



**Planning Commission  
Regular Meeting  
June 17, 2025  
7:00 p.m.**

1. CALL MEETING TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES

-May 20, 2025 Regular Meeting

6. CORRESPONDENCE / BOARD REPORTS / PRESENTATIONS
  - A. Thering updates from Board of Trustees
  - B. McDonald updates from ZBA
  - C. Community and Economic Development Monthly Report
  - D. Other Reports
7. PUBLIC COMMENT: Restricted to (3) minutes regarding items not on this agenda
8. NEW BUSINESS
  - A. PFINALSPR25-02 Final Site Plan Review for the new Thrive Community Church on Bud St. at S. Isabella Rd.**
    - a. Introduction by staff
    - b. Updates from the applicant
    - c. Commission review of the site plan
    - d. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)
  - B. PRES25-01 Preliminary Site Plan Review Only for the proposed Mid-Michigan College Event Center at 2600 S. Summerton Rd.**
    - a. Introduction by staff
    - b. Updates from the applicant
    - c. Commission review of the site plan
    - d. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)

9. OTHER BUSINESS
  - A. **Review and discussion of priorities for a Township response to the proposed updates to the City of Mt. Pleasant Master Plan**
    - a. Introduction by staff
    - b. Commission deliberation and action (adoption of a resolution with recommendations to the City of Mt. Pleasant Commission, or no response)
10. EXTENDED PUBLIC COMMENT: Restricted to (5) minutes regarding any issue
11. FINAL BOARD COMMENT
12. ADJOURNMENT



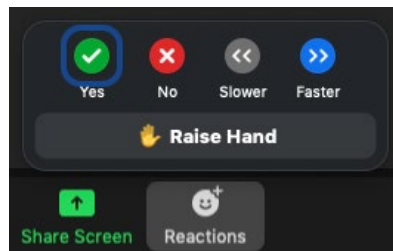
## Hybrid Meeting Instructions for the Charter Township of Union Planning Commission

The public can view all Union Township meetings live by clicking on our [YouTube Channel](#). For those who would like to participate, you can do so via Zoom.

[Click here](#) to participate in the Zoom Meeting via computer or smart phone. (Meeting ID Enter “839 8031 3172” Password enter “240465”). Access to the electronic meeting will open at 6:50 p.m. and meeting will begin at 7:00 p.m.

Telephone conference call, dial (312-626-6799). Enter “839 8031 3172” and the “#” sign at the “Meeting ID” prompt, and then enter “240465” at the “Password” prompt. Lastly, re-enter the “#” sign again at the “Participant ID” prompt to join the meeting.

- All public comments for items on the agenda will be taken at the Public Comment and any issue not on the agenda will be taken at the Extended Public Comment section of the Agenda.
- Computer/tablet/smartphone audience: To indicate you wish to make a public comment, please use the “Reactions” icon. **Next, click on the “Raise Hand” icon** near the bottom right corner of the screen.



- **To raise your hand for telephone dial-in participants, press \*9.** You will be called on by the last three digits of your phone number for comments, at which time you will be unmuted by the meeting moderator.
- Please state your name and address for the minutes and keep public comments concise.

You will be called upon once all in-person comments have been made, at which time you will be unmuted by the meeting moderator.

Persons with disabilities needing assistance should call the Township office at (989) 772-4600. Persons requiring speech or hearing assistance can contact the Township through the Michigan Relay Center at 711. A minimum of one (1) business day of advance notice will be necessary for accommodation.

**CHARTER TOWNSHIP OF UNION**  
**Planning Commission**  
**Regular Meeting Minutes**

A regular meeting of the Charter Township of Union Planning Commission was held on May 20, 2025, at 7:00 p.m. at the Union Township Hall.

**Meeting was called to order at 7:00 p.m.**

**Roll Call**

Present: Bradshaw, Hayes, Lapp, Olver, Shingles, Squattrito, and Thering

Excused: Browne

Absent: McDonald

**Others Present**

Rodney Nanney, Community and Economic Development Director; Peter Gallinat, Zoning Administrator; Tera Green, Administrative Assistant

**Approval of Agenda**

**Olver** moved **Shingles** supported to approve the agenda as presented. **Vote: Ayes: 7. Nays: 0. Motion Carried**

**Approval of Minutes**

**Olver** moved **Hayes** supported to approve the April 15, 2025, regular meeting minutes as presented. **Vote: Ayes: 7. Nays: 0. Motion carried.**

**Correspondence / Reports/ Presentations**

- A. Board of Trustees updates by Thering – Gave updates on the April 23<sup>rd</sup> and May 14<sup>th</sup> Board of Trustees Meetings. The Board adopted Zoning Ordinance Amendatory Ordinance No. 25-02 – height limitations, Amendatory Ordinance No. 25-01 – Private Roads, and edited the Governance Policy Ends document. Additionally, Thering notified the Commissioners of the launch date of the new website.
- B. ZBA Update by McDonald – No updates were given.
- C. Community and Economic Development Monthly Report
- D. Other Reports

**Public Comment**

Open: 7:14 p.m.

No comments were offered.

Closed: 7:14 p.m.

**New Business**

- A. **Review and discussion of priorities for a Township response to the proposed updates to the City of Mt. Pleasant Master Plan**
  - a. Introduction by staff
  - b. Planning Commission questions and discussion
  - c. Planning Commission deliberation and action (recommendations to the City of Mt.

Pleasant Commission, or postpone action to the June 17th 2025 meeting)

Nanney introduced a memo from the City's Planning Consultant dated April 1, 2025 summarizing proposed amendments to the City's adopted 2020 City Master Plan. In accordance to the Michigan Planning Enabling Act (Public Act 33 of 2008, as amended), the draft plan amendments have been sent to the Township, Isabella County, and other relevant jurisdictions for feedback. The Planning Commission must finalize their response or recommendations no later than their June 17, 2025 regular meeting.

The Commission reviewed each bullet point provided in the staff memo.

**Key Points Discussed:**

- **Bluegrass and Mission Intersection:**  
The Commission was strongly against a roundabout at the Bluegrass and Mission intersection. Instead, members recommended creating a roundabout at Old Mission Road with a new entrance into the Indian Hills Plaza, which would eliminate problematic left-hand turns out of the shopping center and improve traffic flow.
- **E. Broomfield Road / US-127 Interchange:**  
The City's proposal for the E. Broomfield Road crossing at US-127 was viewed as incomplete. Staff recommended including a full interchange to extend the US-127 Business Loop fully across US-127 right-of-way eastward to end at Summerton Road. The Saginaw Chippewa Indian Tribe, Central Michigan University, and Union Township are interested in pursuing this change to enhance access and encourage future development in the CMU SmartZone area, as well as to support growth along the South Isabella Road corridor.
- **Rerouting M-20:**  
Significant concerns were raised regarding the proposal to reroute M-20. The presences of railroad tracks and the proximity of the river makes the area unsuitable. Additionally, Pickard was not designed to handle heavy truck traffic, and increased freight activity would be disruptive to nearby residential neighborhoods.
- **Broadway-Lincoln Connector:**  
The past City Master Plans included a future street connection between Broadway and Lincoln, which has since been removed. The Commission emphasized that this connector remains a critical component and should be restored to the plan.

**It was the consensus of the Commission to direct staff to draft a resolution, based on the content provided in the memo, outlining the Township recommendations to the City of Mt. Pleasant.**

**Pending Business**

- A. **Proposal to amend the Zoning Ordinance to move Gunsmith from a special use to a permitted use in the AG, R-1, R-2A, and R-2B zoning districts, while remaining subject to the standards of Section 6.19 (Home Occupations and Home-Based Limited Businesses)**
  - a. Updates by staff

**b. Planning Commission discussion**

Nanney presented a proposed scope of amendments to reference based on the discussion at the April Planning Commission meeting regarding moving Gunsmith from a special use to permitted use in the AG, R-1, R-2A, and R-2B zoning district.

**Discussion by the Commissioners**

The Chair observed that there was a general consensus of the Commission for staff to proceed with the next steps needed to change “Gunsmith” from a special use to a permitted use in AG, R-1, R-2A, and R-2B zoning districts, while remaining subject to the standards of Section 6.19 (Home Occupations and Home-Based Limited Businesses).

**Extended Public Comments**

Open: 8:29 p.m.

No comments were offered.

Closed: 8:29 p.m.

**Final Board Comment**

Chair Squattrito – asked about the June’s agenda.

**Adjournment** – Chair Squattrito adjourned the meeting at 8:31 p.m.

**APPROVED BY:**

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Jessica Lapp – Secretary  
Tom Olver – Vice Secretary

*(Recorded by Tera Green)*

## Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	James	Thering	11/20/2028
2-Chair	Phil	Squattrito	2/15/2026
3-Vice Chair	Stan	Shingles	2/15/2027
4-Secretary	Jessica	Lapp	2/15/2026
5 - Vice Secretary	Thomas	Olver	2/15/2027
6	John	Hayes	2/15/2028
7	Everett	Bradshaw	2/15/2028
8	Nivia	McDonald	2/15/2026
9	Philip	Browne Jr.	2/15/2028
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1-Chair	Liz	Presnell	12/31/2025
2 -Vice Chair	Richard	Barz	12/31/2025
3- PC Rep	Nivia	McDonald	2/15/2026
4 -	Lori	Rogers	12/31/2026
5 -	Brian	Clark	12/31/2027
Alt. #1	David	Coyne	12/31/2027
Alt #2	Vacant		12/31/2026
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Jeanette	Corbin	12/31/2026
2	Sarvjit	Chowdhary	12/31/2026
3	Steffany	Stine	12/31/2026
Alt #1	John	Hayes	12/31/2026
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Joseph	Schafer	12/31/2025
2	Andy	Theisen	12/31/2025
3	William	Gallaher	12/31/2025
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2026
2	John	Dinse	12/31/2025
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2027
2	Lynn	Laskowsky	12/31/2025



## Board Expiration Dates

EDA Board Members (9 Members) 4 year term			
#	F Name	L Name	Expiration Date
1-Chair	Thomas	Kequom	4/14/2027
2-VC/BOT Rep	Bryan	Mielke	11/20/2028
3	James	Zalud	4/14/2027
4	Richard	Barz	2/13/2029
5	Robert	Bacon	1/13/2027
6	Marty	Figg	6/22/2026
7	Sarvjit	Chowdhary	6/22/2027
8	Vacant		2/13/2025
9	David	Coyne	3/26/2026
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	12/31/2025
2	Vacant		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Miranda	Ley	12/31/2025
Mt. Pleasant Airport Joint Operations and Mgmt Board (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1 - Union Township	Rodney	Nanney	12/31/2026
Local Election Commission Committee (3 BOT Members) 4 year term			
#	F Name	L Name	Expiration Date
1	Lisa	Cody	11/20/2028
2	Lori	Rogers	11/20/2028
3	Jeff	Brown	11/20/2028



## **Department Monthly Report**

**Department:** Community and Economic Development

**Month/Year:** June 2025

### **Global Ends**

- 1.1 Community well-being and the common good
- 1.2 Prosperity through economic diversity, cultural diversity, and social diversity
- 1.3 Health and Safety
- 1.4 Natural environment
- 1.5 Commerce

### **Prior Month Activities**

#### **Economic Development Activities (1.1, 1.2, 1.3, 1.5):**

- The Community and Economic Development Director met with the President of the Middle Michigan Development Corporation about availability of a regional development-related grant funding opportunity.
- The Community and Economic Development Director completed the final report to the State of Michigan on 5/28/2025 to wrap up the Rural Readiness reimbursement grant award for the completed US-127 Industrial Corridor Study project. Reimbursement for the cost of work provided by Gourdie-Fraser Associates was subsequently received by the Township in early June.
- The Community and Economic Development Director participated in a project management tools webinar for professional development.
- Building Services Clerk readvertised the Invitation to Bid for Bench and Trash receptacles, assisted with the bid opening, and along with the Director met with Bill's Custom Fab., Inc. to follow up on the bid submitted for Bench and Trash Receptacle Refurbish project.
- Building Services Clerk coordinated installation of the Art Reach streetlight banners and change-out of the special and seasonal US-127 gateway banners.
- The Building Services Clerk supported the Community and Economic Development Director and EDA Board and served as contact person for East DDA District service contractors.

#### **Economic Development Authority (EDA) Board Activities (1.1, 1.2, 1.3, 1.4, 1.5):**

- During their regular May 20, 2025 meeting the EDA Board:
  - Held their annual election of officers, re-electing Thomas Kequom as Chair and Bryan Mielke as Vice-Chair.
  - Closed session to consider an appraisal for and a purchase of real property in a DDA District.

#### **Building Services (1.1, 1.2, 1.3, 1.5):**

- The Building Official provided the following services during the month:
  - 46 Building Inspections (1.3)
  - 14 Permits issued (1.3)
  - 9 Final and 2 Temporary Certificate of Occupancy Issued
    - Issued Final Certificate of Occupancy to the Isabella County Jail

- Issued Temporary Certificate of Occupancy to Krist Oil
  - Issued Temporary Certificate of Occupancy to Valvoline
- Follow up phone calls
- The Building Official met with multiple residents/contractors to answer potential project questions.
- The Building Services Clerk provided the following services during the month:
  - Served as a second Township Hall contact person for the public and helped process payments at counter and through mail.
  - Assisted homeowners and contractors with building permit applications and coordinated with the Building Official, Zoning Administrator, Assessor, and Public Services Department as needed to facilitate timely reviews of permit applications.
  - Administrative support for Rental Inspector
  - Prepared monthly Census and HBA reports for building permits
- The Building Official and Building Services Clerk continued coordination of Township support services and activities the Fire Department, County Community Development Dept., and other relevant outside entities.
- Building Services Clerk & Building Official working on the expired permit list.

#### **Rental Inspection Services (1.1, 1.2, 1.3, 1.5):**

- Site visits with inspections, re-inspections, issue investigation, etc. for apartment complexes, hotels, as well as duplex and single-family units (392 units inspected-368 apartments, 11 single-family units, and 2 duplex units).
- Complaint by tenant of not having a working well and septic field. Could not contact landlord so we suspended the rental certificate and sent violation letter priority mailed. Following up this week.
- Fielding questions about the rental program in the Township from the community, potential and current landlords, and tenants.
- Sharing with contacts about our updated [Rental Housing Information webpage](#), as well as sharing the need to contact the office for items that may need other department insight or approvals.
- Continuing to distribute copies of a flyer designed to answer questions about common issues that can become rental violations, which has been well-received and appreciated by managers of the various apartment complexes.
- Attended monthly meeting with local inspectors, enforcement, and fire personnel.
- Follow up reminder contacts with apartment complexes and other landlords with unpaid invoices prior to deadlines to avoid late fees.
- Building Services Clerk worked with the Director and Rental Inspector to revise the 30-day Rental expiration letter and updated the workflow within BS&A for this correspondence.

#### **Zoning Administration Activities (1.1, 1.2, 1.3, 1.4, 1.5):**

- The Zoning Administrator provided the following services during the month:
  - Six (6) Zoning approvals related to building permits.
  - Met with the contractor regarding new dumpster location with enclosure at the MFCU E. Bluegrass Rd./Encore Blvd. location.
  - Met with a property owner to assist with a potential land division on S. Summerton Rd.
  - Administrative approval of incidental amendments to the approved PFINALSPR24-03 site plan for the Township Water Treatment Plant upgrades at 5228 S. Isabella Rd. (increased asphalt drive 116 cubic feet; additional 400 square-feet concrete pad; and increased pole barn size from 20' X 30' to 40' X 60' along with extended grading limits).
  - Administrative approval of amendments to the approved PMINOR24-15 minor site plan for Wellhouse #12 at 3940 E. Deerfield Rd. (installation of 1" water service for sampling added; connection of existing curb stop and installation into buildings; water main alignment



updated to show actual location as installed in Division B; well house size increased from 17'-4" X 13'-4" to 25'-4" X 13'-4"; and concrete Pad addition 21-square-feet).

- The Zoning Administrator and Building Official met on 5/30/2025 with the building permit applicant Brady Pifer regarding "Barndominium" building permit application. The Community and Economic Development Director and Zoning Administrator met again with Mr. Pifer and his father on 6/6/2025 about Section 6.16 (Residential Design Requirements). The applicant indicated that revised building plans would be provided consistent with Section 6.16, and that he may also submit a text amendment application to seek to delete Section 6.16 from the Zoning Ordinance.

#### **Ordinance and Code Enforcement Activities (1.1, 1.3):**

- 885 E. Remus Road - Complaint of trash and inoperable vehicle in front yard. The owner responded by removing the trash and providing confirmation that the vehicle is operable. This matter is now closed.
- 386 Bluegrass Road. - Junk in the yard. Owner has continued to have junk removed when able to due to age. During the most recent visit, staff noted that all items in violation have been removed. This matter is now closed.
- 5683 E Broadway Rd. – Unlawful construction of two (2) buildings within an existing, legal nonconforming towing yard adjacent to the Enterprise Industrial Park without required building/zoning permits and inspections. The owner failed to respond to the initial notice of violation. A follow up notice has been delivered to the owner.
- 2946 S. Meadowlark Dr. - Fence erected without a permit. Owner notified and given permit application to be completed and returned. No response. A civil infraction ticket will be issued for the work completed without a permit. Complaints have also been received about an operable vehicle in the driveway which was vandalized with spray paint. The condition of the vehicle is unsightly but is not an ordinance violation. The owner was informally contacted about the vehicle but did not respond.
- 5111 E. Kay St. - Complaints of trash in the yard. Lot is owned by an out-of-town owner who sold it on land contract to two people who subsequently split up. The woman left months ago, although her name is still on the land contract. Staff has learned from various sources that the remaining man living on the premises has behaved in an unsafe manner towards neighbors, the out-of-town owner, his ex-partner, and law enforcement. Staff has also learned that the out-of-town owner has an eviction process underway in court. A possible court-ordered eviction is anticipated for near the end of June. The Township's ordinance enforcement official has visited the site several times, and has spoken to the neighbors, the out-of-town owner, and the ex-partner. Both are aware of their obligation to put things in order. Neither can enter the premises until after the eviction process is completed and the man has vacated the premises. With these conditions in mind, further ordinance enforcement activity beyond documenting the violations is on hold until the eviction process has concluded.
- 5401 S. Lincoln Rd. – An 1,800 square-foot detached accessory building constructed without a building permit and in violation of applicable maximum height and maximum 1,500 square-foot floor area requirements. The owner applied for and was granted a height variance in May 2023 contingent upon completion of alterations to reduce the building floor area by 300 square-feet. The owner failed to complete the required modifications, despite multiple notices and civil infraction tickets. This matter is now in Circuit Court. The owner (James Recker) was served with the Township's complaint and failed to respond to the Court. A default judgement was entered against him by the judge. If Mr. Recker fails to resolve the violation consistent with the conditions of variance approval, the next step for the Township would be to begin the process to secure a court order authorizing the Township to resolve the violation through demolition and removal of the unlawful structure.

- 5196 Berkshire Dr. - Complaint of collection of items on lawn. Owner responded to an initial informal notice of the violation that they are working on cleaning out the garage. Staff has worked with the owner related to similar violations in the past and will continue to work with them now to bring the site back into conformity. Additional follow up is planned.
- 5768 E. Pickard Rd. (former Kuji Restaurant) - Complaint of a damaged sign and fallen tree over the sidewalk. Owner contacted to remove sign and fallen tree. Owner has removed the tree and is in the process of bringing the damaged sign into compliance.
- Zalud Extraction Operation Site NE corner of S. Lincoln Rd. & E. Millbrook Rd.) — The Community and Economic Development Director met remotely with James and Jeremy Zalud to go over details of the consent agreement and approved Extraction Permit plans that need to be addressed prior to start-up of any extraction of sand and gravel on the site in the Spring. The Director noted that the required berms and screening by the adjacent residences had been installed per the approved plans, but that other required elements (including setback markers, active cell perimeter berms, and security gates) remain to be completed. The Director also noted a typographical error in the as-submitted performance bond. An updated bond has been provided and the other corrective measures are in process.
- Indian Hills Shopping Center - Violations related to the approved minor site plan for sidewalk, pedestrian access, and parking lot improvements to the Indian Hills Shopping Center property. The applicant's agreed-upon timeline for completion of site improvements per the approved site plan concluded with several key elements left incomplete. Failure to conform to an approved site plan is an ordinance violation. After multiple notices, a civil infraction ticket was issued. During a recent follow up meeting, the owner confirmed that the remaining parking lot repairs and restriping will be completed "this Spring."
- 4941 E Valley Rd. – Dilapidated and potentially unsafe dwelling. The owner confirmed that he wants the roof completed but does not have the funds. The property has been in tax foreclosure but the Assessor confirmed that someone recently paid part of the back-owed taxes and penalties.
- Northeast corner of S. Lincoln Rd. and E. Broomfield Rd. – unlawful contractor's storage yard and unlawful grading/fill activities without a grading permit. The owner claimed a "grandfathered" status as a legal nonconforming use. This matter remains under review by the Township Attorney with additional follow-up anticipated.

#### **Planning Commission Activities (1.1, 1.2, 1.3, 1.4, 1.5):**

- During their regular May 20, 2025 meeting, the Planning Commission:
  - Reviewed and discussed priorities for a potential Township response to the [proposed updates](#) to the [City of Mt. Pleasant Master Plan](#)
  - Completed discussion of a proposal to amend the Zoning Ordinance to move Gunsmith from a special use to a permitted use in the AG, R-1, R-2A, and R-2B zoning districts, while remaining subject to the standards of Section 6.19 (Home Occupations and Home-Based Limited Businesses).

#### **Zoning Board of Appeals Activities (1.1):**

- The regular May meeting was canceled due to a lack of agenda items.

#### **Community Development Activities (1.1, 1.2, 1.4, 1.5):**

- Building Services Clerk assisted the Clerk's office with support needed in preparation for the May election.
- The Building Official and Building Services Clerk continued coordination of Township support services and activities with the leagues that use our McDonald Park ballfields.

- The Community and Economic Development Director completed preparation of a Township-related historical display for the 5/31/2025 Isabella County Historical Society event at the Commission on Aging. This was the only municipal government-sponsored history display at the event. The panels will remain on display for some time in the Township Hall foyer.
  - Among the interesting facts brought back to light by this project is the origin story of Jameson Park, which began in 1946 as a private initiative by a small group of local residents to develop what was initially called the Airport Recreation Center (later the Mt. Pleasant Community Center).
  - Mrs. Gladys Rose Jameson (1898-1955) was cited by several sources as the key driving force behind the fundraising for, development of, and early operation of this new recreation facility. This includes the completion of construction in 1950 for the original part of what is now informally referred to as “Jameson Hall.”
  - Mrs. Jameson’s trip to Chicago in 1953 to appear on the nationwide (NBC network) “Welcome Travelers” TV show was front page news in the Mt. Pleasant Daily Times-News, and helped to secure donations from across the country to equip the new recreation building’s kitchen.
  - The announcement of Mrs. Jameson’s untimely death from cancer in 1955 was also front page news.
- Additional history information is planned to be added over time to the new Township website under the Community tab. Contributions of stories and especially photographs of historical scenes or events in the Township are invited to be shared with the Community and Economic Development Director. We are also interested in locating a high quality picture of Mrs. Jameson that we might be able to use as part of a future dedication plaque or display at Jameson Hall.
- The Community and Economic Development Director are working together with the Little League to coordinate distribution of the Saginaw Chippewa Indian Tribe’s 2% grant award to support the new Sullivan Field batting cages as a reimbursement for work completed by the League’s contractors.
- The invitation for bids has been advertised and distributed to construct new sidewalk along the south side of E. Bluegrass Rd. from S. Mission Rd. east across the frontage of the Red Lobster parcel, along with a 300 foot connection to the east lot line of the Indian Pines Shopping Center. Bids are due by 6/10/2025. Once the successful bidder has been selected by the Board of Trustees, this work is anticipated to be completed during the 2025 construction season.
- Community and Economic Development Dept. staff continued to work with Tera Green to complete the final work needed to prepare the new Township website to go live on 5/21/2025. The new website includes a new frequently asked questions component, expanded online application capabilities and development approval process information, and several new interactive communication elements. Access to relevant Township ordinances and development policies is also better integrated into the new site’s functionality.
- The Community and Economic Development Director served as the Township leadership contact to coordinate the proactive efforts by security staff at Civic Clarity (our contractor for the new Township website) and CMS/Journey to resolve a DDOS (distributed denial of service) cyber-attack against our new Township website early on 5/23/2025. The intent of this type of malicious attack is to overwhelm a website with web-traffic using other hacked systems. Although the website was temporarily unavailable for part of the morning, the site restored to full availability by mid-day after CMS/Journey staff added Cloudflare security measures to end the cyber-attack. Civic Clarity staff confirmed afterwards that the attackers did not succeed in breaching the site or causing any damage.
- The Community and Economic Development Director participated in a four-day leadership academy for professional development.

- The Building Services Clerk responded to a total of eight (8) Freedom of Information Act (FOIA) requests for departmental records during the month.
- Community and Economic Development Dept. staff assisted Township residents enquiring about issues of concern involving the County Road Commission, the County Drain Commissioner's Office, and other outside agencies with jurisdiction.
- The Director meets weekly with the Community and Economic Development Department staff as a group and regularly on an individual basis to provide guidance, coordinate provision of services, ensure good intra- and inter-departmental communication, and identify and resolve issues.

## **Current Month Anticipated Activities**

### **Economic Development Activities (1.1, 1.5):**

- The Community and Economic Development Director will complete and distribute a request for qualifications from sign contractors with the capability to design and install a new gateway sign for the East DDA District to be located at the corner of M-20 and S. Summerton Rd. in cooperation with Mid-Michigan College and Consumers Energy, and to design and install new Enterprise Industrial Park signage at the corner of M-20 and Enterprise Dr.
- The Community and Economic Development Director will serve as Chair for the June meeting of the Mt. Pleasant Airport Joint Operations and Management Board.
- The Community and Economic Development Director will continue business retention contacts.

### **Economic Development Authority (EDA) Board Activities (1.1, 1.2, 1.3, 1.4, 1.5):**

- The regular June 17, 2025 EDA Board meeting agenda is anticipated to include.
  - Annual audit presentations by Yeo & Yeo for the East and West DDA Districts
  - RFBA – Consideration of the bid submitted by Bill's Custom Fab., Inc. for the East DDA Bench and Trash Receptacle Refurbishment project.
  - Possible RFBA – Baymont Inn (5858 E. Pickard Rd.): Consideration of a beautification site improvements grant application.

### **Building Services (1.1, 1.3, 1.5):**

- Follow up phone calls.
- Continue to do site visits, inspections, issue permits, plan reviews.
- Continued work on expired permit list.

### **Rental Inspection Services (1.1, 1.2, 1.3):**

- The Rental Inspector will:
  - Investigate and follow up on any rental complaints as needed.
  - Continue to collaborate with the Fire Department on hotel rental inspections.
  - Schedule complexes, hotels, as well as duplex and single-family units for inspections.
  - Conduct follow-up inspections to verify correction of violations.
  - Work on expired certificate scheduling as needed.
  - Arrange for site visits as needed for compliance or informational.
  - Investigate rentals with blight/grass/neighbor/parent concern issue complaints for resolution or referral to the Zoning Administrator.
  - Continue to observe and report back to the Director about potential ordinance or code violations or other issues that may be of concern or may warrant further Township action.

