 	Can Conform	
<p>Section 6.58.B Application Information.</p> <ul style="list-style-type: none"> 1. The name, address, telephone numbers (home, work, and cell phone), and email address of the owner of the proposed short-term rental. Conforms. 2. If the property owner of the proposed short-term rental does not qualify as, or does not desire to be, the local agent, then the property owner shall designate in writing a local agent. Conforms. 3. The name, address, telephone numbers (home, work, and cell phone), and email address of the local agent, if different from the property owner. Conforms 4. The address of the proposed short-term rental. Conforms. 5. Parcel identification number for the proposed short-term rental. Conforms. 6. Proof of property ownership. Conforms. 7. Copies of any deed restrictions or use limitations in the subdivision covenants or condominium master deed and/or bylaws applicable to the short-term rental premises. Parcel not part of a subdivision or condominium. Conforms. 8. A floor plan of the proposed short-term rental with all bedroom and bathroom locations, dimensions, and floor areas labeled. Please add detail of bedroom and bathroom locations. Can conform. 9. The proposed frequency for rental use and maximum occupancy of the short-term rental. Conforms. 10. A survey drawing of the parcel on which the short-term rental building is located that includes all buildings and structures on the premises and the locations where motor vehicles, recreational vehicles, and trailers will be parked in accordance with this Section. Conforms. 	Can Conform	

Section 14.3.J. (Standards for Special Use Approval)		Status
6	Approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.	Conforms
	The approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.	
7	The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to roads, police and fire protection services, refuse disposal, municipal water or sewerage systems, other utilities, drainage facilities, and public or private wells. The proposed use will not create additional requirements at public cost for services or infrastructure that will be detrimental to the economic welfare of the community.	Conforms
	The use of the room as a short-term rental does not create any new or exceed the planned use of the dwelling in terms of public services or infrastructure.	

Objective

To review the application, to give feedback to the applicant for any missing or additional information needed, and to adopt a motion to set a date and time for a public hearing.

Key Findings

- The applicant has submitted a special use application, accompanied by a minor site plan as required.
- The application is sufficiently complete for initial review by the Planning Commission and a public hearing.
- Applicant has paid all required fees associated with the application.
- The applicant has completed a pre-inspection of the site with the Township’s Rental Inspector.

Recommendations

Based on the above findings, I would ask that the Planning Commission to set a public hearing for February 20, 2024, for the special use application PSUP23-01 for short-term rental housing located at 5339 E. Broadway Road.

Please contact me at (989) 772-4600 ext. 241, or via email at pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat, Zoning Administrator

Community and Economic Development Department

TO: Planning Commission	DATE: January 10, 2024
FROM: Rodney C. Nanney, AICP, Community and Economic Development Director	
SUBJECT: Update on the Township survey data and analysis	

Township Survey – Preliminary Data

We recently received word from Dr. Mary Senter at Central Michigan University that the final tally of responses to the Township’s survey is 638 responses to the mailed survey (a 33% response rate), plus an additional 89 online responses to our postcard mailing to residents in the apartment communities and manufactured housing parks on the south and east sides of the Township.

Dr. Senter and her team are compiling and analyzing the extensive data received, which includes both *qualitative data* (written responses to the short-answer survey questions) and *quantitative data* (numbers and rankings from our multiple-choice questions). The qualitative data received from this survey will take a significant amount of time to compile and analyze, which is why the timeline for this survey project has delivery of the final report to the Township planned for March – hopefully in time for our March Planning Commission meeting.

However, there will be an opportunity for the Planning Commission to get an early look at some of the quantitative data from the mailed survey responses. Dr. Senter and her team are currently compiling this data into a shareable format. It will not be ready in time for inclusion in the meeting packet, but we anticipate that copies will be available in time for review during our upcoming January 16th meeting.

Other Updates

We are still working on compiling an up-to-date data book of population, housing, and other demographics. The 2020 U.S. Census data is proving to be a bit of a challenge to set up in a way that creates meaningful opportunities for comparison with prior years. These will be shared with the Planning Commission as soon as they are available. We have also started work on the MDARD Rural Readiness grant-funded project to evaluate industrial development potential along the US-127 corridor in conjunction with the Township Engineer at Gourdie-Fraser Associates.

Please contact me at (989) 772-4600 ext. 232, or via email at rnanney@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Rodney C. Nanney, AICP

Community and Economic Development Director