**Zoning Administration Activities (1.1, 1.2, 1.3, 1.4, 1.5):**

- The Community and Economic Development Director and Zoning Administrator review of site plan, special use, and other development applications and preparation of staff reports for the Planning Commission regarding Zoning Ordinance compliance.
- Zoning Administrator review of site plan applications eligible for administrative approval.
- Zoning Administrator review of building permits for zoning compliance.
- Zoning compliance letters
- Sign permits
- Continued use of MissDig notifications for activity in the Township needing zoning approval.
- Enforcement follow ups
- The Community and Economic Development Director and Zoning Administrator regularly hold informal pre-application development meetings with developers and business/property owners.

**Ordinance and Code Enforcement Activities (1.1, 1.3):**

- The Community and Economic Development Director is working with the Twp. Attorney to prepare a new Blight Ordinance for Board of Trustees consideration (1.1, 1.2, 1.3).
- Ordinance enforcement follow up on current matters and investigation of any new complaints.

**Planning Commission Activities (1.1, 1.2, 1.3, 1.4, 1.5):**

- The regular June 17, 2025 Planning Commission meeting is anticipated to include:
  - PFINALSPR25-02 Final Site Plan review for the new Thrive Community Church on Bud St. at S. Isabella Rd.
  - PRES25-01 Preliminary Site Plan review only for the proposed Mid Michigan College Event Center at 2600 S. Summerton Rd.
  - Discussion and action on a Planning Commission response to the [proposed updates](#) to the [City of Mt. Pleasant Master Plan](#)

**Zoning Board of Appeals Activities (1.1):**

- No meeting scheduled for July due to potential conflict with the Independence Day holiday.

**Community Development Activities (1.1, 1.2, 1.3, 1.4):**

- The Community and Economic Development Director is working on preparation of updated draft Parks & Recreation Plan elements for Planning Commission review. (1.1, 1.4)
- The Community and Economic Development Director is working with the Township Attorney and Public Services Director to prepare updates to the Township's ordinance establishing rules for our parks. (1.1, 1.2, 1.3, 1.4)
- Amy Peak and Tera Green will begin preparation for 3<sup>rd</sup> Annual Care Store Drive to collect donated personal care items for a Township truckload donation this summer.
- The Community and Economic Development Director and Mt. Pleasant City Planner periodically meet to discuss coordination of City/Township projects of mutual interest.
- Under the Community and Economic Development Director's direction, the Building Services Clerk will continue to coordinate with the file scanning contractor Graphic Sciences to transfer historical documents and files from the basement for scanning. (1.1)

**Future Board of Trustee Meeting Agenda Items**

- RFBA to select the successful bidder for the proposed construction of a new sidewalk along the south side of E. Bluegrass Rd. from S. Mission Rd. east across the frontage of the Red Lobster parcel and to complete a connection to the east lot line of the Indian Pines Shopping Center. (1.1, 1.3, 1.5)

- RFBA on response to Road Commission-related right-of-way challenges impacting completion of the sidewalk construction project along the east side of Bud St. from E. Pickard Rd. (M-20) north to Jameson Park. (1.1, 1.3)
- RFBA to consider a proposed new Blight Ordinance (1.1, 1.2, 1.3).
- RFBA to consider a proposed update to the Township's ordinance establishing the rules for behavior in and use of the Township's public parks (1.1, 1.2, 1.3, 1.4).

### **Significant Items of Interest Longer Term**

- Community Development Activities – The Community and Economic Development Director and the Township's engineering consultant at Gourdie-Fraser are proceeding with attempting to secure easements needed for new sidewalk projects along the north side of Pickard Rd. east from S. Lincoln Rd. to the existing sidewalk near Ashland Dr.; the east side of S. Isabella Rd. from E. Kay St. south to E. Broadway Rd.; and the west side of Bradley St. from E. Remus Rd. (M-20) north to connect to the Mt. Pleasant Middle School at the City-Township boundary.
- Zoning Administration – The Community and Economic Development Director and Zoning Administrator will review the current Zoning Board of Appeals bylaws to coordinate with recent updates to relevant sections of Zoning Ordinance 20-06. (1.1)
- Economic Development Activities - The Community and Economic Development Director and the Township Assessor will be working on developing policy proposals for Board of Trustees consideration to establish updated guidelines for consideration of requests for new or amended Industrial Development Districts and Industrial Facility Tax Exemption (IFTE) applications under Michigan Public Act 198 of 1973, as amended. (1.5)
- Building Services – The Building Official continues to work in close coordination with the County's plumbing, mechanical, and electrical inspectors on building projects to minimize delays and to ensure that construction meets the applicable health and safety standards. (1.1, 1.3, 1.5)
- Building Services - The Community and Economic Development Director will resume working with the county Community Development Dept. Director to develop a draft reciprocal intergovernmental agreement proposal for Isabella County to provide for residential and commercial building inspection services during vacations. (1.3, 1.5)
- Community Development Activities - The Community and Economic Development Director will continue to oversee the administration of the Tax Exemption Ordinance and adopted PILOT resolutions in coordination with the Finance Director and Twp. Assessor to verify continuing compliance by the sponsors of the eligible housing projects. (1.1, 1.2)
- Building Services – Consideration of new International Fire Code Ordinance for adoption, which would replace Ordinance No. 2014-05 and would reference the updated fire code to be enforced by the Mt. Pleasant Fire Department in both the City and the Township. (1.1, 1.3)
- Ordinance and Code Enforcement Activities - Consider updates to the Subdivision of Land Ordinance No. 1994-6 for consistency with updates to the state's subdivision plat approval requirements. (1.1, 1.3, 1.5)
- Community Development Activities – When the county's office situation stabilizes, the Community and Economic Development Director, the County's Community Development Director, and the City Planner will resume work on creating a unified "regional planning/zoning" theme on the County's FetchGIS website where County, City, and Township zoning district and future land use maps could be displayed together with other relevant data.

## Charter Township of Union

### APPLICATION FOR SITE PLAN REVIEW

☐

Minor Site Plan

☐

Preliminary Site Plan

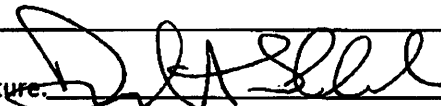
☒

Final Site Plan

A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project	THRIVE CHURCH		
Common Description of Property & Address (if issued)	S. ISABELLA RD		
Applicant's Name(s)	THRIVE COMMUNITY CHURCH		
Phone/Fax numbers	989-878-1050 / 989-572-0439	Email	kjense7@gmail.com / dave.shephard@thrivechurchmi.cc
Address	P.O. BOX 1408	City:	MT. PLEASANT Zip: 48804

Legal Description:	<input type="checkbox"/> Attached <input checked="" type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s):	14-012-30-009-00
Existing Zoning:	B7	Land Acreage:	10 ACRES
Existing Use(s):	VACANT LAND		
<input checked="" type="checkbox"/> ATTACHED: Letter describing the project and how it conforms to Section 14.2.S. (Standards for Site Plan Approval)			

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name:	CMS&D	Phone:	989-775-0756	Email:	tbebee@cms-d.com
	2. Address:	2257 E. BROOMFIELD RD				
	City:	MT. PLEASANT	State:	MI	MI	Zip: 48858
	Contact Person:	TIMOTHY BEBEE		Phone:	989-506-1001	
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name:	THRIVE COMMUNITY CHURCH		Phone:	989-572-0439	
	Address:	913 E PICKARD ST, STE K				
	City:	MT. PLEASANT	State:	MI	Zip:	48858
	Signature:			Interest in Property:	owner/lessee/other	
	2. Name:			Phone:		
	Address:					
	City:		State:	MI	Zip:	
	Signature:			Interest in Property:	owner/lessee/other	

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.

  
Signature of Applicant

3-25-25

Date

#### Office Use Only

Application Received By: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Date Received: \_\_\_\_\_ Escrow Deposit Paid: \$ \_\_\_\_\_

# CHARTER TOWNSHIP OF UNION

## SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: THRIVE CHURCH

Name of business owner(s): \_\_\_\_\_

Street and mailing address: 913 E PICKARD ST. STE K. MT. PLEASANT, MI 48858  
989-572-0439

Telephone: \_\_\_\_\_

Fax: \_\_\_\_\_

Email: kjense7@gmail.com / dave.shephard@thrivechurchmi.cc

**I affirm that the information submitted is accurate.**

Owner(s) signature and date:  3/25/25

Information compiled by: \_\_\_\_\_

SHANEE THAYER, OFFICE MANAGER

CENTRAL MI SURVEYING & DEVELOPMENT CO. INC.



## Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

COMMON NAME	CHEMICAL NAME (components)	FORM	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
N/A				
NONE	<b>KEY:</b> LIQ. = liquid P.LIQ = pressurized liquid S = solids G = gas PG = pressurized gas			<b>KEY:</b> AGT = above ground tank DM = drums UGT = underground tank Cy = cylinders CM = metal cylinders OW = wooden or composition container TP = portable tank

## PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

[Michigan.gov/EGLEpermits](http://Michigan.gov/EGLEpermits)

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: [Michigan.gov/EHSguide](http://Michigan.gov/EHSguide). Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

How Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
1) Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), <a href="#">Permit Section</a>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
2) Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, <a href="#">Asbestos Program</a> , 517-284-6777	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
3) Please consult the <a href="#">Permitting at the Land and Water Interface Decision Tree</a> document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - <a href="#">Joint Permit Application</a> , 517-284-5567:		
a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
d. Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
4) Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? <b>Union Township and Isabella County</b>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
5) Does the project involve the construction or alteration of a water supply system system? <b>Union Township Public Services Department</b> and <a href="#">Drinking Water &amp; Environmental Health Division</a> (DWEHD), 517-284-6524	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
6) Does the project involve construction or alteration of any sewage collection or treatment facility? <b>Union Township Public Services Department</b> and <a href="#">WRD, Part 41 Construction Permit Program</a> (staff), 906-228-4527, or <a href="#">EGLE District Office</a>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
7) Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? <b>Union Township and Public Swimming Pool Program</b> , 517-284-6541, or <a href="#">EGLE District Office</a>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
8) Does the project involve the construction or modification of a campground? <b>Union Township and DWEHD, Campgrounds program</b> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>



9) Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), <a href="#">Solid Waste</a> , 517-284-6588, or <a href="#">EGLE District Office</a>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
10) Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, Hazardous Waste Section, <a href="#">Treatment, Storage and Disposal</a> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>Who Regulates My Drinking (Potable) Water Supply?</b>		
11) I am buying water from the municipal water supply system Contact the <b>Union Township Public Services Dept.</b>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
12) I have a Non-Community Water Supply (Type II) <a href="#">Guide, Contact (District or County) Local Health Department</a> , 517-485-0660	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
13) I am a community water supply (Type I) <a href="#">Community Water Supply, DWEHD District Office Community Water Supply Program</a> , 517-284-6512	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
14) Do you desire to develop a <a href="#">withdrawal of over 2,000,000 gallons of water per day</a> from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>Who Regulates My Wastewater Discharge System?</b>		
15) NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, <a href="#">EGLE District Office</a> , or <a href="#">National Pollutant Discharge Elimination (NPDES) Permit Program</a> , 517-284-5568	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
16) Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, <a href="#">Permits Section</a> , or <a href="#">EGLE District Office</a> , 517-284-5588	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
17) Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, <a href="#">Groundwater Permits Program</a> , 517-290-2570	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
18) Does the project involve the drilling or deepening of wells for waste disposal? <a href="#">Oil, Gas and Minerals Division</a> (OGMD), 517-284-6841	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Operational Permits Are Relevant to My Operation and Air Emissions?</b>		
19) Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, <a href="#">Permit Section</a> , 517-284-6634	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
20) Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, <a href="#">Acid Rain Permit Program</a> , 517-780-7843	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Operational Permits Are Relevant to My Waste Management?</b>		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? <a href="#">MMD</a> , 517-284-6588 or <a href="#">EGLE District Office</a>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? MMD, <a href="#">Hazardous and Liquid Waste</a> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? ( <a href="#">Hazardous Waste Program Forms &amp; License Applications</a> ) MMD, <a href="#">EGLE District Office</a> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>



24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, <a href="#">Radioactive Material and Standards Unit</a> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD <a href="#">Radioactive Material and Standards Unit</a> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, <a href="#">Medical Waste Regulatory Program</a> , 517-284-6594	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Sector-Specific Permits May be Relevant to My Business?</b>		
<b>Transporters</b>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste? MMD, <a href="#">Transporter Program</a> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
28) Does the project involve the <i>transport</i> of hazardous waste? MMD, <a href="#">Transporter Program</a> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, <a href="#">Water Hauler Information</a> , 517-284-6527	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, <a href="#">Septage Program</a> , 517-284-6535	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
31) Do you store, haul, shred or process <i>scrap tires</i> ? MMD, <a href="#">Scrap Tire Program</a> , 517-284-6586	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>Sectors</b>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, <a href="#">Dry Cleaning Program</a> , 517-284-6780	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? <a href="#">Laboratory Services Certifications</a> , 517-284-5424	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, <a href="#">Public Swimming Pools Program</a> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
35) Does the project involve the operation of a <i>campground</i> ? Union Township and DWEHD, <a href="#">Campgrounds</a> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Permits Do I Need to Add Chemicals to Lakes and Streams?</b>		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, <a href="#">Aquatic Nuisance Control</a> , 517-284-5593	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, <a href="#">Surface Water Assessment Section</a> , 517-331-5228	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Why would I be subject to Oil, Gas and Mineral Permitting?		
38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, <a href="#">Petroleum Geology and Production Unit</a> , 517-284-6826	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, <a href="#">Sand Dune Mining Program</a> , 517-284-6826	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, <a href="#">Radioactive Protection Programs</a> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<a href="#">Petroleum &amp; Mining</a> , OGMD, 517-284-6826		
41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
42) Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
44) Does the project involve mining coal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
45) Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Contact Union Township and [EGLE Permits & Bonding](#), OGMD, 517-284-6841



# THRIVE CHURCH FINAL SITE PLAN

## SOUTH ISABELLA ROAD, MT. PLEASANT, MI 48858

### SITE PLAN DESCRIPTIVE INFORMATION

OWNERSHIP OF THE PARCEL RESIDES WITH THRIVE COMMUNITY CHURCH AND IS EVIDENCED BY WARRANTY DEED LIBER 1898, PAGE 5528. THE OWNER IS THE APPLICANT AND DEVELOPER.

THE OWNER/APPLICANT/DEVELOPER IS BUILDING THEIR HOME CHURCH AND HAS NO INTENTION OF SELLING OR RENTING ANY PORTION OF THE STRUCTURE OR LAND. THRIVE CHURCH WILL HAVE A MAIN SANCTUARY THAT WILL SEAT 300 PEOPLE. THERE WILL BE OFFICES, CLASSROOMS, MEETING ROOMS, KITCHEN, BATHROOMS AND OPEN GATHERING AREAS AS SHOWN ON THE ARCHITECTURAL FLOOR PLAN. THE SITE IMPROVEMENTS ARE BEING PLACED TO SUPPORT THIS USE.

THE PROJECT IS SLATED TO COMMENCE AS EARLY AS SPRING OF 2025. A CONSTRUCTION SCHEDULE HAS NOT YET BEEN DEVELOPED AS THE FINAL ARCHITECTURAL, MECHANICAL, ELECTRICAL AND CIVIL DESIGN DRAWINGS HAVE YET TO BE COMPLETED. ONCE COMPLETED, THE BIDDING PROCESS WILL BEGIN. THE SELECTED GENERAL CONTRACTOR WILL DEVELOP THE CONSTRUCTION SCHEDULE.

ZONED B7 (RETAIL & SERVICE HWY. BUSINESS DISTRICT)	SPECIFICATION
MINIMUM FRONT YARD SETBACK	15 FT. MIN.
MINIMUM SIDE YARD SETBACK	10 FT. MIN.
MINIMUM REAR YARD SETBACK	10 FT. MIN.
MAXIMUM BUILDING HEIGHT	35 FT. MAX.
MINIMUM LOT WIDTH	130 FT MIN. (I)
MINIMUM LOT AREA	20,000 SQ. FT.
MAXIMUM LOT COVERAGE BY ALL BUILDINGS	30%

(I) Site Access Alternatives: If one of the following site access alternatives is provided, the minimum lot frontage requirement shall be reduced to one hundred (100) feet and the maximum lot coverage shall be increased to fifty percent (50%).

- A service road paralleling M-20 is provided across the entire parcel and primary ingress and egress to the parcel is via such service road.
- Alternative ingress and egress to the parcel is available, such as by way of a rear access road or a street intersecting M-20.
- Ingress and egress to the parcel from M-20 is via a driveway shared with adjoining properties.
- Ingress and egress to the parcel is through inter-connected parking areas with adjacent properties, if approved by the Planning Commission upon determining there will be safe and efficient vehicular and pedestrian circulation.
- Gross land area = 142,211.65 sf or 3.26 acres.

### MISS DIG:

FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

### UTILITY NOTE:

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-482-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY, NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

### LEGEND

#### SYMBOLS

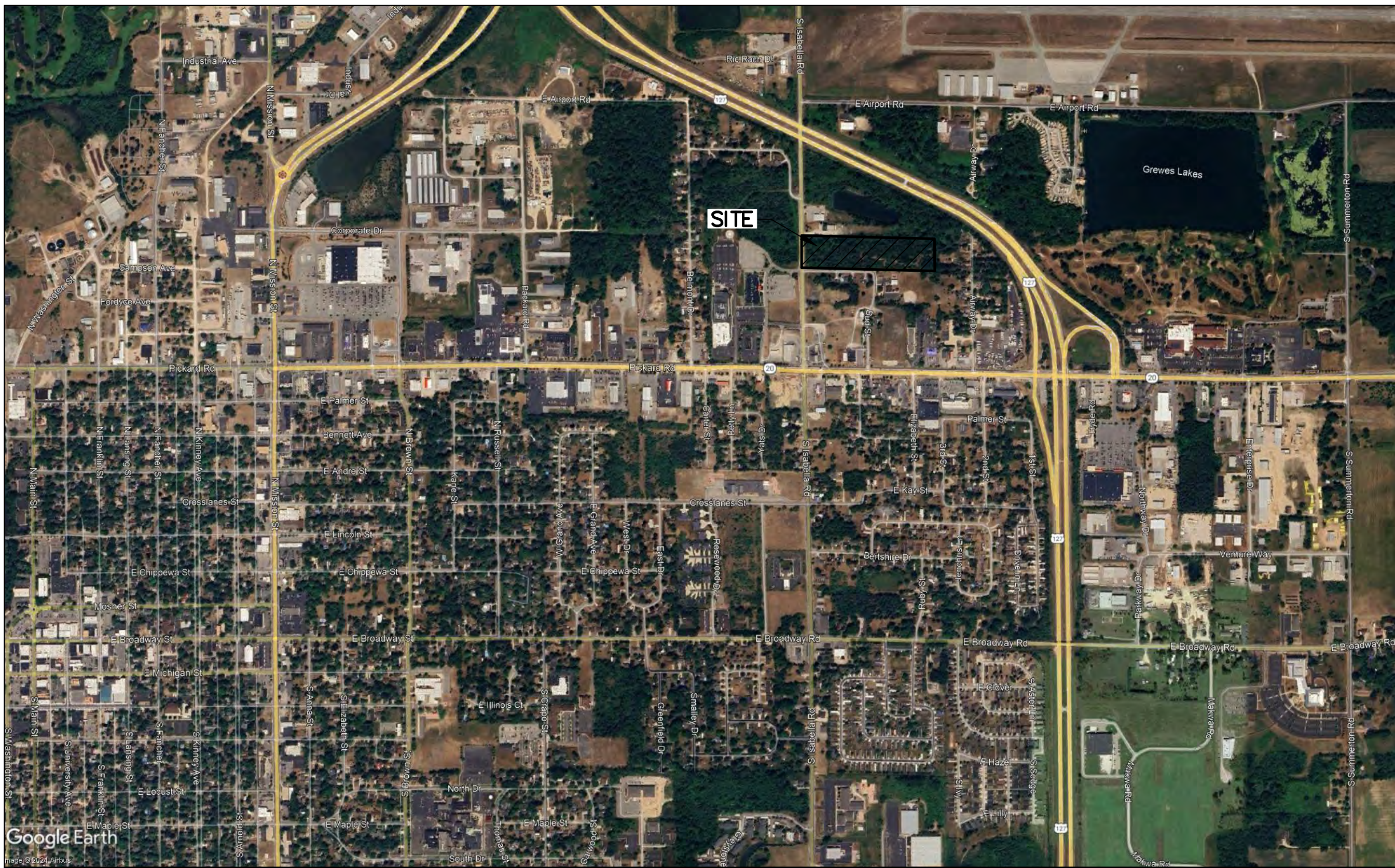
○ BOLLARD	☐ GAS RISER	⊙ SOIL BORING
☐ CATCH BASIN (CURB INLET)	⚓ GUY ANCHOR	⊙ GAS MARKER
⊙ CATCH BASIN (ROUND)	☒ HYDRANT - EXISTING	☒ TELEPHONE RISER
☐ CATCH BASIN (SQUARE)	☒ HYDRANT - PROPOSED	☒ TREE - CONIFEROUS
⊙ CLEAN OUT	☆ LIGHT POLE	☒ TREE - DECIDUOUS
→ DRAINAGE FLOW	☐ MAILBOX	⊙ UTILITY POLE
☐ ELECTRICAL BOX	⊙ TELEPHONE MANHOLE	☒ WATER MAIN VALVE
● FOUND CONC. MONUMENT	⊙ SANITARY SEWER MANHOLE	☒ WATER SHUT-OFF
○ FOUND IRON	● SET IRON	☒ WATER WELL
☒ GAS MAIN VALVE	☒ SIGN	☐ WOOD STAKE

#### LINETYPES

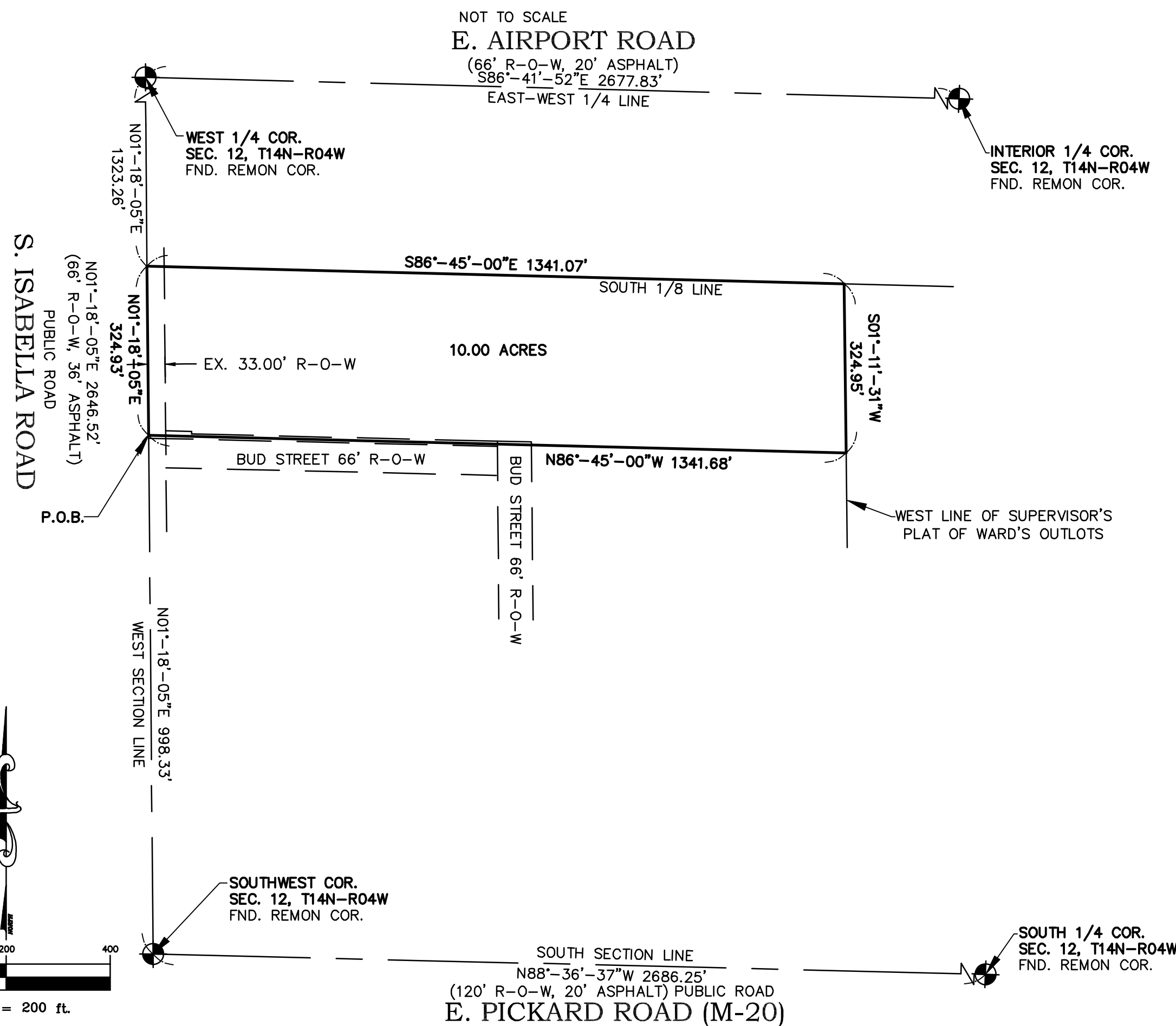
—ELEC—	BURIED ELECTRICAL CABLE
—PHONE—	BURIED TELEPHONE CABLE
—DITCH—CL—	CENTERLINE OF DITCH
—FM—	FORCE MAIN
—GAS—	GAS MAIN
—RD—CL—	ROAD CENTERLINE
—8" SAN—	SANITARY SEWER
—12" SS—	STORM SEWER
—EX-TOS—	TOE OF SLOPE
—EX-TOB—	TOP OF BANK
—ONE—ONE—	UTILITIES - OVERHEAD
—UTIL—	UTILITIES - UNDERGROUND
—12" WM—	WATER MAIN

#### HATCH PATTERNS

ASPHALT - EXISTING
ASPHALT - PROPOSED
CONCRETE
GRAVEL
LANDSCAPING
RIP-RAP



### LOCATION SKETCH



LEGAL DESCRIPTION PROVIDED: (LORENZ SURVEYING & ENGINEERING, INC. JOB# 220026)

THE NORTH 10 ACRES OF THE SOUTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER OF SECTION 12, T14N, R04W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT ON THE WEST LINE OF SAID SECTION 12 WHICH IS N01°-18'-00"E, ALONG SAID SECTION LINE, 998.33 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 12; THENCE CONTINUING N01°-18'-00"E, ALONG SAID WEST SECTION LINE, 324.93 FEET TO THE SOUTH ONE-EIGHTH LINE OF SAID SECTION 12; THENCE S86°-45'-00"E, ALONG SAID SOUTH ONE-EIGHTH LINE, 1341.07 FEET TO THE WEST LINE OF SUPERVISOR'S PLAT OF WARD'S OUTLOTS AS RECORDED IN LIBER 3 OF PLATS, PAGE 167; THENCE S01°-11'-31"W, ALONG SAID WEST LINE OF SUPERVISOR'S PLAT OF WARD'S OUTLOTS, 324.95 FEET; THENCE N86°-45'-00"W, PARALLEL WITH SAID SOUTH ONE-EIGHTH LINE, 1341.68 FEET TO THE POINT OF BEGINNING, CONTAINING 10.00 ACRES, SUBJECT TO THE WESTERLY 33.00 FEET THEREOF AS ISABELLA ROAD AND SUBJECT TO EASEMENTS, RIGHT OF WAYS, RESTRICTIONS AND RESERVATIONS WHETHER USED, IMPLIED OR OF RECORD.

### SHEET INDEX

SHEET 1	COVER SHEET
SHEET 2	EXISTING TOPOGRAPHY
SHEET 3	HORIZONTAL PLAN WEST
SHEET 4	HORIZONTAL PLAN EAST
SHEET 5	OPEN LAWN AREA
SHEET 6	GRADING PLAN WEST
SHEET 7	GRADING PLAN EAST
SHEET 8	OVERALL UTILITY PLAN
SHEET 9	WATERMAIN & SANITARY SEWER PLAN & PROFILE
SHEET 10	LANDSCAPING PLAN
SHEET 11	SOIL EROSION PLAN
SHEET 12	DETAILS
SHEET 13	WATERMAIN DETAILS
SHEET 14	ARCHITECTURAL DRAWINGS (BY OTHERS)
SHEET 15	LIGHTING PLAN (BY OTHERS)

### FLOOD ZONE CERTIFICATION:

THE PROPERTY IS LOCATED IN ZONE X AS DESIGNATED BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 26073C0330D WITH AN EFFECTIVE DATE OF 2/5/2014 FOR THE CHARTER TOWNSHIP OF UNION, ISABELLA COUNTY, MICHIGAN WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.

BEARING BASIS PER GEODETIC OBSERVATION MICHIGAN STATE PLANE SOUTH. THE BEARING BETWEEN THE SOUTHWEST CORNER AND THE WEST 1/4 CORNER WAS DETERMINED TO BE N01°-18'-05"E

SITE: NONADDRESSED PARCEL  
TAX I.D.# 14-012-30-009-00  
SOUTH ISABELLA ROAD  
MT. PLEASANT, MI 48858

OWNER/CLIENT: ATTN: PASTOR DAVID SHEPHERD  
THRIVE COMMUNITY CHURCH  
P.O. BOX 1408  
MT. PLEASANT, MI 48804

CONSULTANT: CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC.  
2257 E BROOMFIELD ROAD  
MT. PLEASANT, MI 48858  
CONTACT PERSON: TIMOTHY E BEBEE  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com

### CHARTER COMMUNICATIONS

2014 S. MISSION  
MT. PLEASANT, MI 48858  
(989) 621-0505  
JODY LAMROUX  
jlamroux@chartercom.com

### CONSUMERS ENERGY

CONSUMERS ENERGY PARKWAY  
CLARE, MI 48617  
(231) 592-3244  
ERICA BAUMANN  
erica.baumann@cmsenergy.com

### FRONTIER

345 PINE STREET  
ALMA, MI 48801  
(989) 763-3129  
CHRIS STANTON  
chris.stanton@ftr.com

### DTE ENERGY

809 BJORNSON  
BIG RAPIDS, MI 49307  
(231) 349-2364  
LARRY BOURKE  
lbourke@dteenergy.com

### MT. PLEASANT FIRE DEPARTMENT

804 EAST HIGH STREET  
MT. PLEASANT, MI 48858  
(989) 779-5100 EXT 5122  
LT. BRAD DOEPKER  
bdoepker@mt-pleasant.org

### UNION TOWNSHIP UTILITIES

DEPARTMENT OF PUBLIC SERVICES  
2010 S. LINCOLN  
MT. PLEASANT, MI 48858  
(989) 772-4600 EXT. 224  
KIM SMITH  
ksmith@uniontownshipmi.com

### UNION TOWNSHIP DEVELOPMENT

COMMUNITY & ECONOMIC DEVELOPMENT  
2010 S. LINCOLN  
MT. PLEASANT, MI 48858  
989 772-4600 EXT. 232  
RODNEY NANNEY, AICP  
rnanney@uniontownshipmi.com

### UNION TOWNSHIP ZONING

ZONING DEPARTMENT  
2010 S. LINCOLN  
MT. PLEASANT, MI 48858  
989 772-4600 EXT. 241  
PETER GALLINAT  
pgallinat@uniontownshipmi.com

### DRAIN COMMISSIONERS OFFICE

ISABELLA COUNTY BUILDING  
200 NORTH MAIN STREET ROOM 140  
MT. PLEASANT, MI 48857  
(989) 772-0911  
ROBERT WILLOUGHBY  
drain@isabellacounty.org

### ISABELLA COUNTY ROAD COMMISSION

2251 EAST REMUS ROAD  
MT. PLEASANT, MI 48858  
(989) 773-7131 EXT 115  
PATRICK GAFFNEY  
PGaffney@isabellaroads.com

COVER SHEET  
THRIVE CHURCH

PART OF THE SOUTHWEST 1/4  
SECTION 12, T14N-R04W,  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:  
PER UNION TWP. PLANNING LETTER 1-15-25

SUBMITTALS:  
SUBMITTAL TO CLIENT FOR REVIEW 3-1-24  
SUBMITTAL TO UNION TWP. PLANNING 12-23-24  
SUBMITTAL TO UNION TWP. PLANNING 3-25-25  
SUBMITTAL TO UNION TWP. PLANNING 5-7-25  
SUBMITTAL TO UNION TWP. PLANNING 6-2-25

JOB NUMBER:  
2410-128

DRAWN BY:  
BTM

DESIGNED BY:  
N/A

CHECKED BY:  
TELB

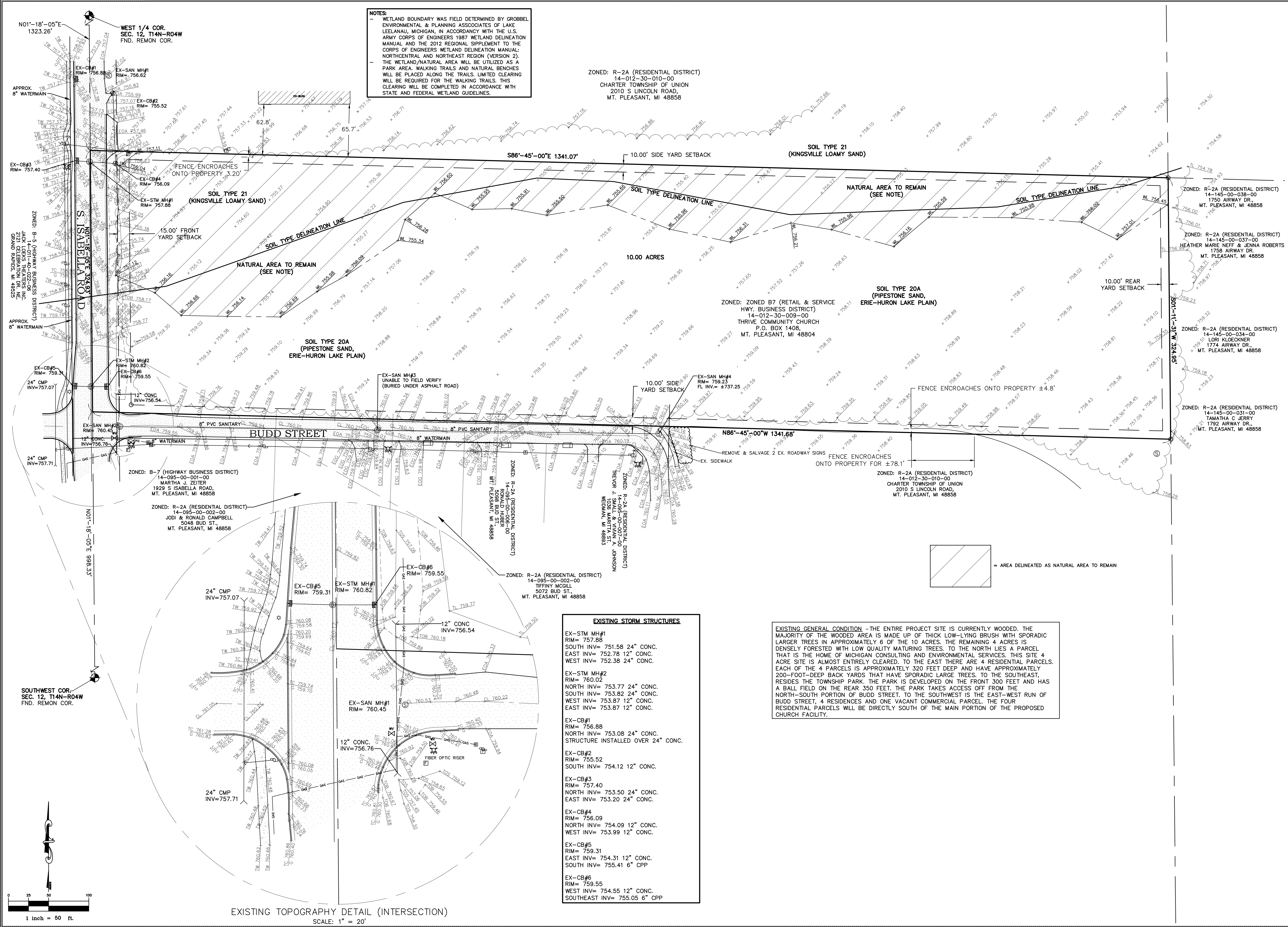
SCALE  
N/A

SHEET NUMBER  
1 OF 15

CMS & D  
SURVEYING / ENGINEERING  
2257 EAST BROOMFIELD ROAD  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com







NOTES:  
- WETLAND BOUNDARY WAS FIELD DETERMINED BY GROBBEL ENVIRONMENTAL & PLANNING ASSOCIATES OF LAKE LEEANAU, MICHIGAN, IN ACCORDANCY WITH THE U.S. ARMY CORPS OF ENGINEERS 1987 WETLAND DELINEATION MANUAL AND THE 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHERN AND NORTHEAST REGION (VERSION 2).  
- THE WETLAND/NATURAL AREA WILL BE UTILIZED AS A PARK AREA. WALKING TRAILS AND NATURAL BENCHES WILL BE PLACED ALONG THE TRAILS. LIMITED CLEARING WILL BE REQUIRED FOR THE WALKING TRAILS. THIS CLEARING WILL BE COMPLETED IN ACCORDANCE WITH STATE AND FEDERAL WETLAND GUIDELINES.

ZONED: R-2A (RESIDENTIAL DISTRICT)  
14-012-30-010-00  
CHARTER TOWNSHIP OF UNION  
2010 S LINCOLN ROAD,  
MT. PLEASANT, MI 48858

SOIL TYPE 21  
(KINGSVILLE LOAMY SAND)

NATURAL AREA TO REMAIN  
(SEE NOTE)

SOIL TYPE 20A  
(PIPESTONE SAND,  
ERIE-HURON LAKE PLAIN)

ZONED: ZONED B7 (RETAIL & SERVICE  
HWY. BUSINESS DISTRICT)  
14-012-30-009-00  
THRIVE COMMUNITY CHURCH  
P.O. BOX 1408,  
MT. PLEASANT, MI 48804

ZONED: R-2A (RESIDENTIAL DISTRICT)  
14-145-00-038-00  
1750 AIRWAY DR.  
MT. PLEASANT, MI 48858

ZONED: R-2A (RESIDENTIAL DISTRICT)  
14-145-00-037-00  
HEATHER MARIE NEFF & JENNA ROBERTS  
1758 AIRWAY DR.  
MT. PLEASANT, MI 48858

ZONED: R-2A (RESIDENTIAL DISTRICT)  
14-145-00-034-00  
LORI KLOECKNER  
1774 AIRWAY DR.  
MT. PLEASANT, MI 48858

ZONED: R-2A (RESIDENTIAL DISTRICT)  
14-145-00-031-00  
TAMATHA C JERRY  
1792 AIRWAY DR.  
MT. PLEASANT, MI 48858

ZONED: B-7 (HIGHWAY BUSINESS DISTRICT)  
14-095-00-001-00  
MARTHA J. ZEITER  
1929 S ISABELLA ROAD,  
MT. PLEASANT, MI 48858

ZONED: R-2A (RESIDENTIAL DISTRICT)  
14-095-00-002-00  
JODI & RONALD CAMPBELL  
5048 BUD ST.  
MT. PLEASANT, MI 48858

ZONED: R-2A (RESIDENTIAL DISTRICT)  
14-095-00-006-00  
RONALD HUBER  
1038 BUD ST.  
MT. PLEASANT, MI 48858

ZONED: R-2A (RESIDENTIAL DISTRICT)  
14-095-00-003-00  
JAMES & JUANITA JOHNSON  
1038 BUD ST.  
MT. PLEASANT, MI 48858

ZONED: R-2A (RESIDENTIAL DISTRICT)  
14-095-00-002-00  
TIFFINY MCGILL  
5072 BUD ST.,  
MT. PLEASANT, MI 48858

EXISTING STORM STRUCTURES

EX-STM MH#1  
RIM= 757.88  
SOUTH INV= 751.58 24" CONC.  
EAST INV= 752.78 12" CONC.  
WEST INV= 752.38 24" CONC.

EX-STM MH#2  
RIM= 760.02  
NORTH INV= 753.77 24" CONC.  
SOUTH INV= 753.82 24" CONC.  
WEST INV= 753.87 12" CONC.  
EAST INV= 753.87 12" CONC.

EX-CB#1  
RIM= 756.88  
NORTH INV= 753.08 24" CONC.  
STRUCTURE INSTALLED OVER 24" CONC.

EX-CB#2  
RIM= 755.52  
SOUTH INV= 754.12 12" CONC.

EX-CB#3  
RIM= 757.40  
NORTH INV= 753.50 24" CONC.  
EAST INV= 753.20 24" CONC.

EX-CB#4  
RIM= 756.09  
NORTH INV= 754.09 12" CONC.  
WEST INV= 753.99 12" CONC.

EX-CB#5  
RIM= 759.31  
EAST INV= 754.31 12" CONC.  
SOUTH INV= 755.41 6" CPP

EX-CB#6  
RIM= 759.55  
WEST INV= 754.55 12" CONC.  
SOUTHEAST INV= 755.05 6" CPP

EXISTING GENERAL CONDITION - THE ENTIRE PROJECT SITE IS CURRENTLY WOODED. THE MAJORITY OF THE WOODED AREA IS MADE UP OF THICK LOW-LYING BRUSH WITH SPORADIC LARGER TREES IN APPROXIMATELY 6 OF THE 10 ACRES. THE REMAINING 4 ACRES IS DENSELY FORESTED WITH LOW QUALITY MATURING TREES. TO THE NORTH LIES A PARCEL THAT IS THE HOME OF MICHIGAN CONSULTING AND ENVIRONMENTAL SERVICES. THIS SITE 4 ACRE SITE IS ALMOST ENTIRELY CLEARED. TO THE EAST THERE ARE 4 RESIDENTIAL PARCELS. EACH OF THE 4 PARCELS IS APPROXIMATELY 320 FEET DEEP AND HAVE APPROXIMATELY 200-FOOT-DEEP BACK YARDS THAT HAVE SPORADIC LARGE TREES. TO THE SOUTHEAST, RESIDES THE TOWNSHIP PARK. THE PARK IS DEVELOPED ON THE FRONT 300 FEET AND HAS A BALL FIELD ON THE REAR 350 FEET. THE PARK TAKES ACCESS OFF FROM THE NORTH-SOUTH PORTION OF BUDD STREET. TO THE SOUTHWEST IS THE EAST-WEST RUN OF BUDD STREET, 4 RESIDENCES AND ONE VACANT COMMERCIAL PARCEL. THE FOUR RESIDENTIAL PARCELS WILL BE DIRECTLY SOUTH OF THE MAIN PORTION OF THE PROPOSED CHURCH FACILITY.

**CMS & D**  
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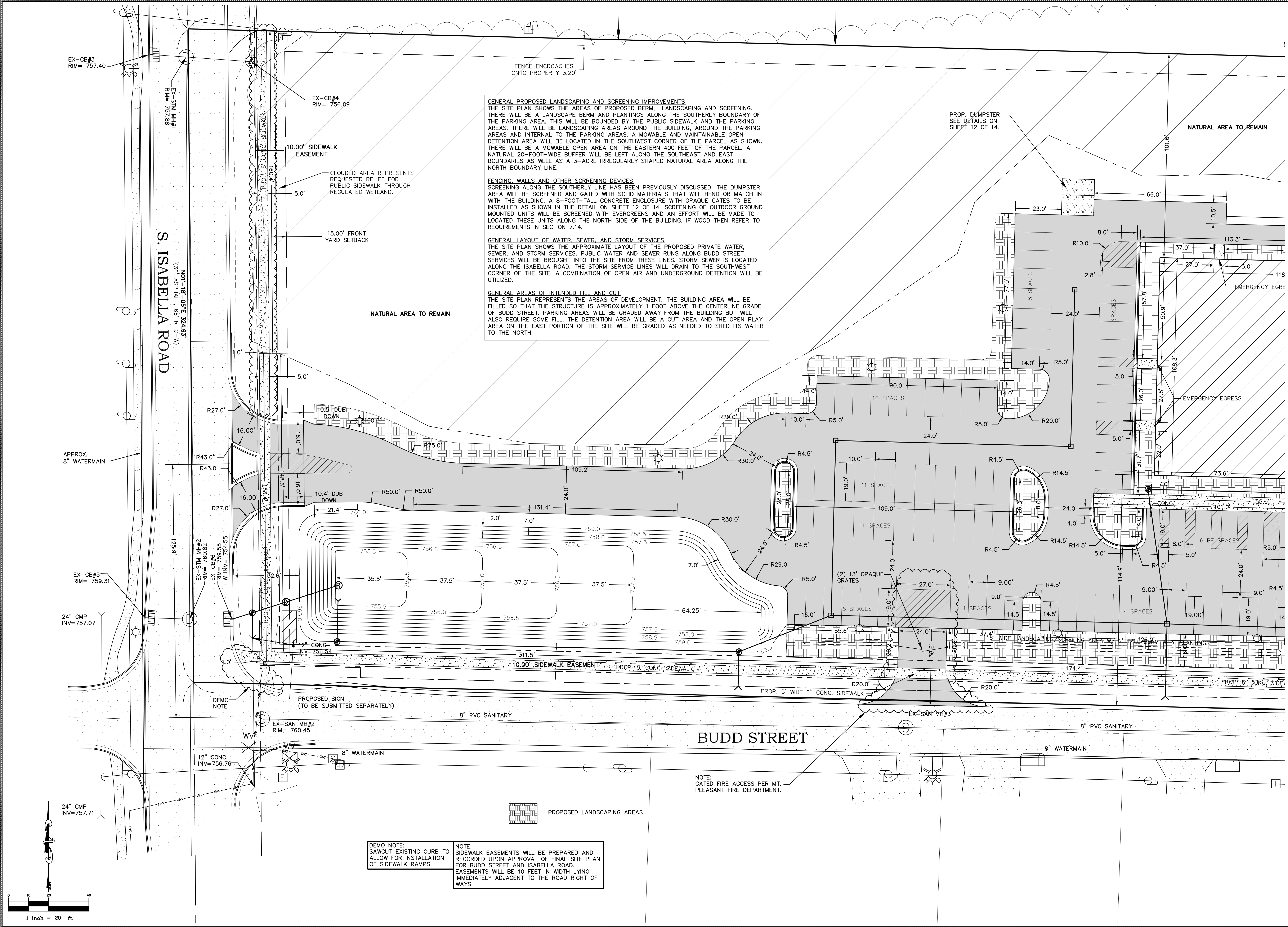
EXISTING TOPOGRAPHY

THRIVE CHURCH

PART OF THE SOUTHWEST 1/4  
SECTION 12, T14N-R04W,  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:	PER UNION TWP. PLANNING LETTER 1-15-25
SUBMITTALS:	SUBMITTAL TO CLIENT FOR REVIEW 3-1-24
JOB NUMBER:	2410-128
DRAWN BY:	BTM
DESIGNED BY:	N/A
CHECKED BY:	TELB
SHEET NUMBER	2 OF 15
SCALE	1" = 50'





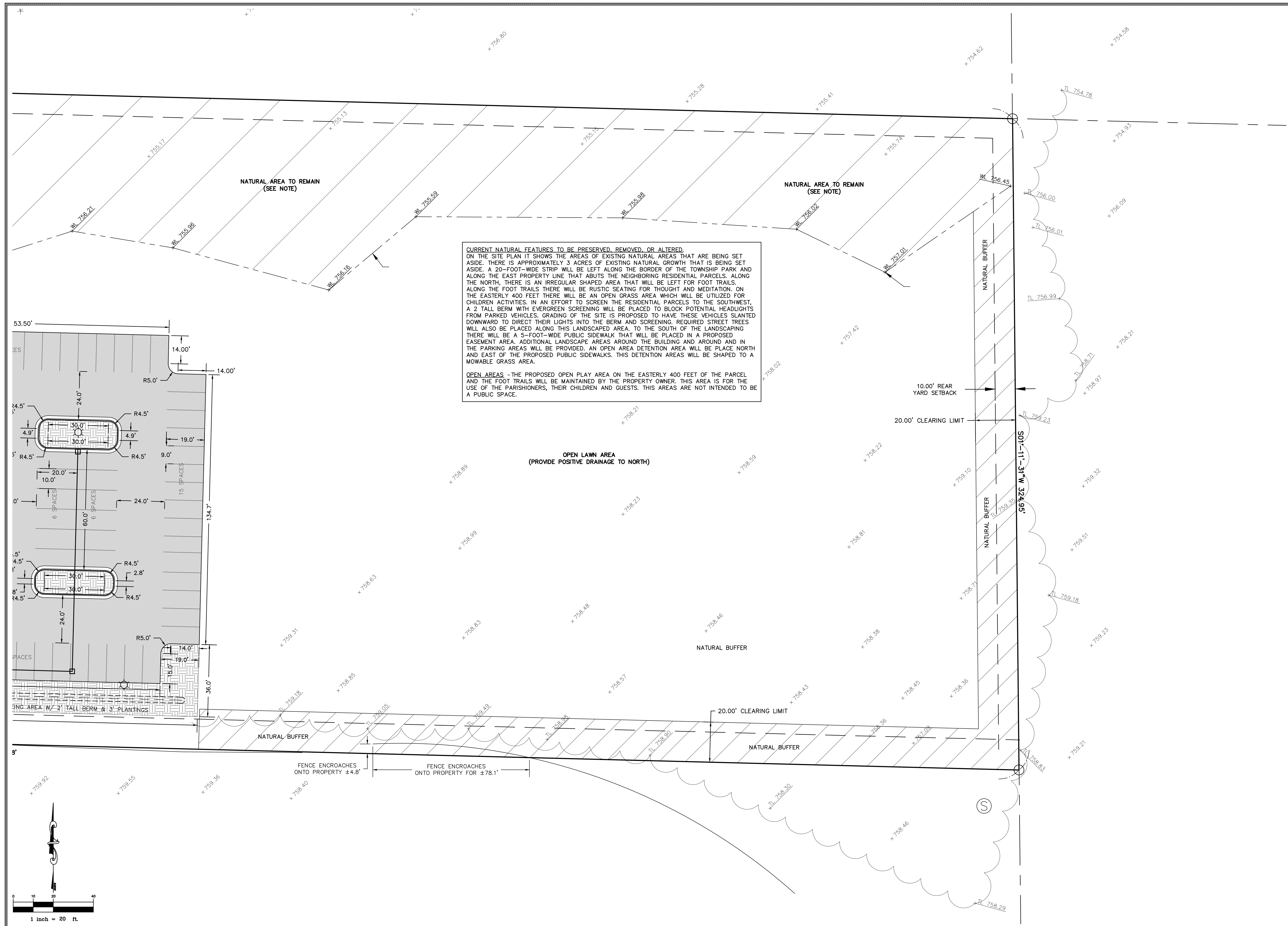
**CMS & D**  
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2257 EAST BROOMFIELD ROAD  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com

**HORIZONTAL & GENERAL GRADING PLAN WEST**  
**THRIVE CHURCH**  
PART OF THE SOUTHWEST 1/4  
SECTION 12, T14N-R04W,  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

SCALE	1" = 20'
JOB NUMBER:	2410-128
DRAWN BY:	BTM
DESIGNED BY:	N/A
CHECKED BY:	TELB








CURRENT NATURAL FEATURES TO BE PRESERVED, REMOVED, OR ALTERED.

ON THE SITE PLAN IT SHOWS THE AREAS OF EXISTING NATURAL AREAS THAT ARE BEING SET ASIDE. THERE IS APPROXIMATELY 3 ACRES OF EXISTING NATURAL GROWTH THAT IS BEING SET ASIDE. A 20-FOOT-WIDE STRIP WILL BE LEFT ALONG THE BORDER OF THE TOWNSHIP PARK AND ALONG THE EAST PROPERTY LINE THAT ABUTS THE NEIGHBORING RESIDENTIAL PARCELS. ALONG THE NORTH, THERE IS AN IRREGULAR SHADED AREA THAT WILL BE LEFT FOR FOOD TRAILS. ALONG THE SOUTH, THE FOOT TRAILS THERE WILL BE RUSTIC SEATING FOR THOUGHT AND MEDITATION. ON THE EASTERLY 400 FEET THERE WILL BE AN OPEN GRASS AREA WHICH WILL BE UTILIZED FOR CHILDREN ACTIVITIES. IN AN EFFORT TO SCREEN THE RESIDENTIAL PARCELS TO THE SOUTHWEST, A 2 TALL BERM WITH EVERGREEN SCREENING WILL BE PLACED TO BLOCK POTENTIAL HEADLIGHTS FROM PARKED VEHICLES. GRADING OF THE SITE IS PROPOSED TO HAVE THESE VEHICLES SLANTED DOWNWARD TO DIRECT THEIR LIGHTS INTO THE BERM AND SCREENING. REQUIRED STREET TREES WILL ALSO BE PLACED ALONG THE LANDSCAPED AREA. TO THE SOUTH OF THE LANDSCAPED THERE WILL BE A 5-FOOT-WIDE PUBLIC SIDEWALK THAT WILL BE PLACED IN A PROPOSED EASEMENT AREA. ADDITIONAL LANDSCAPE AREAS AROUND THE BUILDING AND AROUND AND IN THE PARKING AREAS WILL BE PROVIDED. AN OPEN AREA DETENTION AREA WILL BE PLACED NORTH AND EAST OF THE PROPOSED PUBLIC SIDEWALKS. THIS DETENTION AREAS WILL BE SHAPED TO A MOVABLE GRASS AREA.

OPEN AREAS - THE PROPOSED OPEN PLAY AREA ON THE EASTERLY 400 FEET OF THE PARCEL AND THE FOOT TRAILS WILL BE MAINTAINED BY THE PROPERTY OWNER. THIS AREA IS FOR THE USE OF THE PARISHIONERS, THEIR CHILDREN AND GUESTS. THIS AREAS ARE NOT INTENDED TO BE A PUBLIC SPACE.



**CMS & D**

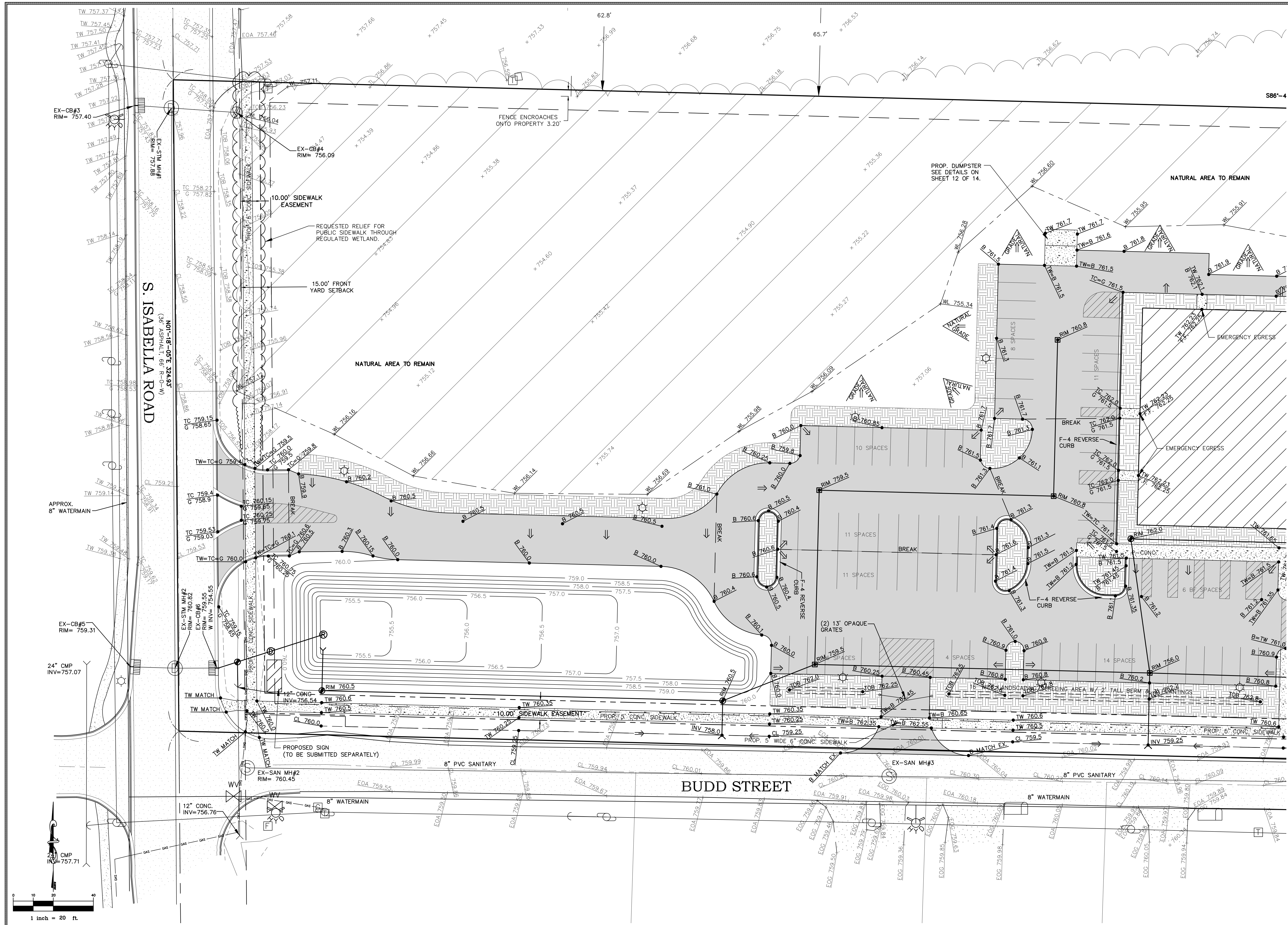
**SURVEYING / ENGINEERING**

2257 EAST BROOMFIELD ROAD  
MT. PLEASANT, MICHIGAN 48858  
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FAX: (989) 775-0757  
EMAIL: info@cms-d.com

OPEN LAWN AREA  
THRIVE CHURCH  
PART OF THE SOUTHWEST 1/4  
SECTION 12, T14N-R04W,  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

SCALE	1" = 20'	JOB NUMBER: 2410-128	SUBMITTALS: SUBMITTAL TO CLIENT FOR REVIEW 3-1-24	REVISIONS: PER UNION TWP. PLANNING LETTER 1-15-25
SHEET NUMBER 5 of 15	DRAWN BY: BTM	SUBMITTAL TO UNION TWP. PLANNING 12-23-24		
	DESIGNED BY: N/A	SUBMITTAL TO UNION TWP. PLANNING 3-25-25		
	CHECKED BY:	SUBMITTAL TO UNION TWP. PLANNING 5-7-25		
	TELB	SUBMITTAL TO UNION TWP. PLANNING 6-2-25		

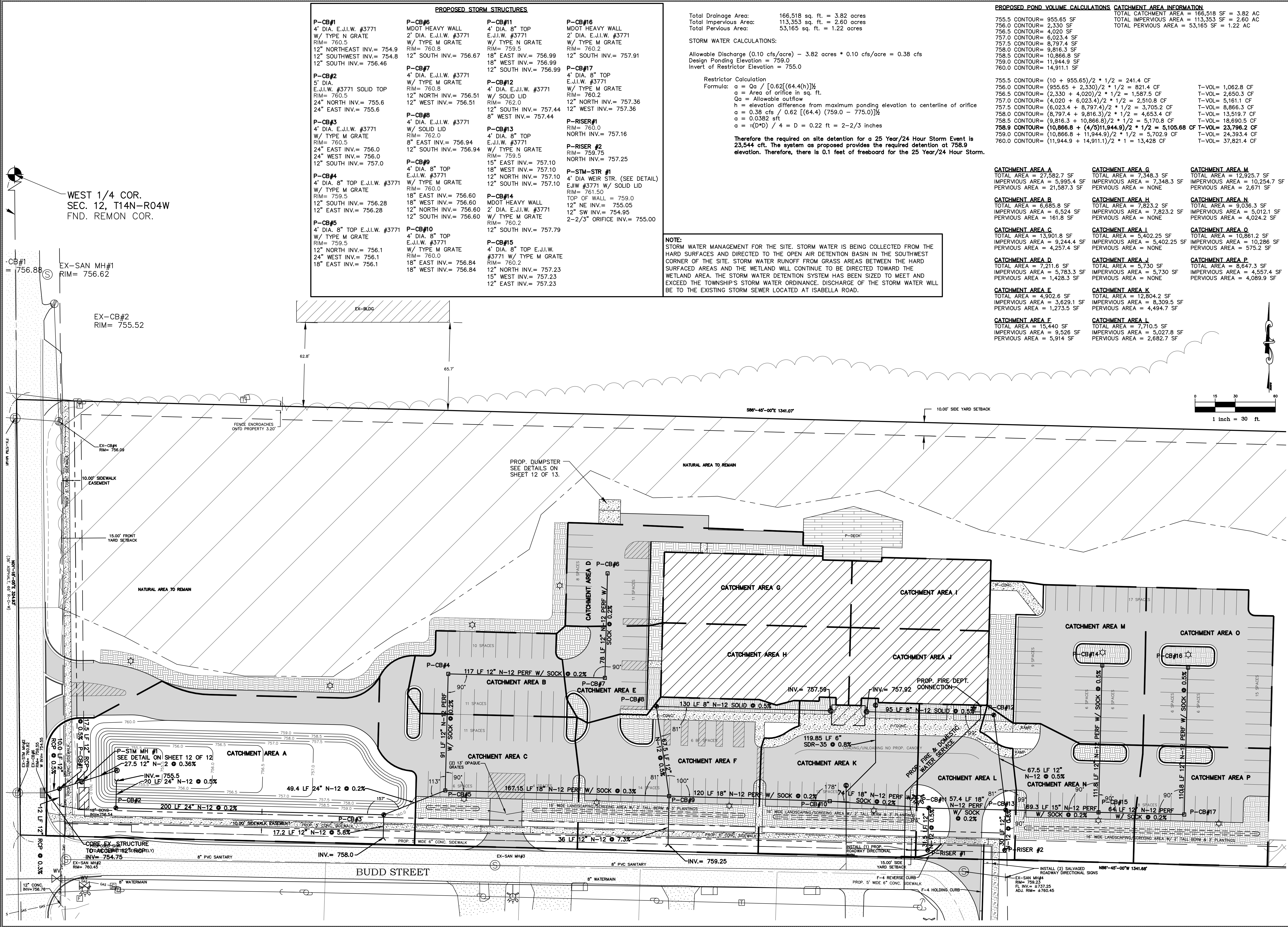












PROPOSED STORM STRUCTURES			
<b>P-CB#1</b> 4' DIA. E.J.I.W. #3771 W/ TYPE N GRATE RIM= 760.5 12" NORTHEAST INV.= 754.9 12" SOUTHWEST INV.= 754.8 12" SOUTH INV.= 756.46	<b>P-CB#6</b> MDOT HEAVY WALL 2' DIA. E.J.I.W. #3771 W/ TYPE M GRATE RIM= 760.8 12" SOUTH INV.= 756.67	<b>P-CB#11</b> 4' DIA. 8" TOP E.J.I.W. #3771 W/ TYPE N GRATE RIM= 759.5 18" EAST INV.= 756.99 18" WEST INV.= 756.99 12" SOUTH INV.= 756.99	<b>P-CB#16</b> MDOT HEAVY WALL 2' DIA. E.J.I.W. #3771 W/ TYPE M GRATE RIM= 760.2 12" SOUTH INV.= 757.91
<b>P-CB#2</b> 5' DIA. E.J.I.W. #3771 SOLID TOP RIM= 760.5 24" NORTH INV.= 755.6 24" EAST INV.= 755.6	<b>P-CB#7</b> 4' DIA. E.J.I.W. #3771 W/ TYPE M GRATE RIM= 760.8 12" NORTH INV.= 756.51 12" WEST INV.= 756.51	<b>P-CB#12</b> 4' DIA. E.J.I.W. #3771 W/ SOLID LID RIM= 762.0 12" SOUTH INV.= 757.44 8" WEST INV.= 757.44	<b>P-CB#17</b> 4' DIA. 8" TOP E.J.I.W. #3771 W/ TYPE M GRATE RIM= 760.2 12" NORTH INV.= 757.36 12" WEST INV.= 757.36
<b>P-CB#3</b> 4' DIA. E.J.I.W. #3771 W/ TYPE M GRATE RIM= 760.5 24" EAST INV.= 756.0 24" WEST INV.= 756.0 12" SOUTH INV.= 757.0	<b>P-CB#8</b> 4' DIA. E.J.I.W. #3771 W/ SOLID LID RIM= 762.0 8" EAST INV.= 756.94 12" SOUTH INV.= 756.94	<b>P-CB#13</b> 4' DIA. 8" TOP E.J.I.W. #3771 W/ TYPE N GRATE RIM= 759.5 15" EAST INV.= 757.10 18" WEST INV.= 757.10 12" NORTH INV.= 757.10 12" SOUTH INV.= 757.10	<b>P-RISER #1</b> RIM= 760.0 NORTH INV.= 757.16
<b>P-CB#4</b> 4' DIA. 8" TOP E.J.I.W. #3771 W/ TYPE M GRATE RIM= 759.5 12" SOUTH INV.= 756.28 12" WEST INV.= 756.28	<b>P-CB#9</b> 4' DIA. 8" TOP E.J.I.W. #3771 W/ TYPE M GRATE RIM= 760.0 18" EAST INV.= 756.60 18" WEST INV.= 756.60 12" NORTH INV.= 756.60 12" SOUTH INV.= 756.60	<b>P-CB#14</b> MDOT HEAVY WALL 2' DIA. E.J.I.W. #3771 W/ TYPE M GRATE RIM= 760.2 12" SOUTH INV.= 757.79	<b>P-RISER #2</b> RIM= 759.75 NORTH INV.= 757.25
<b>P-CB#5</b> 4' DIA. 8" TOP E.J.I.W. #3771 W/ TYPE M GRATE RIM= 759.5 12" NORTH INV.= 756.1 24" WEST INV.= 756.1 18" EAST INV.= 756.1	<b>P-CB#10</b> 4' DIA. 8" TOP E.J.I.W. #3771 W/ TYPE M GRATE RIM= 760.0 18" EAST INV.= 756.84 18" WEST INV.= 756.84	<b>P-CB#15</b> 4' DIA. 8" TOP E.J.I.W. #3771 W/ TYPE M GRATE RIM= 760.2 12" NORTH INV.= 757.23 15" WEST INV.= 757.23 12" EAST INV.= 757.23	<b>P-STM-STR #1</b> 4' DIA WEIR STR. (SEE DETAIL) EJ.W. #3771 W/ SOLID LID RIM= 761.50 TOP OF WALL = 759.0 12" NE INV.= 755.05 12" SW INV.= 754.95 2-2/3" ORIFICE INV.= 755.00

Total Drainage Area: 166,518 sq. ft. = 3.82 acres  
Total Impervious Area: 113,353 sq. ft. = 2.60 acres  
Total Pervious Area: 53,165 sq. ft. = 1.22 acres

STORM WATER CALCULATIONS:

Allowable Discharge (0.10 cfs/acre) - 3.82 acres \* 0.10 cfs/acre = 0.38 cfs  
Design Ponding Elevation = 759.0  
Invert of Restrictor Elevation = 755.0

Restrictor Calculation

Formula:  $a = Qa / [0.62[(64.4(h))^{1/2}]$

a = Area of orifice in sq. ft.

Qa = Allowable outflow

h = elevation difference from maximum ponding elevation to centerline of orifice

a = 0.38 cfs / 0.62 [(64.4) (759.0 - 775.0)]<sup>1/2</sup>

a = 0.0382 sq ft

a =  $\pi(D^2) / 4 = D = 0.22 \text{ ft} = 2-2/3 \text{ inches}$

Therefore the required on site detention for a 25 Year/24 Hour Storm Event is 23,544 cft. The system as proposed provides the required detention at 758.9 elevation. Therefore, there is 0.1 feet of freeboard for the 25 Year/24 Hour Storm.

PROPOSED POND VOLUME CALCULATIONS CATCHMENT AREA INFORMATION

755.5 CONTOUR= 955.65 SF  
756.0 CONTOUR= 2,330 SF  
756.5 CONTOUR= 4,020 SF  
757.0 CONTOUR= 6,023.4 SF  
757.5 CONTOUR= 8,797.4 SF  
758.0 CONTOUR= 9,816.3 SF  
758.5 CONTOUR= 10,866.8 SF  
759.0 CONTOUR= 11,944.9 SF  
760.0 CONTOUR= 14,911.1 SF

TOTAL CATCHMENT AREA = 166,518 SF = 3.82 AC  
TOTAL IMPERVIOUS AREA = 113,353 SF = 2.60 AC  
TOTAL PERVIOUS AREA = 53,165 SF = 1.22 AC

755.5 CONTOUR= (10 + 955.65)/2 \* 1/2 = 241.4 CF  
756.0 CONTOUR= (955.65 + 2,330)/2 \* 1/2 = 821.4 CF  
756.5 CONTOUR= (2,330 + 4,020)/2 \* 1/2 = 1,587.5 CF  
757.0 CONTOUR= (4,020 + 6,023.4)/2 \* 1/2 = 2,510.8 CF  
757.5 CONTOUR= (6,023.4 + 8,797.4)/2 \* 1/2 = 3,705.2 CF  
758.0 CONTOUR= (8,797.4 + 9,816.3)/2 \* 1/2 = 4,653.4 CF  
758.5 CONTOUR= (9,816.3 + 10,866.8)/2 \* 1/2 = 5,170.8 CF  
758.9 CONTOUR= (10,866.8 + (4/5)11,944.9)/2 \* 1/2 = 5,105.68 CF  
759.0 CONTOUR= (10,866.8 + 11,944.9)/2 \* 1/2 = 5,702.9 CF  
760.0 CONTOUR= (11,944.9 + 14,911.1)/2 \* 1 = 13,428 CF

T-VOL= 1,062.8 CF  
T-VOL= 2,650.3 CF  
T-VOL= 5,161.1 CF  
T-VOL= 8,866.3 CF  
T-VOL= 13,519.7 CF  
T-VOL= 18,690.5 CF  
T-VOL= 23,796.2 CF  
T-VOL= 24,393.4 CF  
T-VOL= 37,821.4 CF

**CATCHMENT AREA A**  
TOTAL AREA = 7,582.7 SF  
IMPERVIOUS AREA = 5,995.4 SF  
PERVIOUS AREA = 21,587.3 SF

**CATCHMENT AREA B**  
TOTAL AREA = 6,885.8 SF  
IMPERVIOUS AREA = 6,524 SF  
PERVIOUS AREA = 161.8 SF

**CATCHMENT AREA C**  
TOTAL AREA = 13,901.8 SF  
IMPERVIOUS AREA = 9,244.4 SF  
PERVIOUS AREA = 4,257.4 SF

**CATCHMENT AREA D**  
TOTAL AREA = 7,211.6 SF  
IMPERVIOUS AREA = 5,783.3 SF  
PERVIOUS AREA = 1,428.3 SF

**CATCHMENT AREA E**  
TOTAL AREA = 4,902.6 SF  
IMPERVIOUS AREA = 3,629.1 SF  
PERVIOUS AREA = 1,273.5 SF

**CATCHMENT AREA F**  
TOTAL AREA = 15,440 SF  
IMPERVIOUS AREA = 9,526 SF  
PERVIOUS AREA = 5,914 SF

**CATCHMENT AREA G**  
TOTAL AREA = 7,348.3 SF  
IMPERVIOUS AREA = 7,348.3 SF  
PERVIOUS AREA = NONE

**CATCHMENT AREA H**  
TOTAL AREA = 7,823.2 SF  
IMPERVIOUS AREA = 7,823.2 SF  
PERVIOUS AREA = NONE

**CATCHMENT AREA I**  
TOTAL AREA = 5,402.25 SF  
IMPERVIOUS AREA = 5,402.25 SF  
PERVIOUS AREA = NONE

**CATCHMENT AREA J**  
TOTAL AREA = 5,730 SF  
IMPERVIOUS AREA = 5,730 SF  
PERVIOUS AREA = NONE

**CATCHMENT AREA K**  
TOTAL AREA = 12,804.2 SF  
IMPERVIOUS AREA = 8,309.5 SF  
PERVIOUS AREA = 4,494.7 SF

**CATCHMENT AREA L**  
TOTAL AREA = 7,710.5 SF  
IMPERVIOUS AREA = 5,027.8 SF  
PERVIOUS AREA = 2,682.7 SF

**CATCHMENT AREA M**  
TOTAL AREA = 12,925.7 SF  
IMPERVIOUS AREA = 10,254.7 SF  
PERVIOUS AREA = 2,671 SF

**CATCHMENT AREA N**  
TOTAL AREA = 9,036.3 SF  
IMPERVIOUS AREA = 5,012.1 SF  
PERVIOUS AREA = 4,024.2 SF

**CATCHMENT AREA O**  
TOTAL AREA = 10,861.2 SF  
IMPERVIOUS AREA = 10,286 SF  
PERVIOUS AREA = 575.2 SF

**CATCHMENT AREA P**  
TOTAL AREA = 8,647.3 SF  
IMPERVIOUS AREA = 4,557.4 SF  
PERVIOUS AREA = 4,089.9 SF

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OVERALL UTILITY PLAN  
THRIVE CHURCH  
PART OF THE SOUTHWEST 1/4  
SECTION 12, T14N-R04W,  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:  
PER UNION TWP. PLANNING LETTER 1-15-25

SUBMITTALS:  
SUBMITTAL TO CLIENT FOR REVIEW 3-1-24  
SUBMITTAL TO UNION TWP. PLANNING 12-23-24  
SUBMITTAL TO UNION TWP. PLANNING 3-25-25  
SUBMITTAL TO UNION TWP. PLANNING 5-7-25  
SUBMITTAL TO UNION TWP. PLANNING 6-2-25

JOB NUMBER:  
2410-128

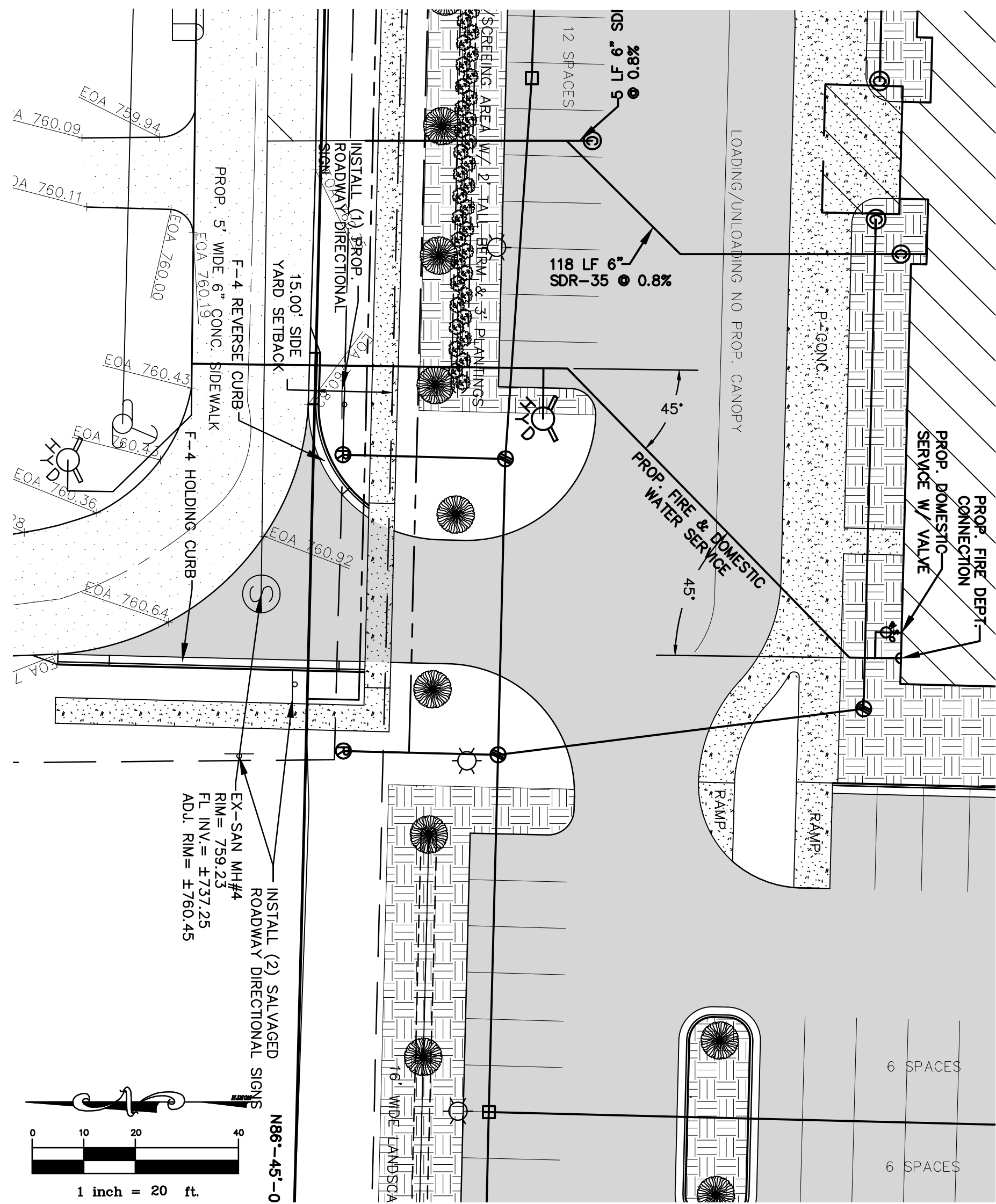
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BTM

DESIGNED BY:  
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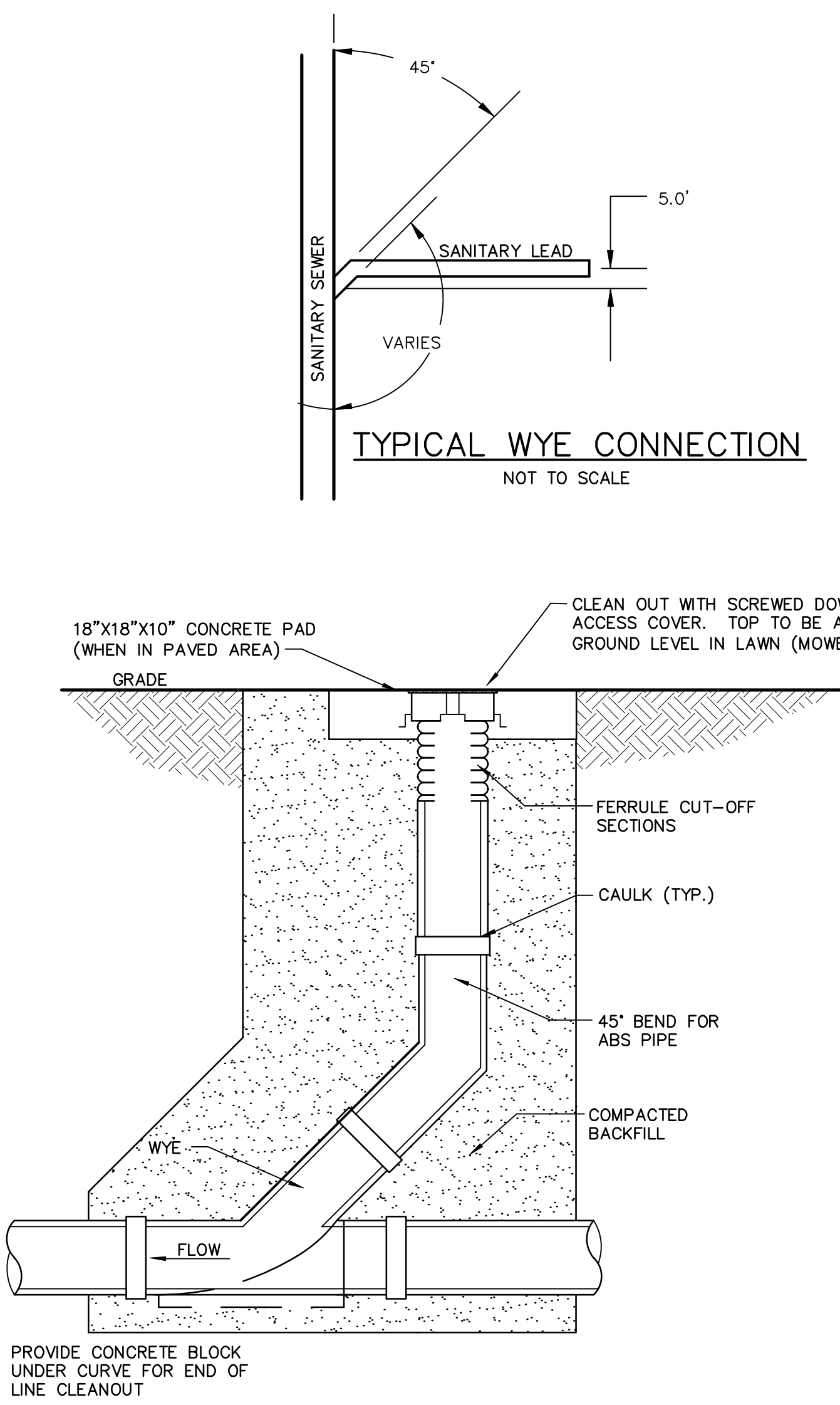
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TELB

SHEET NUMBER  
8 OF 15

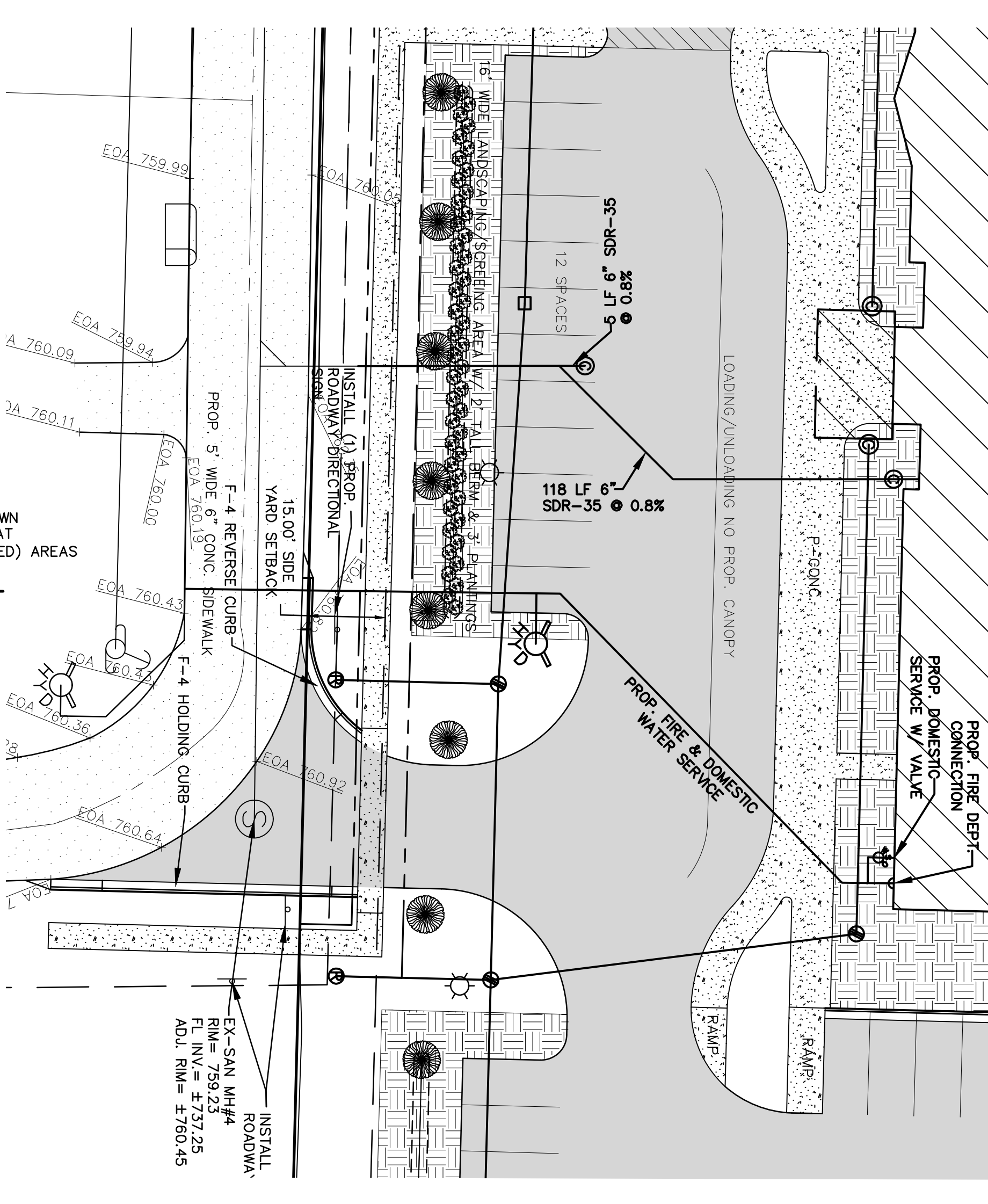
SCALE  
1" = 30'



WATERMAIN PLAN & PROFILE

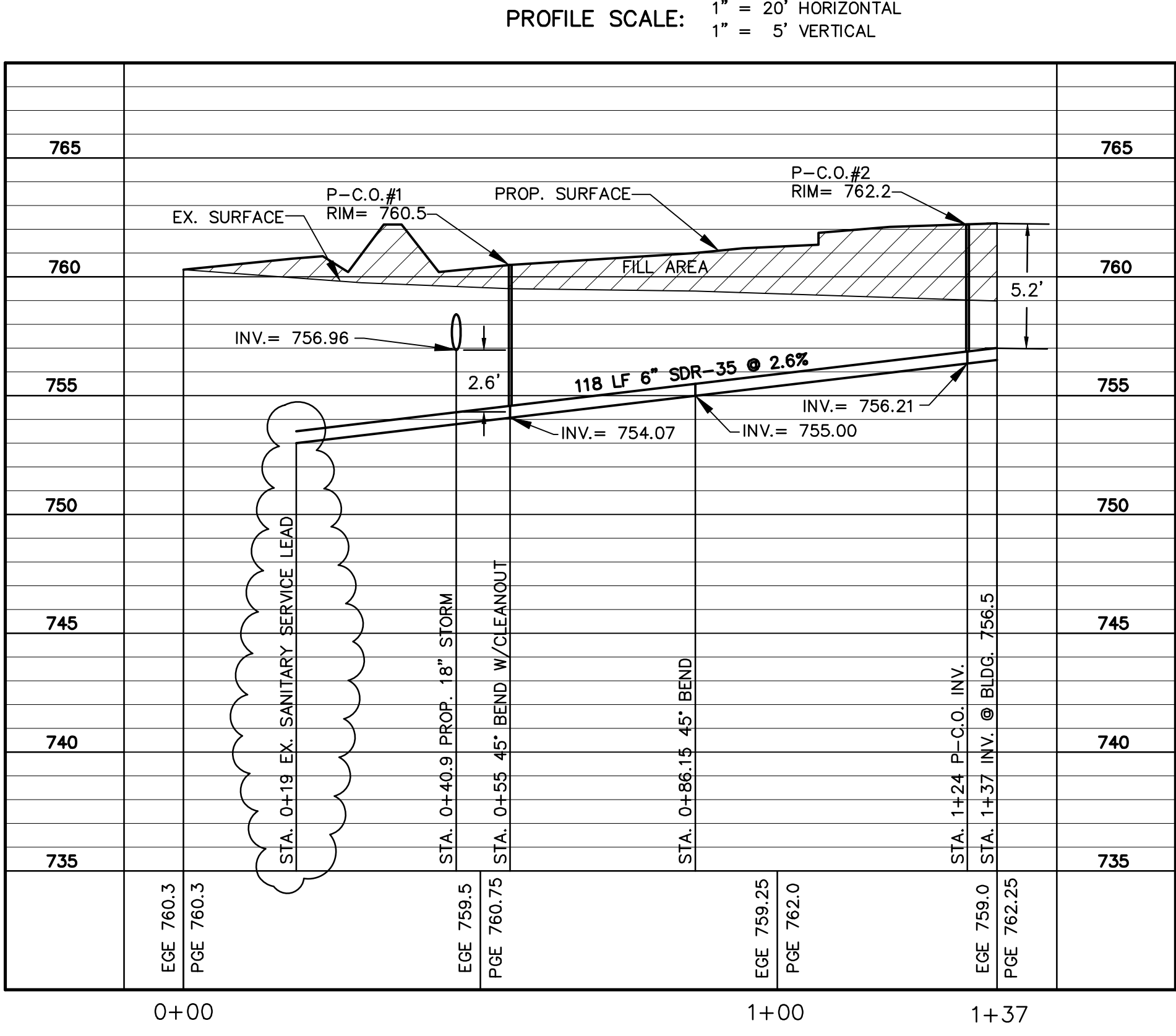
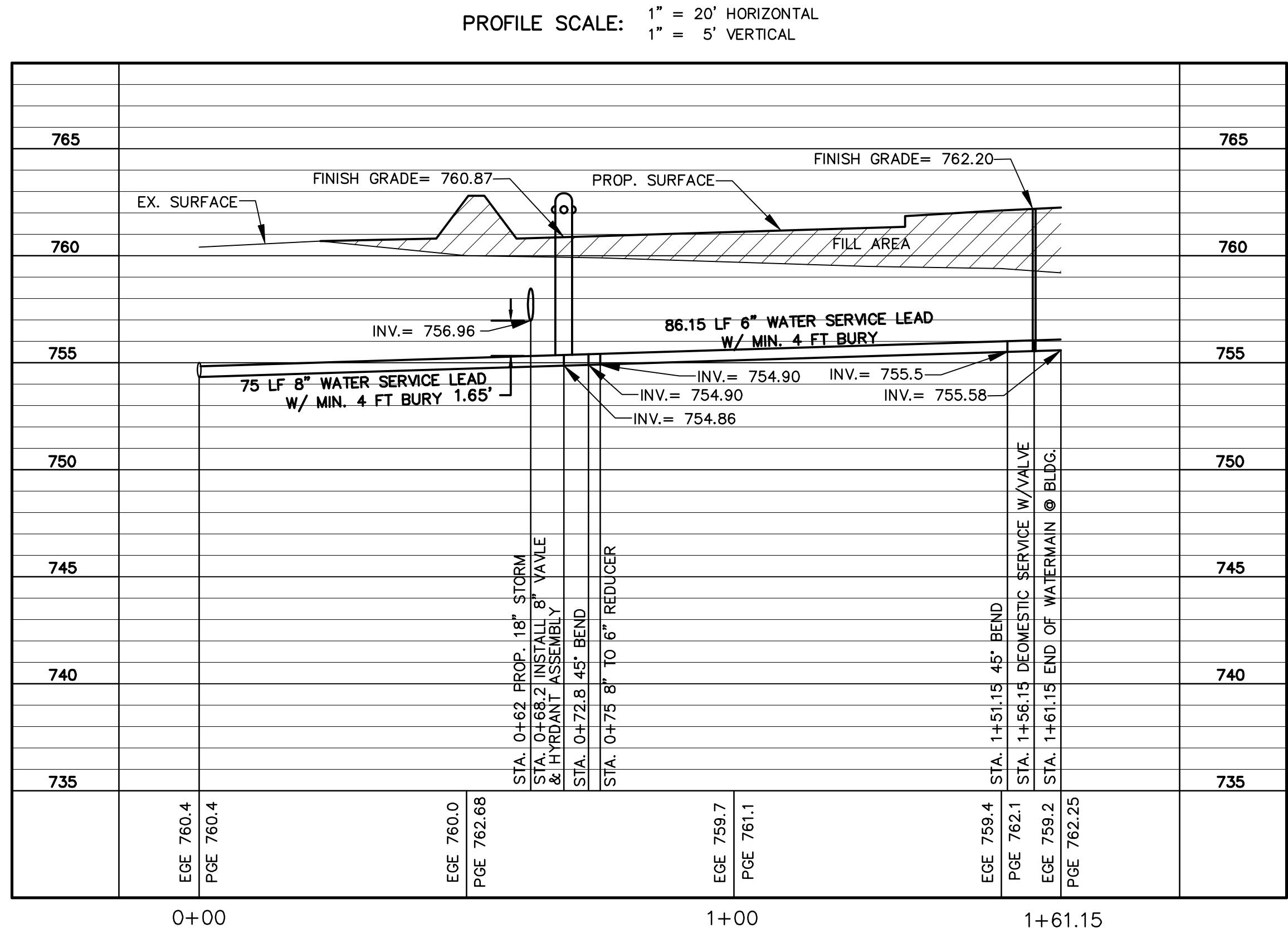


CLEAN OUT DETAIL

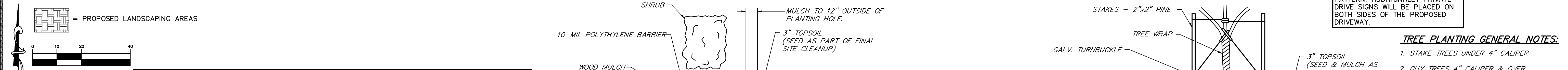
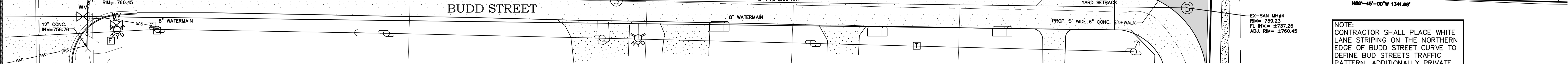
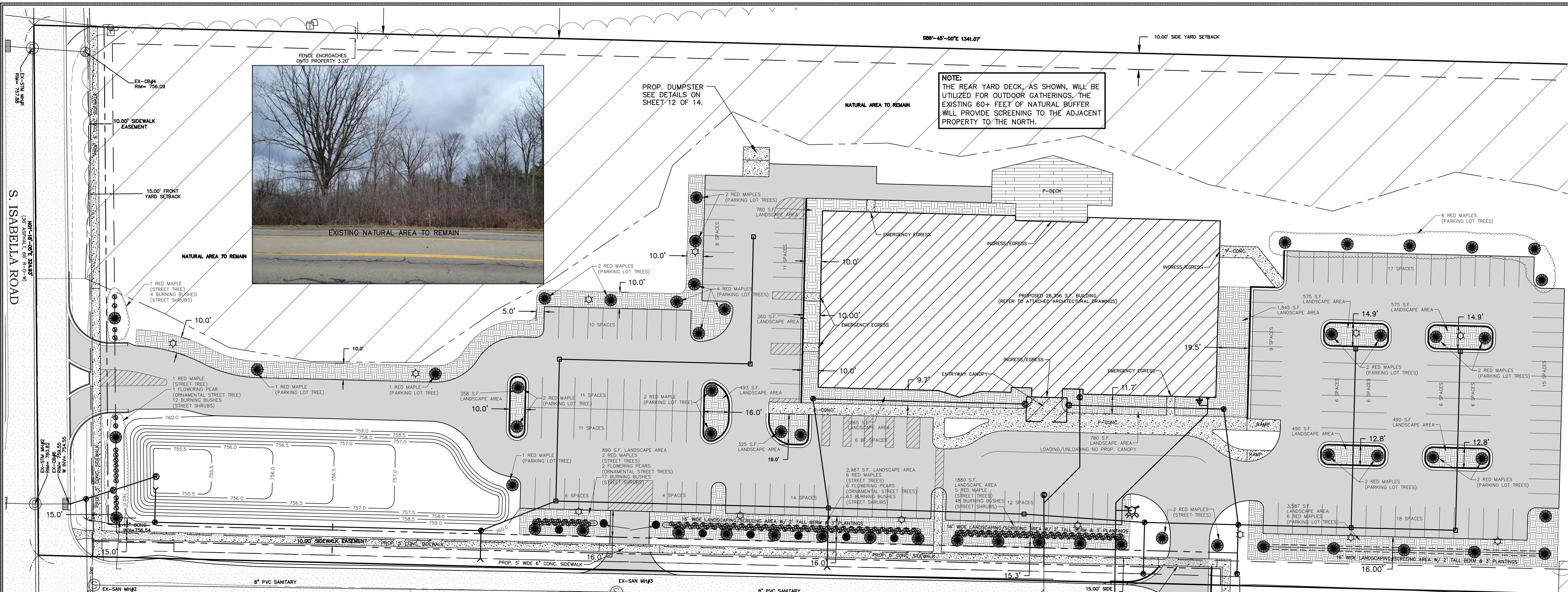


SANITARY SEWER PLAN & PROFILE

NOTE: ACCORDING TO ASBUILT SHEET 11 OF 72714 UNION TOWNSHIP THERE IS AN EXISTING SANITARY SEWER LEAD THAT EXTENDS TO 19 FEET FROM THE MAIN SEWER LINE AT A DEPTH OF 8 FEET. CONTRACTOR TO VERIFY LOCATION & DEPTH OF EXISTING SERVICE LEAD.







REQUIRED LANDSCAPING		PROPOSED LANDSCAPING	
STREET TREES (S. ISABELLA RD.) = 2 REQUIRED		2 STREET TREES	
ORNAMENTAL STREET TREES (S. ISABELLA RD.) = 1 REQUIRED		1 ORNAMENTAL STREET TREE	
SHRUBS ALONG S. ISABELLA ROAD = 16 REQUIRED		16 SHRUBS	
STREET TREES (BUDD STREET) = 16 REQUIRED		17 STREET TREES	
ORNAMENTAL STREET TREES (BUDD STREET) = 7 REQUIRED		7 ORNAMENTAL STREET TREE	
SHRUBS ALONG BUDD STREET = 128 REQUIRED		128 SHRUBS	
PARKING LOT TREES = 36 REQUIRED		36 DECIDUOUS PARKING LOT TREES	
LANDSCAPING AREA = 5,280 SF REQUIRED		LANDSCAPE AREA PROVIDED = 18,263 SF	

**REQUIRED PROJECT LANDSCAPING:**

IN ACCORDANCE WITH SECTION 10, LANDSCAPING AND SCREENING OF THE UNION CHARTER TOWNSHIP ORDINANCE, THE FOLLOWING SHALL BE PLANTED IN ACCORDANCE WITH SECTION 10.2 SUMMARY OF MINIMUM PLANTING REQUIREMENTS AND SUMMARY OF PLANT MATERIAL SPECIFICATIONS OF PLANTING AND SECTION 10.4, STANDARDS FOR LANDSCAPING MATERIALS.

- LANDSCAPING ADJACENT TO E. REMUS ROAD.
- 1) THERE ARE SHOWN (2) "STREET" TREES REQUIRED FOR THE 76.3 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE AND NATURAL AREA ON OR ALONG S. ISABELLA ROAD. 1 TREE FOR EVERY 40 FRONT FEET.
  - 2) THERE IS (1) REQUIRED ORNAMENTAL STREET TREES FOR THE 76.3 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE AND NATURAL AREA ON OR ALONG S. ISABELLA ROAD. 1 TREE FOR EVERY 100 FRONT FEET.
  - 3) THERE ARE (16) SHRUBS REQUIRED FOR THE 76.3 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE AND NATURAL AREA ON OR ALONG S. ISABELLA ROAD. 8 SHRUBS FOR EVERY 40 FRONT FEET.

- LANDSCAPING ADJACENT TO BUDD STREET.
- 1) THERE ARE SHOWN (16) "STREET" TREES REQUIRED FOR THE 645 FEET OF ROAD FRONTAGE, ON BUDD STREET 1 TREE FOR EVERY 40 FRONT FEET.
  - 2) THERE IS (7) REQUIRED ORNAMENTAL STREET TREES FOR THE 645 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE AND NATURAL AREA ON OR ALONG BUDD STREET. 1 TREE FOR EVERY 100 FRONT FEET.
  - 3) THERE ARE (128) SHRUBS REQUIRED FOR THE 645 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE AND NATURAL AREA ON OR ALONG BUDD STREET. 8 SHRUBS FOR EVERY 40 FRONT FEET.

PARKING LOT LANDSCAPING SHALL BE 1 TREE FOR EVERY 5 PARKING SPACES, AND 30 SQ. FT. OF LANDSCAPE SPACE PER PARKING SPACE. THERE ARE 36 SHADE TREES AND 5,280 SQ. FT. OF LANDSCAPE SPACE FOR THE 176 PARKING SPACES INCLUDED IN THE PROJECT.

LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 10.5, INSTALLATION AND MAINTENANCE. LANDSCAPING WILL HAVE ONE YEAR GUARANTEE FROM THE INSTALLER. PRIOR TO THE ONE YEAR ANNIVERSARY, THE INSTALLER WILL REPLACE ANY DAMAGED, DYING OR DEAD PLANTINGS. FOLLOWING THIS GUARANTEE PERIOD, EACH SPRING, THE PLANTINGS SHALL BE INSPECTED AND ANY DAMAGED, DYING OR DEAD PLANTINGS WILL BE REPLACED. GENERAL LAWN AREAS WILL BE MAINTAINED AND MOWED REGULARLY.

**LANDSCAPING TREE NOTE:**

PROPOSED MODIFICATION FROM SECTION 10.7 OF THE ORDINANCE. THE TREE PLANTINGS ALONG THE SOUTHERN EDGE OF THE PARKING LOT HAVE BEEN MOVED TO THE SOUTHERN DOWN SLOPE TO ALLOW FOR A SOLID PLANTING OF SCREENING BUSHES ALONG THE TOP OF THE 2 FOOT TALL BERM. THE SHRUB PLANTINGS WILL BE 1.5 TO 2 FEET IN HEIGHT AT THE TIME OF PLANTING WHICH WILL PROVIDE A 3.5 TO 4 FOOT TALL SCREENING FOR HEADLIGHT. THE AVERAGE HEIGHT OF HEADLIGHTS IS 2.5 FEET. THE TREE PLANTING, ALTHOUGH REQUIRED AND ENHANCE THE OVERALL APPEARANCE OF THE PROJECT, DO NOT PROVIDE THE REQUIRED SCREENING.

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**HORIZONTAL & GENERAL GRADING PLAN WEST**  
**THRIVE CHURCH**  
PART OF THE SOUTHWEST 1/4  
SECTION 12, T14N-R04W,  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

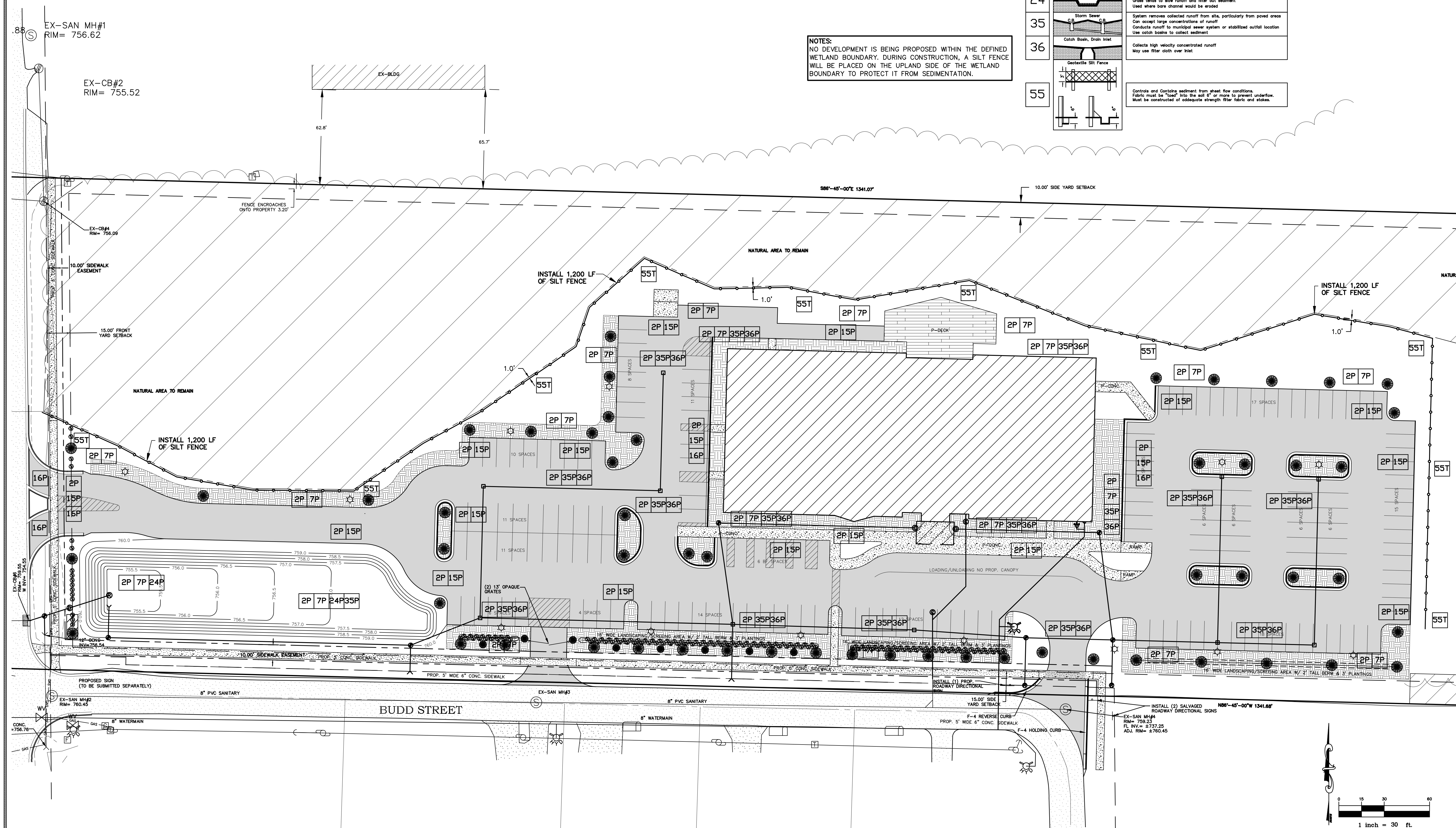
REVISIONS:	PER UNION TWP. PLANNING LETTER 1-15-25
SUBMITTALS:	SUBMITTAL TO CLIENT FOR REVIEW 3-1-24
	SUBMITTAL TO UNION TWP. PLANNING 12-23-24
	SUBMITTAL TO UNION TWP. PLANNING 3-25-25
	SUBMITTAL TO UNION TWP. PLANNING 5-7-25
	SUBMITTAL TO UNION TWP. PLANNING 6-2-25

JOB NUMBER:	2410-128
DRAWN BY:	BTM
DESIGNED BY:	N/A
CHECKED BY:	TELB

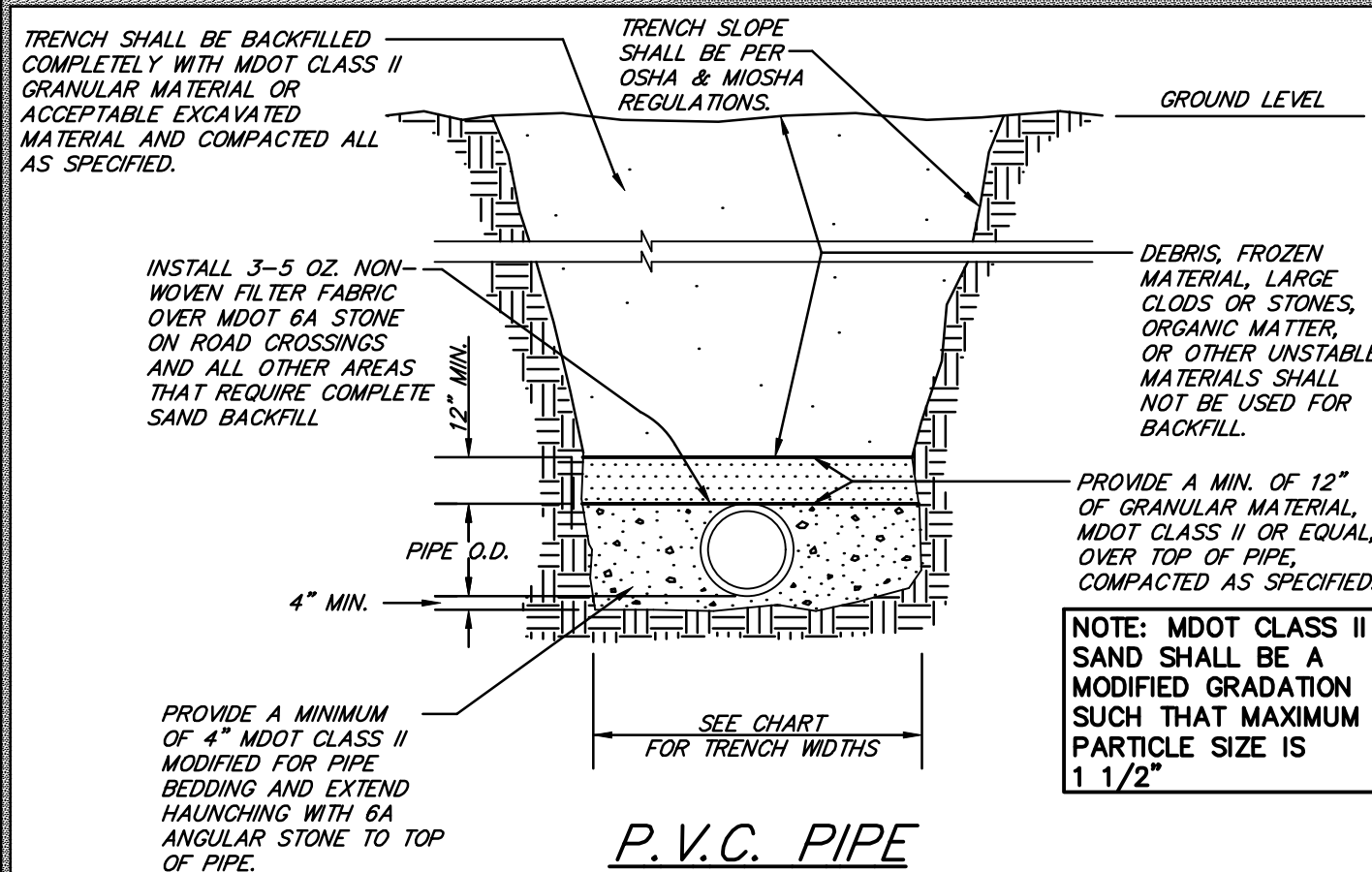


KEY	DETAIL	CHARACTERISTICS
2	<p>Selective Grading &amp; Shaping</p>	<p>Water can be diverted to minimize erosion</p> <p>Flatter slopes ease erosion problems</p>
7	<p>Hydro-seeding</p>	<p>Effective on large areas</p> <p>Much tacking agent used to provide immediate protection until grass is rooted</p> <p>Should include prepared topsoil bed</p>
15	<p>Paving</p>	<p>Protects areas which cannot otherwise be protected, but increases runoff volume and velocity</p> <p>Irregular surface will help slow velocity</p>
16	<p>Curb &amp; Gutter</p>	<p>Keeps high velocity runoff on paved areas from leaving paved surface</p> <p>Collects and conducts runoff to enclosed drainage system or prepared drainage way</p>
24	<p>Grassed Waterway</p>	<p>Much more stable form of drainage way than bare channel</p> <p>Grass tends to slow runoff and filter out sediment</p> <p>Used where bare channel would be eroded</p>
35	<p>Storm Sewer</p>	<p>System removes collected runoff from site, particularly from paved areas</p> <p>Can accept large concentrations of runoff</p> <p>Conducts runoff to municipal sewer system or stabilized outfall location</p> <p>Use catch basins to collect sediment</p>
36	<p>Catch Basin, Drain Inlet</p>	<p>Collects high velocity concentrated runoff</p> <p>May use filter cloth over inlet</p>
	<p>Geotextile Silt Fence</p>	
55		<p>Controls and Contains sediment from sheet flow conditions</p> <p>Fabric must be "toed" into the soil 6" or more to prevent underflow.</p> <p>Must be constructed of adequate strength filter fabric and stakes.</p>

**NOTES:**  
NO DEVELOPMENT IS BEING PROPOSED WITHIN THE DEFINED WETLAND BOUNDARY. DURING CONSTRUCTION, A SILT FENCE WILL BE PLACED ON THE UPLAND SIDE OF THE WETLAND BOUNDARY TO PROTECT IT FROM SEDIMENTATION.

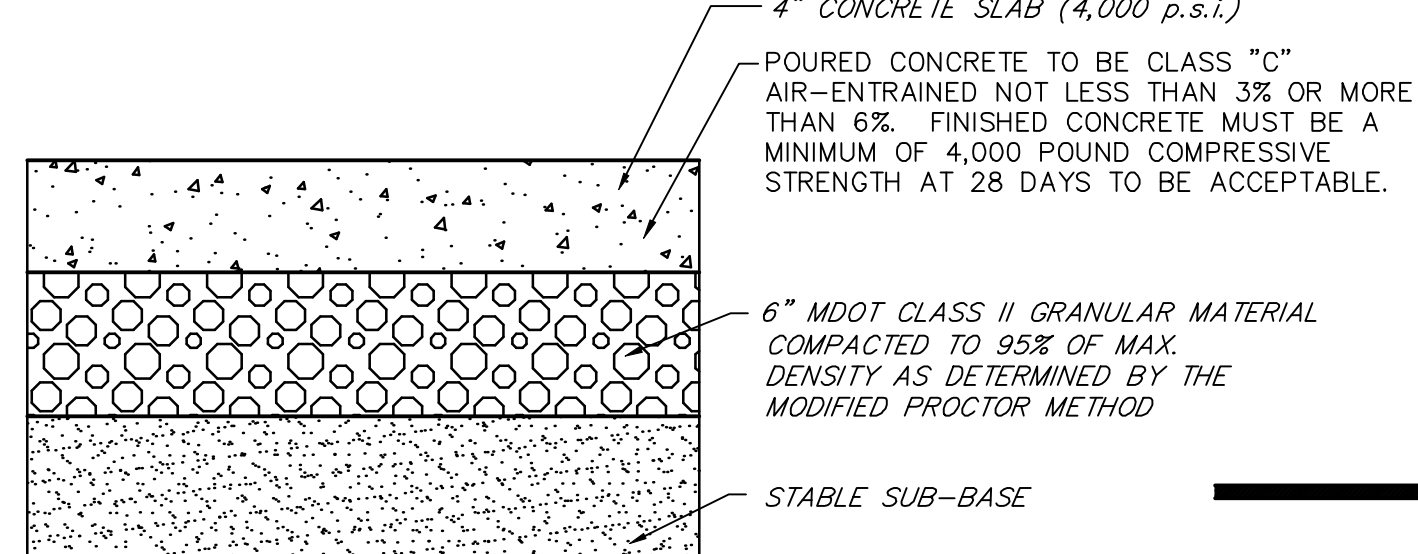




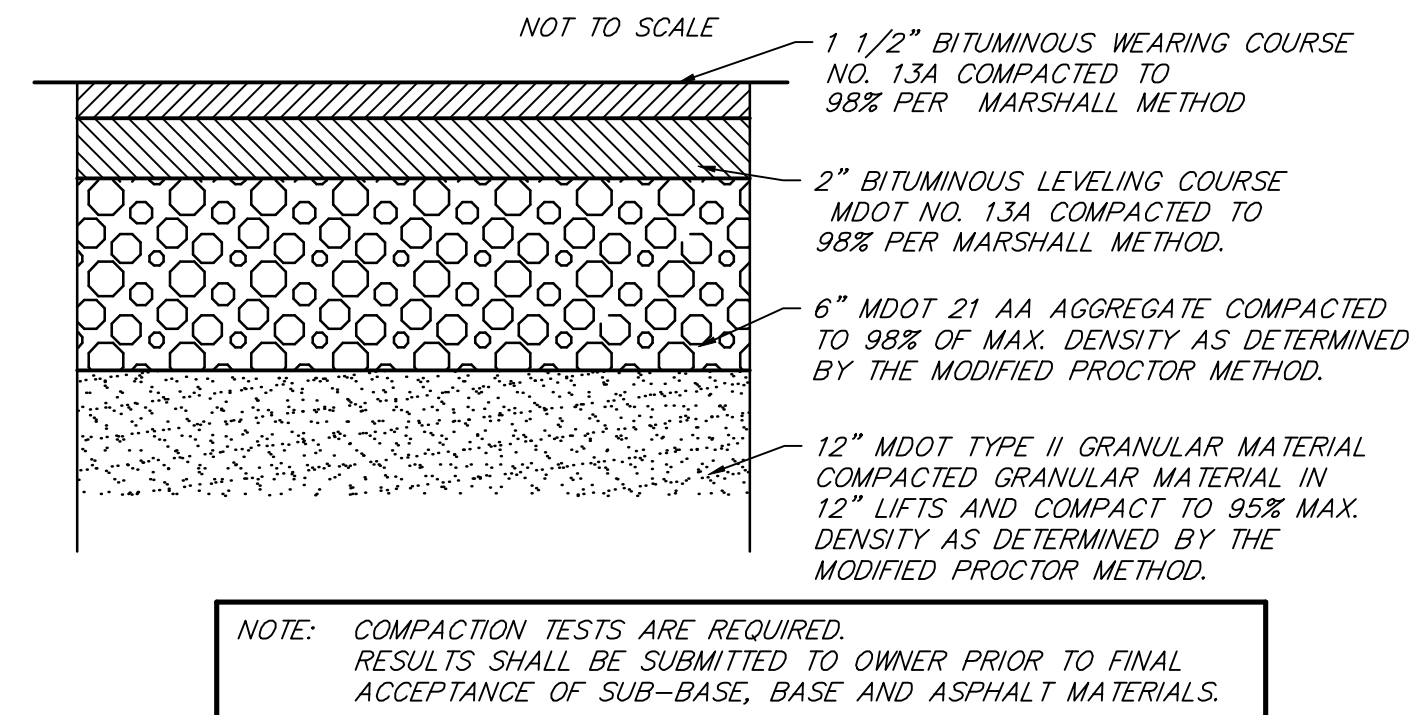


TRENCH WIDTH CHART

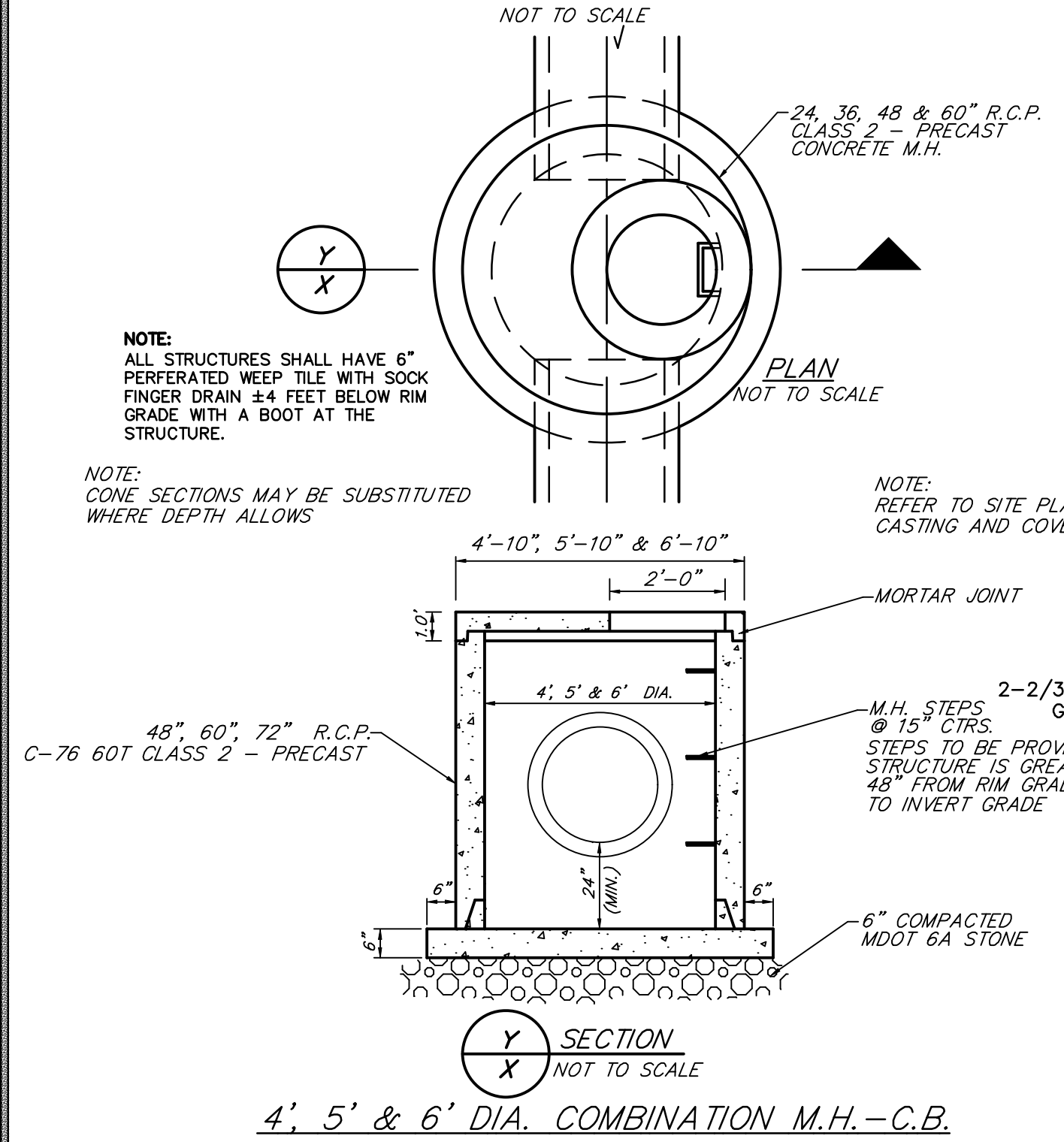
PIPE SIZE	MINIMUM	MAXIMUM
8" & 10"	24"	30"
12" & 15"	30"	36"
18"	36"	40"
21"	36"	42"
24"	42"	46"
27"	45"	49"
30"	49"	53"
36"	58"	60"
LARGER THAN 36"	I.D. +20"	I.D. +24"



CONCRETE SIDEWALK CROSS-SECTION



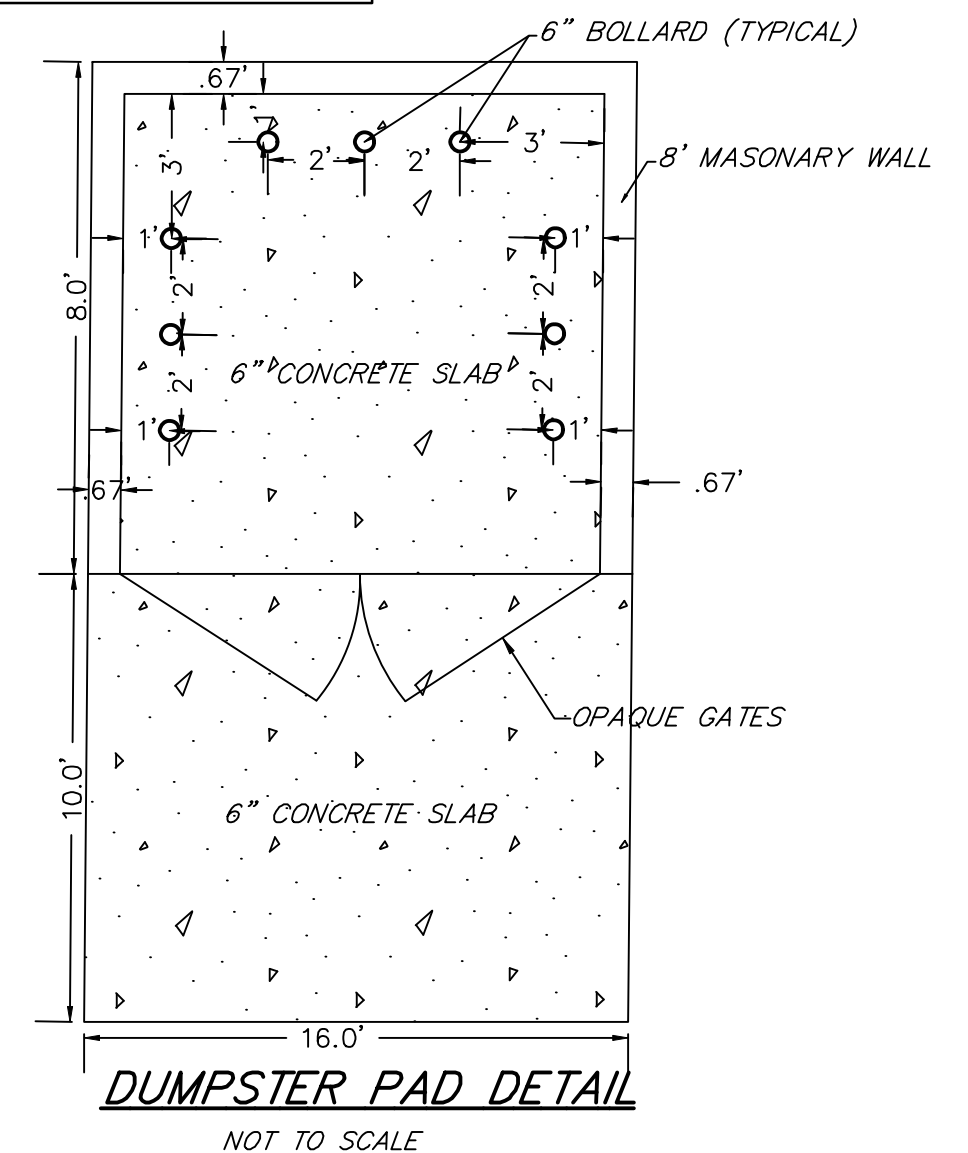
PARKING LOT ASPHALT PAVEMENT CROSS-SECTION



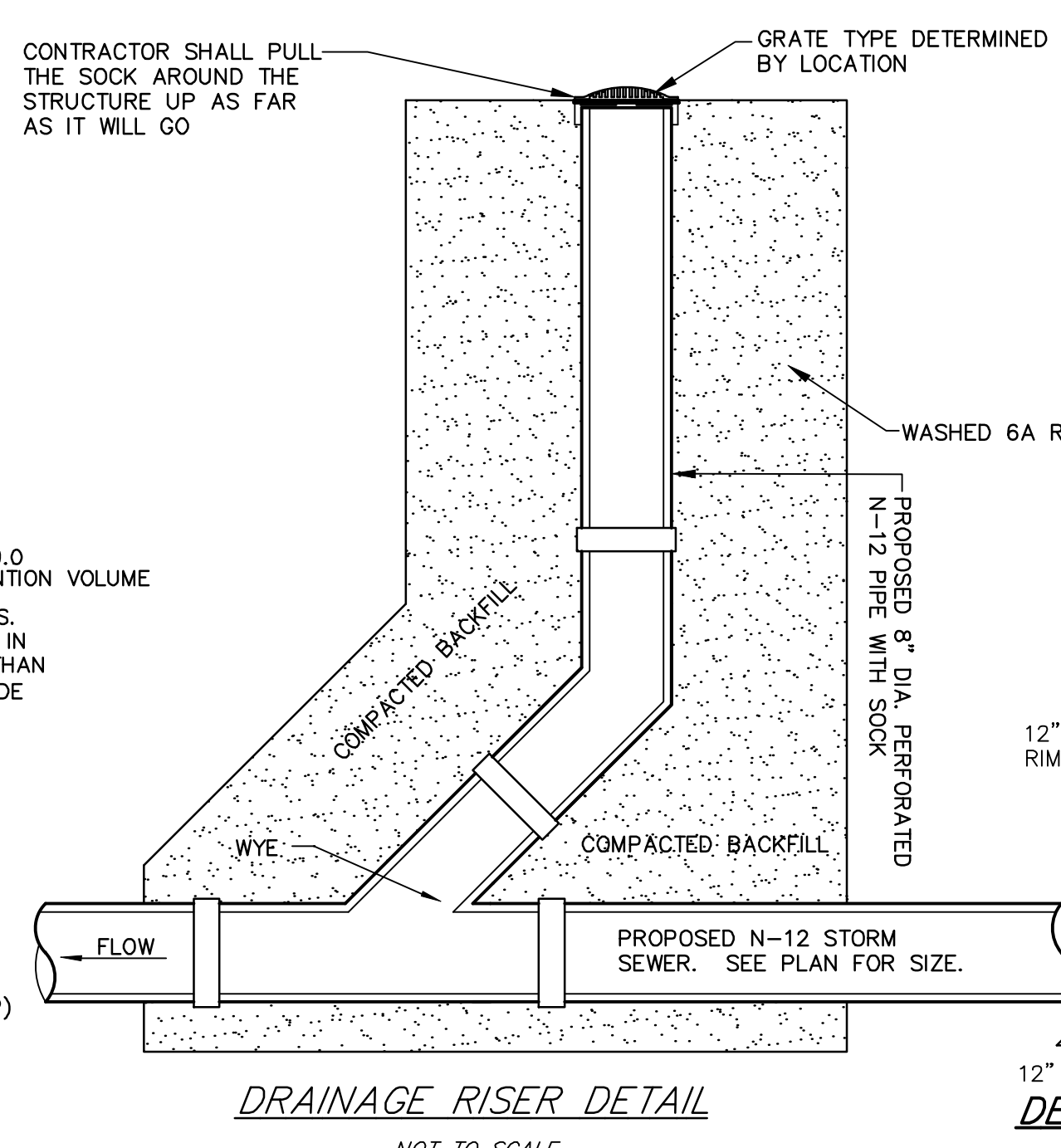
STORM SEWER CALCULATIONS SPREADSHEET - Using Rational Method  
Project:  
Central Michigan Surveying and Development  
Date:

FROM	TO	TOTAL AREA (A) (Acre)	PERV. AREA	IMP. AREA	25 YR STORM	C	tc (min.)	I (in./hr)	FLOW RATE (Qf) (cfs)	PIPE DIA. (in.)	PIPE SLOPE (%)	PIPE LENGTH (Ft)	Mann. n	DESIGN VEL. (Ft/s)	FLOW TIME (min.)	DESIGN CAP. (Qa) (cfs)	% CAP.
CB15	CB16	0.249	0.013	0.24	25	0.86	15.00	4.500	0.968	12	0.5	110.8	0.01	4.17	0.44	3.274	0.30
CB16	CB14	0.199	0.094	0.11	25	0.57	15.44	4.500	1.477	12	0.2	64	0.01	2.64	0.40	2.070	0.71
CB13	CB14	0.297	0.061	0.24	25	0.76	15.00	4.500	1.011	12	0.5	111.8	0.01	4.17	0.45	3.274	0.31
CB14	CB12	0.207	0.092	0.12	25	0.59	15.82	4.500	3.037	15	0.2	69.3	0.01	3.06	0.38	3.754	0.81
CB11	CB12	0.256	0	0.26	25	0.90	15.00	4.500	1.037	12	0.5	67.5	0.01	4.17	0.27	3.274	0.32
CB12	CB9	0.177	0.062	0.12	25	0.65	16.20	4.500	4.595	18	0.2	131.4	0.01	3.45	0.63	6.105	0.75
CB9	CB8	0.294	0.103	0.19	25	0.65	16.83	4.500	5.461	18	0.2	120	0.01	3.45	0.58	6.105	0.89
CB7	CB8	0.348	0	0.35	25	0.90	17.41	4.500	1.409	12	0.5	67.5	0.01	4.17	0.27	3.274	0.43
CB8	CB4	0.354	0.136	0.22	25	0.63	17.68	4.500	7.876	18	0.3	167.2	0.01	4.23	0.66	7.477	1.05
CB5	CB6	0.166	0.033	0.13	25	0.76	15.00	4.500	0.568	12	0.2	78	0.01	2.64	0.49	2.070	0.27
CB6	CB3	0.113	0.029	0.08	25	0.72	15.49	4.500	0.935	12	0.2	117	0.01	2.64	0.74	2.070	0.45
CB3	CB4	0.153	0.003	0.15	25	0.89	16.23	4.500	1.545	12	0.2	91	0.01	2.64	0.58	2.070	0.75
CB4	CB2	0.319	0.098	0.21	25	0.66	18.34	4.500	10.368	24	0.2	49.4	0.01	4.19	0.20	13.149	0.79
CB2	CB1	0	0	0.00	25	NA	18.54	4.500	10.368	24	0.2	200	0.01	4.19	0.80	13.149	0.79
CB1	OUTLET	0	0	0.00	25	NA	19.33	4.500	10.368	24	0.5	20	0.01	6.62	0.05	20.791	0.50

<u>Coefficients of Runoff</u>		<u>Rainfall Intensity (I) - For 25 Yr Design Storm</u>
Impervious Surface	0.9	From MDOT Rainfall Maps
Pervious Surface	0.2	
<u>Flow Rate (Qf)</u>		<u>Design Velocity</u>
Qf = CIA		$Vd = [1.486 \times R^{(2/3)} \times S^{(1/2)}] / n$
		<u>Design Pipe Capacity (Qa)</u>
		Qa = VA



DUMPSTER PAD DETAIL



DRAINAGE RISER DETAIL

DETENTION POND DESIGN CALCULATION

Site Location : Thrive Church - Isabella & Budd - Union Twp  
Vacant Lands, NE Quad Isabella & Budd

	Area (Acres)	C
Hard Surface/Imperv. Area	2.60	0.95
Gravel	0.00	0.75
Green Space/Lawn	1.22	0.30
Cont. Drainage Area (Acres)	3.82 (J)	

Proposed Runoff "C" Value 0.74 (I)  
Maximum Allowable Outflow (CFS) 0.38 (G)  
Storm Recurrence Interval (Yrs) 25

A	B	C	D	E	F	G	H
Duration (Minutes)	Duration (Hours)	25-Year Total Rainfall (Inches)	25-Year Rainfall Intensity (Inch/Hr)	Proposed Runoff Flow Rate (CFS)	Proposed Runoff Volume (CFT)	Maximum Allowable Outflow (CFS)	Required Detention Storage (CFT)
5	0.08	0.50	6.00	17.02	5,105	0.38	4,991
10	0.17	0.87	5.22	14.80	8,882	0.38	8,654
15	0.25	1.12	4.48	12.71	11,435	0.38	11,093
20	0.33	1.30	3.90	11.06	13,272	0.38	12,816
30	0.50	1.54	3.08	8.73	15,723	0.38	15,039
40	0.67	1.75	2.63	7.44	17,867	0.38	16,955
50	0.83	1.89	2.27	6.43	19,296	0.38	18,156
60	1.00	1.95	1.95	5.53	19,909	0.38	18,541
90	1.50	2.27	1.51	4.29	23,176	0.38	21,124
120	2.00	2.41	1.21	3.42	24,605	0.38	21,869
180	3.00	2.66	0.89	2.51	27,158	0.38	23,054
360	6.00	3.11	0.52	1.47	31,752	0.38	23,544
720	12.00	3.61	0.30	0.85	36,857	0.38	20,441
1080	18.00	3.90	0.22	0.61	39,817	0.38	15,193
1440	24.00	4.15	0.17	0.49	42,370	0.38	9,538

Maximum: 23,544

DETENTION POND DESIGN CALCULATION

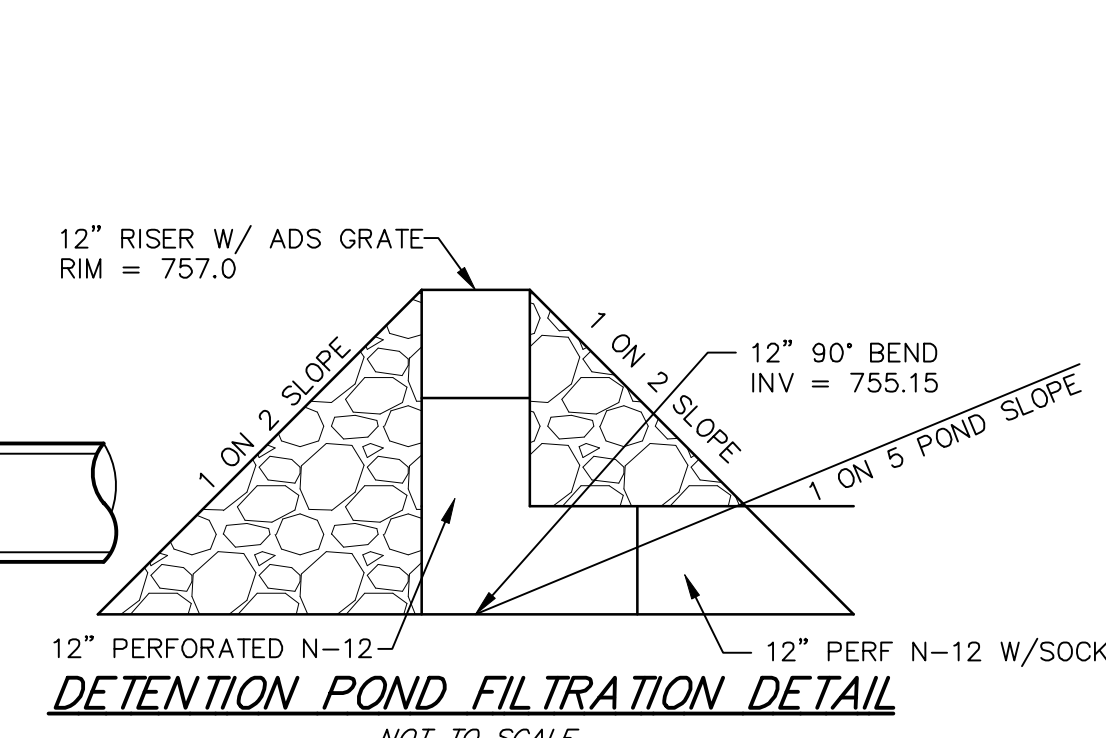
Site Location : Thrive Church  
Union Township - Parcel # 14-012-30-009-00

	Area (Acres)	C
Hard Surface/Imperv. Area	2.60	0.95
Gravel	0.00	0.75
Green Space/Lawn	1.22	0.30
Cont. Drainage Area (Acres)	3.82 (J)	

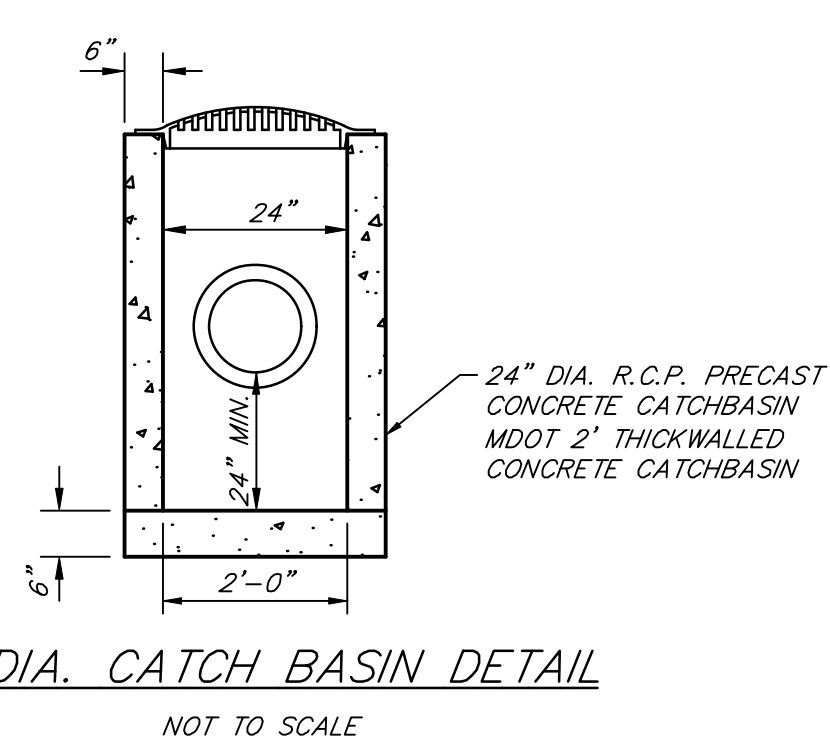
Proposed Runoff "C" Value 0.74 (I)  
Maximum Allowable Outflow (CFS) 0.38 (G)  
Storm Recurrence Interval (Yrs) 100

A	B	C	D	E	F	G	H
Duration (Minutes)	Duration (Hours)	100-Year Total Rainfall (Inches)	100-Year Rainfall Intensity (Inch/Hr)	Proposed Runoff Flow Rate (CFS)	Proposed Runoff Volume (CFT)	Maximum Allowable Outflow (CFS)	Required Detention Storage (CFT)
5	0.08	0.50	9.42	26.72	8,015	0.38	7,901
10	0.17	0.87	6.90	19.57	11,741	0.38	11,513
15	0.25	1.12	5.61	15.91	14,319	0.38	13,977
20	0.33	1.30	4.86	13.78	16,540	0.38	16,084
30	0.50	1.54	4.10	11.63	20,930	0.38	20,246
40	0.67	1.75	3.64	10.32	24,775	0.38	23,863
50	0.83	1.89	3.18	9.02	27,055	0.38	25,915
60	1.00	1.95	2.72	7.71	27,770	0.38	26,402
90	1.50	2.27	2.20	6.24	33,692	0.38	31,640
120	2.00	2.41	1.69	4.79	34,508	0.38	31,772
180	3.00	2.66	1.26	3.57	38,592	0.38	34,488
360	6.00	3.11	0.75	2.13	45,943	0.38	37,735
720	12.00	3.61	0.43	1.22	52,682	0.38	36,266
1080	18.00	3.90	0.34	0.96	62,483	0.38	37,859
1440	24.00	4.15	0.24	0.68	58,807	0.38	25,975

Maximum: 37,859



DETENTION POND FILTRATION DETAIL



2' DIA. CATCH BASIN DETAIL

CMS & D  
SURVEYING / ENGINEERING  
2257 EAST BROOMFIELD ROAD  
MT. PLEASANT, MICHIGAN 48858  
PHONE: (989) 775-0756  
FAX: (989) 775-5012  
EMAIL: info@cms-d.com

DETAILS  
THRIVE CHURCH  
PART OF THE SOUTHWEST 1/4  
SECTION 12, T14N-R04W,  
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:  
PER UNION TWP. PLANNING LETTER 1-15-25

SUBMITTALS:  
SUBMITTAL TO CLIENT FOR REVIEW 3-1-24  
SUBMITTAL TO UNION TWP. PLANNING 12-23-24  
SUBMITTAL TO UNION TWP. PLANNING 3-25-25  
SUBMITTAL TO UNION TWP. PLANNING 5-7-25  
SUBMITTAL TO UNION TWP. PLANNING 6-2-25

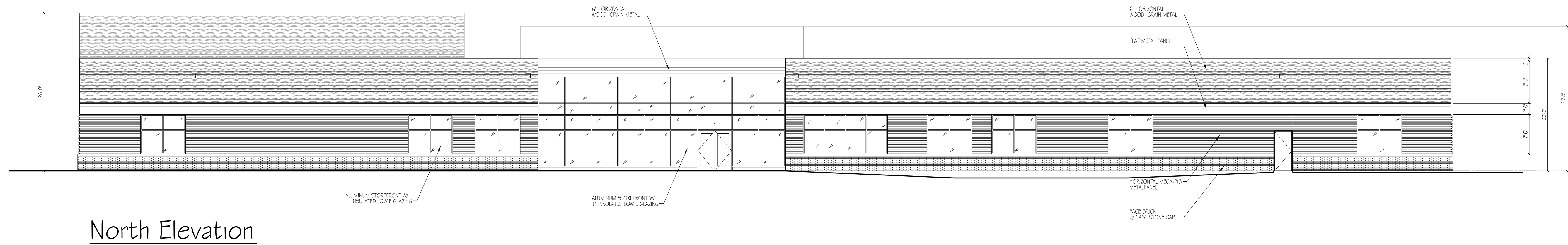
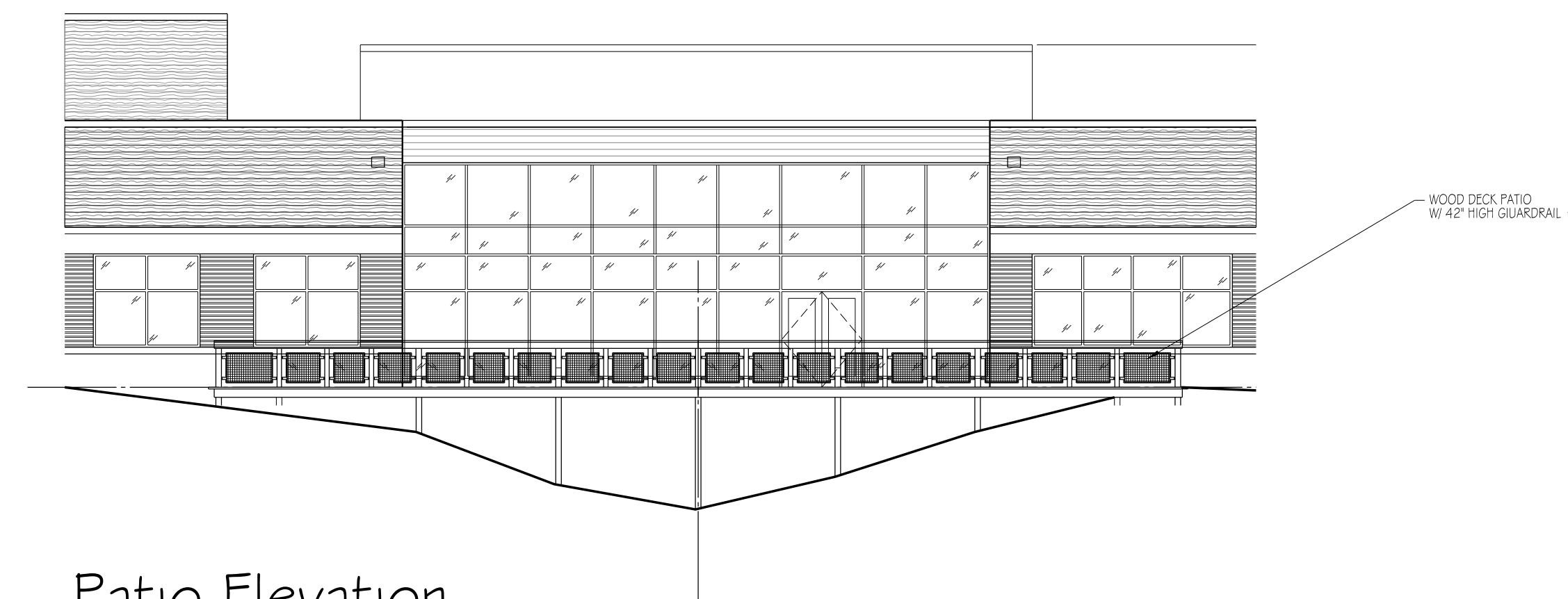
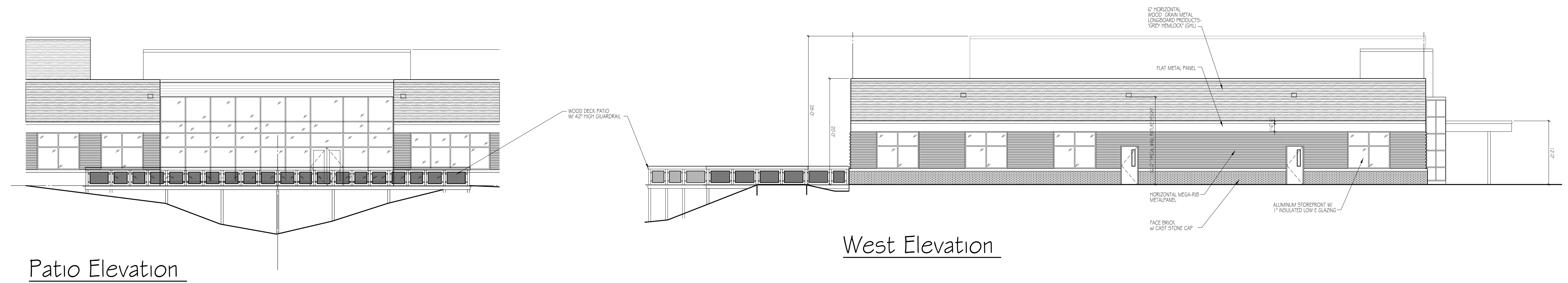
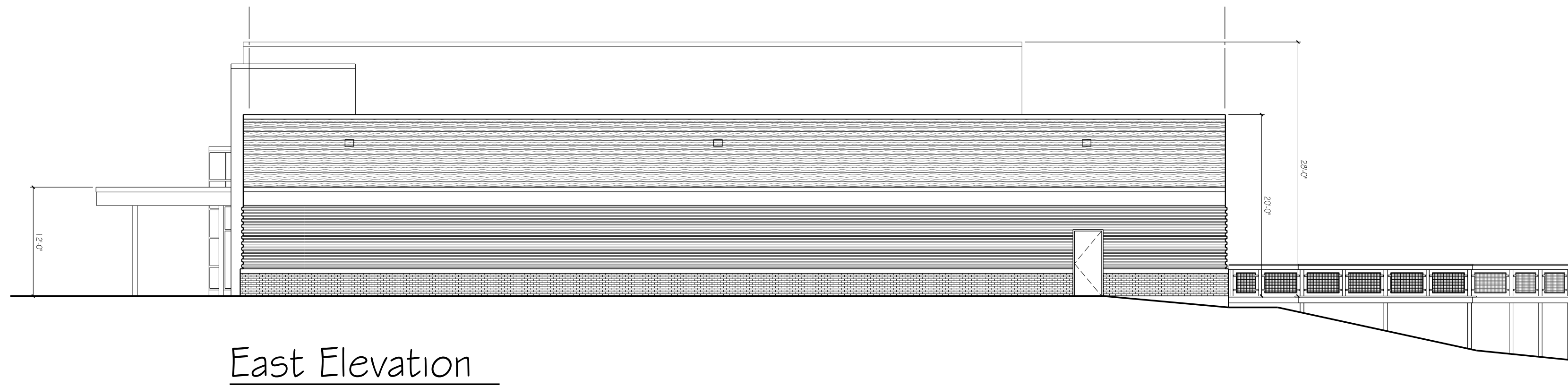
JOB NUMBER:  
2410-128  
DRAWN BY:  
BTM  
DESIGNED BY:  
N/A  
CHECKED BY:  
TELB

SCALE  
N/A  
SHEET NUMBER  
12 of 15

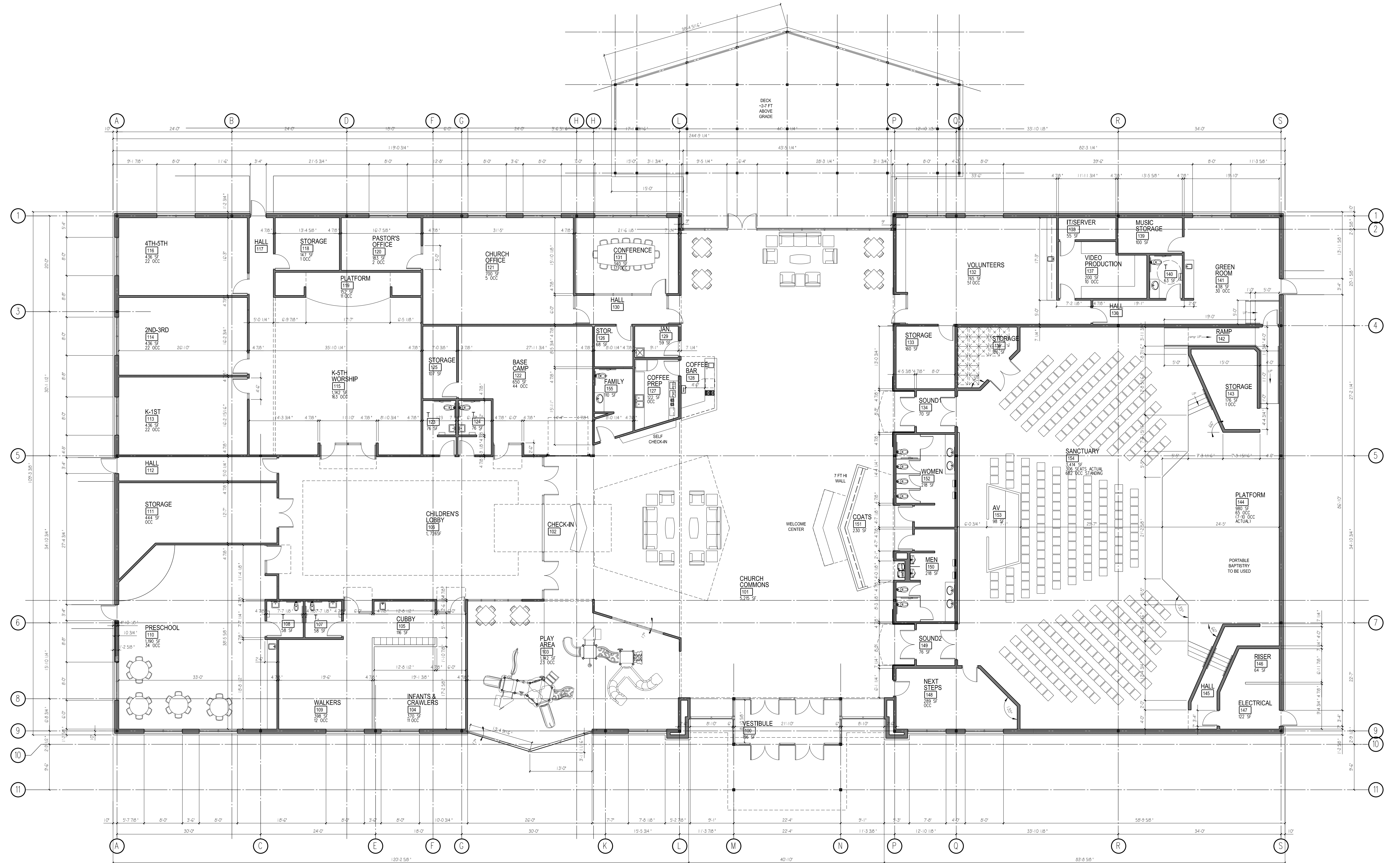




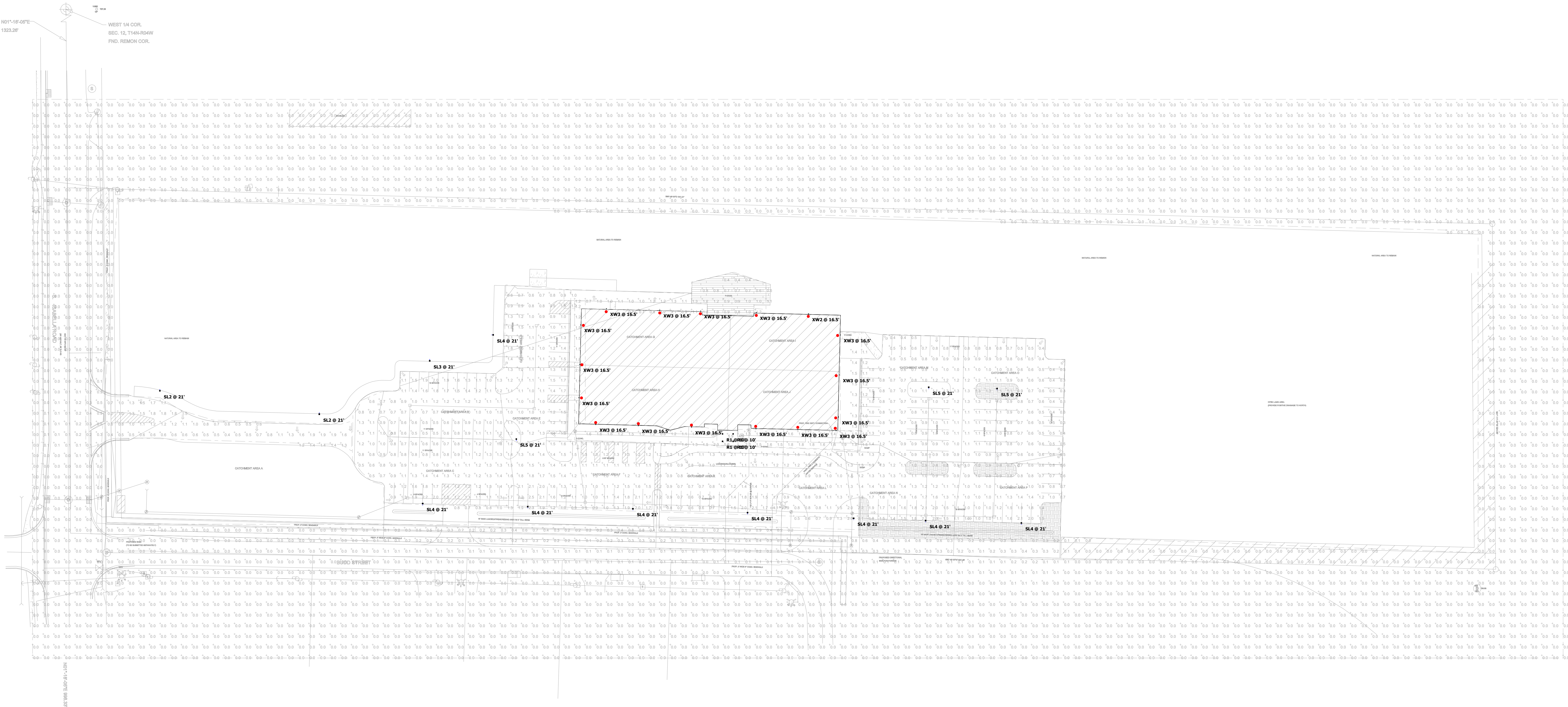




Exterior Elevations



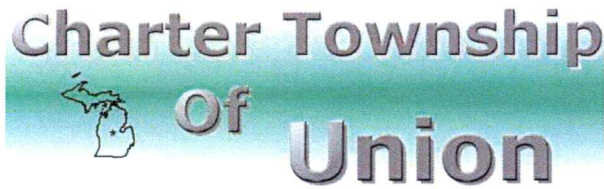




Plan View  
Scale - 1" = 40'

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BACK PATIO/WALKWAY	+	0.9 fc	1.3 fc	0.4 fc	3.3:1	2.3:1
canopy	+	4.6 fc	5.9 fc	3.5 fc	1.7:1	1.3:1
drive	+	1.0 fc	1.9 fc	0.4 fc	4.8:1	2.5:1
EAST WALKWAY	+	1.2 fc	1.5 fc	1.0 fc	1.5:1	1.2:1
FRONT WALKAY	+	1.6 fc	5.8 fc	0.8 fc	7.3:1	2.0:1
OUTSIDE PROPERTY LINE	+	0.0 fc	1.1 fc	0.0 fc	N/A	N/A
PARKING	+	1.1 fc	2.5 fc	0.3 fc	8.3:1	3.7:1
WEST WALKWAY	+	1.6 fc	2.0 fc	1.2 fc	1.7:1	1.3:1

Schedule										
Symbol	Label	Image	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	SL4		8	DSX1 LED P2 40K 80CRI TFM	D-Series Size 1 Area Luminaire P2 Performance Package 4000K CCT 80 CRI Forward Throw		1	9154	0.95	67.70
	SL3		1	DSX1 LED P2 40K 80CRI T3M	D-Series Size 1 Area Luminaire P2 Performance Package 4000K CCT 80 CRI Type 3 Medium		1	8958	0.95	67.70
	SL5		3	DSX1 LED P2 40K 80CRI T5W	D-Series Size 1 Area Luminaire P2 Performance Package 4000K CCT 80 CRI Type 5 Wide		1	9506	0.95	67.70
	SL2		2	DSX1 LED P2 40K 80CRI T2M	D-Series Size 1 Area Luminaire P2 Performance Package 4000K CCT 80 CRI Type 2 Medium		1	8855	0.95	67.70
	R1		4	WF4C REG TUW1H MW M6 -30K	4INCH SMART REGRESSED WAFER -3000K		1	729	0.9	9.44
	XW3		16	WOG2 LED P2 40K 80CRI T3M	WOG2 LED WITH P2 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE 3 MEDIUM OPTIC		1	2662	0.95	18.9815
	XW2		1	WOG2 LED P2 40K 80CRI T2M	WOG2 LED WITH P2 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE 2 MEDIUM OPTIC		1	2661	0.95	18.9815



Department of Public Services  
5228 South Isabella Road  
Mt. Pleasant, MI 48858  
Phone (989) 772 4600 ext. 224  
Fax (989) 773 1988  
E Mail ksmith@uniontownshipmi.com

June 3, 2025

CMS & D  
2257 E Broomfield Road  
Mt. Pleasant, MI 48858

RE: Thrive Church – Water and Sanitary Sewer Review Letter  
Union Township – 14-012-30-009-00

Union Township received water and sanitary sewer plans and profiles on May 7, 2025, for Thrive Church which is located in Section 12 of Union Township.

The water and sanitary sewer for this project will be connected to the Township's existing public water and sewer systems on Bud Street.

All water and sewer must be designed and constructed in accordance with the Charter Township of Union Design Specifications and Ordinances, Ten State Standards, and all State and Federal Standards and Regulations.

Our comments on the plans submitted are as follows:

Water:

Sheet 9 of 15 provide an independent water shut off outside of the building for the fire suppression service.

Sheet 9 of 15 Include size of domestic water service on plan and profile.

Sheet 13 of 15 Reduce Pressure Zone (RPZ) backflow prevention required update profile.

Sheet 13 of 15 include detail for live tap on Bud Street and live tap location on sheet 9 of 15.

Sheet 13 of 15 provide water meter detail.

Provide copy of City of Mt. Pleasant Fire Department approval letter for proposed fire hydrant location.

Once changes have been made to plan and profiles provide Union Township with three full sets of revised plans which have been sealed by a State of Michigan licensed engineer for review.

If you have any questions, please call 989-772-4600 ext. 224.

Sincerely,

Kim Smith  
Public Service Director



## FINAL SITE PLAN REPORT

<b>TO:</b>	CMS & D (Applicant)	<b>DATE:</b>	June 10, 2025
<b>FROM:</b>	Peter Gallinat Zoning Administrator	<b>ZONING:</b>	B-7, Retail & Service Highway Business
<b>PROJECT:</b>	PFINALSPR25-02 Final Site Plan approval – Proposed Thrive Church.		
<b>PARCEL(S):</b>	PID 14-012-30-009-00		
<b>OWNER(S):</b>	Thrive Community Church		
<b>LOCATION:</b>	Approx. 10 acres located at S. Isabella Road in the SW 1/4 of Section 12.		
<b>EXISTING USE:</b>	Vacant lot	<b>ADJACENT ZONING:</b>	B-5, B-7, R-2A
<b>FUTURE LAND USE DESIGNATION:</b> <i>Retail/Service:</i> This district is intended for the widest variety of retail and service businesses. They could range from apparel shops, auto service, and restaurants through small commercial strip centers and office buildings. This district is not intended for heavy commercial/light industrial uses like landscaping or contractor yards, heavy auto repair, or similar uses that may require some form of outside storage. Locations for this district are based on arterial road frontage and the need for high traffic volumes with convenient, well managed access.			
<b>ACTION:</b> To approve the PFINALSPR25-02 final site plan dated 06/2/2025 for the new 26,356 square-foot Thrive Community Church facility located on the northeast corner of S. Isabella Road and Bud Street in the SW 1/4 of Section 22 and in the B-7 (Retail & Highway Business) District.			

### Site Plan Approval Process

Per Section 14.2.C. of the Zoning Ordinance, both preliminary site plan approval and final site plan approval are required for this project. Planning Commission approval of a final site plan *“constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met”* (Section 14.2.L.). Documentation of applicable outside agency permits and approvals will be required as part of a final site plan application.

### Background Information

Township staff first met with representatives from Thrive Community Church regarding this project in 2021. In early 2024, the Community and Economic Development Director, Zoning Administrator, Building Official, and Mt. Pleasant Fire Lieutenant met with Church representatives to discuss site plan and building/fire code requirements and the anticipated timeline from site plan to a building permit. The Township Planning Commission reviewed and approved a preliminary site plan for this project in January of this year. A few of the major changes from the preliminary plan is that the total square-footage of the building has shrunk from 28,300 to 26,356-thousand-square-feet. The location of the parking area to the east has also been pushed further to the south away from the natural area to the north that will remain. The area to the north that was originally labeled as “P-Concrete” is now shown as “P-Deck.”

## **Final Site Plan Review Comments**

The following comments are based on the standards for final site plan approval and specific elements of the proposed site plan:

1. **Section 14.2.P. (Required Site Plan Information).** The plan notes the that the wetland will be protected in a manner that will prevent flooding or other impacts on neighboring properties. A detailed use statement has been added to the final site plan. All remaining missing information has been added for the minimum information requirements of Section 14.2.P are met for a final site plan. **CONFORMS**
2. **Section 8 (Environmental Performance Standards).** The hazardous substance reporting form and EGLE permit checklist were submitted with the application. **CONFORMS**
3. **Section 9 (Off-Street Parking, Loading Requirements).** Religious Institutions require 0.33 spaces per seat in the main assembly space or 1 space per 1,000 square-feet of gross floor area. The building is 26,356-square-feet but has a main assembly space of 300. This requires 100 parking spaces. The plan proposes 176 spaces which includes six (6) barrier-free parking spaces. The parking spaces are 9-feet wide and 19-feet deep, which complies with required parking dimensions. A loading area is provided in the front of the building that is 12.7-feet wide and 107.75-feet long. Twp. staff has confirmed on the plan that the clearance of 15-feet is also satisfied. The loading area is located in the front due to its proximity to the main office. Deliveries will consist of UPS style delivery trucks. The loading area is shown to be 24-feet from the parking spaces to the south of the loading area. A hashed out rectangular area to the southeast has been removed as the site was reconfigured with parking and landscaping added in that area. **CONFORMS**
4. **Section 9.6.C (Access Management, Service Drive).** The site will utilize two ingress/egress points. One is located from S. Isabella Road to the west and the other aligns with Bud Street to the south. Township staff previously noted a safety concern with the ingress/egress access at the point where Bud Street turns west by Jameson Park. A motorist traveling north on Bud Street could find themselves driving into the church parking lot not realizing that the street curves and continues west. Incidental signage has been added to make clear this is a private driveway. The driveway apron and sidewalks heading east to west along the drive aisle has been widened and adjusted. A third gated access has been added from Bud Street as required by the Fire Department. **CONFORMS**
5. **Section 7.10 (Sidewalks and Pathways).** The plan proposes a 5-foot-wide sidewalk along Bud Street that connects into an existing sidewalk by Jameson Park, and a sidewalk north along a portion of S. Isabella Road to the edge of the “natural area to remain.” A request for temporary relief from sidewalk construction for the remaining part of the S. Isabella Rd. frontage to the north lot line has been added to sheet 3 of 15, with the reason cited as the subject area being a state-regulated wetland. Staff would have no objection to a Planning Commission determination that this limited request for temporary relief from sidewalk construction within the regulated wetland area is consistent with the Township’s adopted Sidewalk and Pathway Construction policies. **CAN CONFORM**



Required sidewalk ramps and curb returns at the intersection are noted on the plan. A 5-foot-wide internal sidewalk connector is proposed to connect from the Bud Street sidewalk to the Church entrance. Sidewalks where directly adjacent to parking spaces have been widened to 7-feet. A note on sheet 3 of 15 confirms that the applicant will record the 10-foot easements for sidewalk construction at the County Register of Deeds Office. The as-recorded sidewalk easement documents will need to be provided to the Zoning Administrator prior to issuance of building permits for this project. **CAN CONFORM**

6. **Section 7.14 (Trash Removal and Collection).** Details of a dumpster have been added to the plan showing a 16-foot by 18-foot concrete area. The dumpster provides a 10-foot concrete slab in front as required, with an 8-foot-tall masonry wall enclosing 3 sides and opaque gates in the front as required. **CONFORMS**
7. **Section 10 (Landscaping and Screening).** The landscaping plan meets the requirements for interior parking lot landscaping as well as number of trees and shrubs required for frontage on Bud Street and S. Isabella Road. As recommend by Twp. staff, only the lineal road frontage outside of the “natural area to remain” is considered for the S. Isabella Rd. frontage. The plan notes 60-feet of existing vegetation as an adequate buffer for property to the north due to outdoor gatherings planned on the north side of the building. A cross-section drawing of a berm from Section 10.2.C has been added with the correct 1:3 ratio.  
Proposed landscape modification: Evergreen screening on a berm is noted as a requirement but not shown on the plan. Instead, the following alternative landscape design is proposed per Section 10.7 (Modifications to Landscape Requirements): The required tree plantings along the southern edge of the parking lot have been moved from atop the berm to the southern down slope to allow for a solid hedgerow-style planting of screening shrubs along the top of the 2-foot-tall berm. However, the trees alone will not provide the solid row of screening needed to shield headlight glare. The additional hedgerow shrub plantings will be 1.5-feet to 2-feet in height at the time of planting which will provide 3.5- to 4-foot-tall screening for headlights (the average height level for headlights is 2.5-feet). Twp. staff has no objection to this modification. **CONFORMS**
8. **Section 8.2 (Exterior Lighting).** The applicant has provided a lighting plan on the sixteenth and final sheet of the plan (numbered 1 of 1). The lighting plan includes a photometric plan and lighting specifications. The plan provides 14 light poles at a height of 21-feet with lights that are directed downward. 17 wall pack lights are shown that direct light downward. There are 4 lights planned to be under the soffit of a canopy. **CONFORMS**
9. **Outside agency approvals.** Section 14.2.S. includes a standard for final site plan approval that, *“The plan meets applicable standards of governmental agencies with jurisdiction, and necessary outside agency approvals have been obtained or are assured (of approval).”* The applicant is responsible for obtaining all necessary outside agencies permits or approvals prior to submittal of a final site plan application. Staff has received confirmation of necessary approvals from the Isabella County Transportation Commission, the Isabella County Road Commission (driveway permit), and the Mt. Pleasant Fire Department. **CONFORMS**

Stormwater management permit: Staff has also received necessary approval letter from the Twp. Engineer (Gourdie Fraser Associates) for a stormwater management permit, which is contingent upon receipt by the Zoning Administrator of an as-recorded stormwater management system maintenance agreement prior to the issuance of building permits for this project. **CAN CONFORM**

Public Services Department approvals: Staff and the applicant received review comments dated June 3, 2025 from the Township Public Services Director, which noted that some municipal water and sanitary sewer installation details still need to be added to the plans before building and water/sewer permits could be issued for construction. The applicant is working with the Public Services Director to add the requested details, which do not affect the overall design of the project or availability of water and sewer services to the project. Twp. staff would have no objection to a Planning Commission determination that the necessary Public Services approval “is assured.” **CAN CONFORM.**

### **Objective**

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

### **Key Findings**

- ☐ The applicant’s requested landscape modifications to move trees off the berm so to provide a complete row of shrubs to block headlight glare are consistent with Section 10.7 standards.
- ☐ The applicant’s limited request for temporary relief from sidewalk construction along part of the S. Isabella Rd. frontage within a state-regulated wetland area is consistent with the Township’s adopted Sidewalk and Pathway Construction policies.
- ☐ With resolution of the details noted above in our report, the site plan will fully conform with Sections 14.2 P (Required Site Plan Information) and 14.2.S (Standards for Site Plan Approval).

### **Recommendations**

Based on the above findings, I recommend approval of PFINALSPR25-02 final site plan, contingent upon receipt by the Zoning Administrator, prior to issuance of building permits, of the as-recorded sidewalk easements and stormwater maintenance agreement, and the updated site plan sheet(s) with the additional details requested by the Public Services Department.

Please contact me at (989) 772-4600 ext. 241, or via email at pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

***Peter Gallinat – Zoning Administrator***

**Draft Motions: PFINAL 25-02 Final Site Plan Review Application**  
**Thrive Community Church**

**MOTION TO APPROVE THE FINAL SITE PLAN AS PRESENTED:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to approve the PFINAL25-02 final site plan dated June 2, 2025 for the new 26,356 square-foot Thrive Community Church facility located on the northeast corner of S. Isabella Road and Bud Street in the southwest quarter of Section 22 and in the B-7 (Retail and Highway Business) zoning district, finding that the site plan fully complies with the applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval).

**MOTION TO APPROVE THE FINAL SITE PLAN WITH CONDITIONS:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to approve the PFINAL25-02 final site plan dated June 2, 2025 for the new 26,356 square-foot Thrive Community Church facility located on the northeast corner of S. Isabella Road and Bud Street [PID14-012-30-009-00] in the southwest quarter of Section 22 and in the B-7 (Retail and Highway Business) zoning district, finding that the site plan can comply with the applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), subject to the following conditions:

1. The applicant shall provide to the Zoning Administrator copies of the as-recorded sidewalk easements and stormwater maintenance agreement, prior to issuance of building permits.
  2. Zoning Administrator acceptance of updated site plan sheet(s) with the additional details as requested by the Public Services Department, prior to issuance of building permits.
- 

**MOTION TO POSTPONE ACTION:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to postpone action on the PFINAL25-02 final site plan dated June 2, 2025 for the new 26,356 square-foot Thrive Community Church facility on the northeast corner of S. Isabella Road and Bud Street [PID14-012-30-009-00] and in the B-7 (Retail and Highway Business) zoning district until \_\_\_\_\_, 2025 for the following reasons:

---

**MOTION TO DENY:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to deny the PFINAL25-02 final site plan dated June 2, 2025 for the new 26,356 square-foot Thrive Community Church facility located on the northeast corner of S. Isabella Road and Bud Street [PID14-012-30-009-00] in the southwest quarter of Section 22 and in the B-7 (Retail and Highway Business) zoning district, finding that the site plan does not comply with applicable Zoning Ordinance requirements, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:

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## Charter Township of Union

### APPLICATION FOR SITE PLAN REVIEW

☐

Minor Site Plan

☒

Preliminary Site Plan

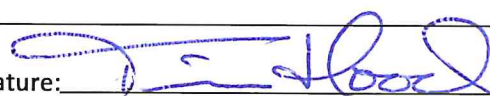
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Final Site Plan

A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project	Mid Michigan College - Mt Pleasant Event Center		
Common Description of Property & Address (if issued)	Mid Michigan College - Mt Pleasant Campus 2600 S. Summerton, Mt Pleasant, MI 48858		
Applicant's Name(s)	Mid Michigan Community College (attn. Matthew Miller)		
Phone/Fax numbers	989-386-6600	Email	mmiller@midmich.edu
Address	1375 S. Clare Avenue	City:	Harrison Zip: 48625

Legal Description:	<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s):	14-013-40-001-05	
Existing Zoning:	B-4	Land Acreage:	45.3	Existing Use(s):	General Business
<input checked="" type="checkbox"/> ATTACHED: Letter describing the project and how it conforms to Section 14.2.S. (Standards for Site Plan Approval)					

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: ROWE Professional Services Company	Phone: 989-772-2138	Email: awendzel@rowepsc.com	
	2. Address: 127 S. Main Street			
	City: Mt. Pleasant	State:	Zip: 48858	
	Contact Person: Aaron J. Wendzel, P.E.	Phone	989-772-2138	
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: Mid Michigan College	Phone: 989-386-6600		
	Address: 2600 S. Summerton, Mt Pleasant, MI 48858			
	City: Mt. Pleasant	State:	Zip: 48625	
	Signature: _____	Interest in Property: _____		
	2. Name: _____	Phone: _____		
	Address: _____			
	City: _____	State: _____	Zip: _____	
	Signature: 	Interest in Property: Owner		

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.

  
Signature of Applicant

5/27/2025  
Date

#### Office Use Only

Application Received By: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Date Received: \_\_\_\_\_ Escrow Deposit Paid: \$ \_\_\_\_\_

## **Preliminary Site Plan Review Procedure**

Each preliminary site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

### **Effect of Preliminary Site Plan Approval**

Approval of a preliminary site plan by the Planning Commission shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas in accordance with the standards for preliminary site plan approval specified in subsection 14.2(S). The Planning Commission may, at its discretion and with appropriate conditions attached, authorize limited work to begin for soils exploration, incidental site clearing, and other preliminary site work as specified in the authorization.

## **Outside Agency Approvals**

The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval.

## **Final Site Plan Review Procedure**

Each final site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

### **Effect of Final Site Plan Approval**

Approval of a final site plan by the Planning Commission constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met.

## **Minor Site Plan Review Procedure**

A minor site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee, and two (2) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and site plans, at a maximum sheet size of 11 inches by 17 inches, at the Township Hall. The Zoning Administrator shall review the application materials and site plan for completeness, accuracy, and compliance with all applicable requirements and standards of this Ordinance and other Township ordinances.

The minor site plan shall be approved by the Zoning Administrator upon determination that all required information for the type of site plan has been provided per subsection 14.2(P), the site plan satisfies the applicable standards for site plan approval per subsection 14.2(S); and the site plan conforms to all other applicable requirements and standards of this Ordinance and other Township ordinances.

# CHARTER TOWNSHIP OF UNION

## SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: Mid Michigan College

Name of business owner(s): Tim Hood, President

Street and mailing address: 1375 S. Clare Avenue, Harrison, MI 48625

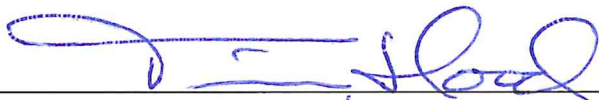
Telephone: \_\_\_\_\_

Fax: 989-386-6622

Email: thood@midmich.edu

**I affirm that the information submitted is accurate.**

Owner(s) signature and date:

  
5/22/2025

Information compiled by:

Joe Myers, Director of Facilities

\_\_\_\_\_

# Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

COMMON NAME	CHEMICAL NAME (components)	FORM	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
X <u>NONE</u>	<b>KEY:</b> LIQ. = liquid P.LIQ = pressurized liquid <b>S</b> = solids G = gas PG = pressurized gas			<b>KEY:</b> AGT = above ground tank DM = drums UGT = underground tank Cy = cylinders CM = metal cylinders QW = wooden or composition container TP = portable tank



# PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

[Michigan.gov/EGLEpermits](http://Michigan.gov/EGLEpermits)

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: [Michigan.gov/EHSGuide](http://Michigan.gov/EHSGuide). Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

How Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
1) Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), <u>Permit Section</u>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
2) Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, <u>Asbestos Program</u> , 517-284-6777	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
3) Please consult the <u>Permitting at the Land and Water Interface Decision Tree</u> document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - <u>Joint Permit Application</u> , 517-284-5567:		
a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
d. Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
4) Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? <b>Union Township and Isabella County</b>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
5) Does the project involve the construction or alteration of a water supply system system? <b>Union Township Public Services Department</b> and <u>Drinking Water &amp; Environmental Health Division</u> (DWEHD), 517-284-6524	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
6) Does the project involve construction or alteration of any sewage collection or treatment facility? <b>Union Township Public Services Department</b> and <u>WRD, Part 41 Construction Permit Program (staff)</u> , 906-228-4527, or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
7) Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? <b>Union Township and Public Swimming Pool Program</b> , 517-284-6541, or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
8) Does the project involve the construction or modification of a campground? <b>Union Township and DWEHD, Campgrounds program</b> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>



9) Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), <u>Solid Waste</u> , 517-284-6588, or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
10) Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, Hazardous Waste Section, <u>Treatment, Storage and Disposal</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>Who Regulates My Drinking (Potable) Water Supply?</b>		
11) I am buying water from the municipal water supply system Contact the <b>Union Township Public Services Dept.</b>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
12) I have a Non-Community Water Supply (Type II) <u>Guide</u> , <u>Contact (District or County) Local Health Department</u> , 517-485-0660	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
13) I am a community water supply (Type I) <u>Community Water Supply</u> , <u>DWEHD District Office Community Water Supply Program</u> , 517-284-6512	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
14) Do you desire to develop a <u>withdrawal of over 2,000,000 gallons of water per day</u> from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>Who Regulates My Wastewater Discharge System?</b>		
15) NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, <u>EGLE District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u> , 517-284-5568	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
16) Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, <u>Permits Section</u> , or <u>EGLE District Office</u> , 517-284-5588	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
17) Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, <u>Groundwater Permits Program</u> , 517-290-2570	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
18) Does the project involve the drilling or deepening of wells for waste disposal? <u>Oil, Gas and Minerals Division</u> (OGMD), 517-284-6841	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Operational Permits Are Relevant to My Operation and Air Emissions?</b>		
19) Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, <u>Permit Section</u> , 517-284-6634	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
20) Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, <u>Acid Rain Permit Program</u> , 517-780-7843	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Operational Permits Are Relevant to My Waste Management?</b>		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? <u>MMD</u> , 517-284-6588 or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? MMD, <u>Hazardous and Liquid Waste</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? ( <u>Hazardous Waste Program Forms &amp; License Applications</u> ) MMD, <u>EGLE District Office</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, <u>Radioactive Material and Standards Unit</u> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD <u>Radioactive Material and Standards Unit</u> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, <u>Medical Waste Regulatory Program</u> , 517-284-6594	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Sector-Specific Permits May be Relevant to My Business?</b>		
<b><u>Transporters</u></b>		
27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste? MMD, <u>Transporter Program</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
28) Does the project involve the <i>transport</i> of hazardous waste? MMD, <u>Transporter Program</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, <u>Water Hauler Information</u> , 517-284-6527	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, <u>Septage Program</u> , 517-284-6535	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
31) Do you store, haul, shred or process <i>scrap tires</i> ? MMD, <u>Scrap Tire Program</u> , 517-284-6586	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b><u>Sectors</u></b>		
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, <u>Dry Cleaning Program</u> , 517-284-6780	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? <u>Laboratory Services Certifications</u> , 517-284-5424	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, <u>Public Swimming Pools Program</u> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
35) Does the project involve the operation of a <i>campground</i> ? <b>Union Township</b> and DWEHD, <u>Campgrounds</u> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Permits Do I Need to Add Chemicals to Lakes and Streams?</b>		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, <u>Aquatic Nuisance Control</u> , 517-284-5593	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, <u>Surface Water Assessment Section</u> , 517-331-5228	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Why would I be subject to Oil, Gas and Mineral Permitting?		
38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, <u>Petroleum Geology and Production Unit</u> , 517-284-6826	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u> , 517-284-6826	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, <u>Radioactive Protection Programs</u> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<u>Petroleum &amp; Mining</u> , OGMD, 517-284-6826		
41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
42) Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
44) Does the project involve mining coal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
45) Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Contact **Union Township** and EGLE Permits & Bonding, OGMD, 517-284-6841



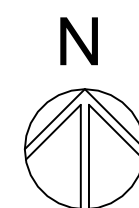


2600 S.SUMMERTON  
MT PLEASANT, MI 48858

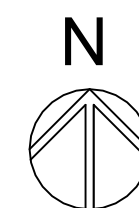
FINAL SITE PLAN SUBMITTAL  
05/27/2025



## SITE LOCATION



## SITE VICINITY MAP



## SITE LOCATION MAP

## DRAWING INDEX

GENERAL

G-000      TITLE SHEET

CIVIL

C-101	NOTE SHEET
C-102	LEGEND SHEET
C-103	DETAIL SHEET
C-104	DETAIL SHEET
C-105	DETAIL SHEET
C-106	DETAIL SHEET
C-200	EXISTING CONDITIONS
C-201	DEMOLITION PLAN
C-300	OVERALL SITE PLAN
C-301	SITE PLAN
C-302	OVERALL GRADING PLAN
C-303	DETAIL GRADING PLAN
C-304	DETAIL GRADING PLAN
C-305	DETAIL GRADING PLAN
C-306	UTILITY PLAN
C-307	WATER MAIN PROFILES
C-400	LANDSCAPE PLANS

ARCHITECTURAL

A-401 EXTERIOR ELEVATIONS/ FENCE DETAILS  
A-402 EXTERIOR ELEVATIONS

ELECTRICAL

E-003	ELECTRICAL DEMOLITION SITE PLAN
E-004	ELECTRICAL NEW WORK SITE PLAN
E-101	SITE LIGHTING CALCULATIONS
E-102	SITE LIGHTING FIXTURE CUTSHEETS

**OWNER**

MID MICHIGAN COLLEGE  
1375 SOUTH CLARE AVE.  
HARRISON, MI, 48625

## CIVIL AND LANDSCAPE DESIGN

ROWE PROFESSIONAL SERVICES COMPANY  
 127 S. MAIN STREET  
 MOUNT PLEASANT, MI, 48858  
 PH: (989)-772-2138  
 FX: (989)-773-7757



## ARCHITECT OF RECORD

HOBBES + BLACK ASSOCIATES, INC.  
117 E. ALLEGAN STREET  
LANSING, MI, 48104  
PH: (517)-484-4870  
FX: (517)-484-1369

## STRUCTURAL ENGINEER

JDH STRUCTURAL ENGINEERING  
3000 IVANREST SW SUITE B  
GRANDVILLE, MI, 49418  
PH: (616)-531-6020

## CONSTRUCTION MANAGER

CLARK CONSTRUCTION COMPANY  
3535 MOORES RIVER DRIVE  
LANSING, MI, 48911  
PH: (517)-372-0940

## MECHANICAL / ELECTRICAL/ PLUMBING ENGINEER

PETER BASSO ASSOCIATES, INC.  
5145 LIVERNOIS, SUITE 100  
TROY, MI, 48098  
PH: (248)-879-5666  
FX: (248)-879-0007

**HOBBS + BLACK**  
ARCHITECTS

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MID MICHIGAN  
COLLEGE  
MT PLEASANT CAMPUS  
EVENT CENTER  
2620 S.SUMMERTON  
MT PLEASANT, MI 48858

PROJECT

COVER  
SHEET

SHEET TITLE

24704

PROJECT NUMBER

G-000

HEET 054 NUMBER



Drawing: R:\Projects\240006\0\Draws\Construction Drawings\SH-240006.dwg  
Date: May 27, 2025, 9:17 am  
Layout: NOT  
Plotted by: 973jpb

## GENERAL CONSTRUCTION NOTES

### EMERGENCY CONTACTS

BEFORE BEGINNING WORK ON THE PROJECT, THE CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH THE NAMES AND TELEPHONE NUMBERS OF EMERGENCY CONTACTS. AT LEAST ONE PERSON REPRESENTING THE CONTRACTOR SHALL BE AVAILABLE TO RESPOND TO EMERGENCIES THROUGHOUT THE LIFE OF THE PROJECT, 24 HOURS A DAY, 7 DAYS A WEEK.

### UNDERGROUND UTILITY IDENTIFICATION AND LOCATION

THE CONTRACTOR SHALL CALL MISS DIG (1-800-482-7171) A MINIMUM OF THREE WORK DAYS IN ADVANCE OF BEGINNING EXCAVATION. THE CONTRACTOR IS RESPONSIBLE TO IDENTIFY AND NOTIFY UTILITY AGENCIES WITHIN THE PROJECT AREA WHICH DO NOT PARTICIPATE IN THE MISS DIG NOTIFICATION PROGRAM.

### PUBLIC UTILITIES

EXISTING UTILITIES ARE SHOWN BASED UPON RECORDS AND LOCATIONS PROVIDED BY UTILITY AGENCIES. THE INFORMATION SHOWN IS CONSIDERED APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. UNLESS THE PLANS SPECIFICALLY SHOW THAT EXISTING UTILITIES ARE TO BE MOVED, THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN EXISTING UTILITIES.

### VERIFICATION OF UNDERGROUND UTILITIES

THE CONTRACTOR SHALL EXCAVATE AND LOCATE ALL EXISTING UTILITIES IN THE PROJECT AREA IN ADVANCE OF CONSTRUCTION TO VERIFY THEIR ACTUAL LOCATION. POTENTIAL CONFLICTS SHALL BE REPORTED TO THE ENGINEER. THE CONTRACTOR SHALL MAKE SUCH CHANGES TO GRADE AND ALIGNMENT OF PROPOSED WORK AS DIRECTED BY THE ENGINEER TO AVOID CONFLICTS, AT NO INCREASE IN COST TO THE OWNER.

### UTILITY SERVICE

UNLESS SPECIFICALLY PROVIDED OTHERWISE IN THE CONTRACT DOCUMENTS, ALL EXISTING UTILITIES ARE TO REMAIN IN SERVICE DURING THE PROJECT.

### SOIL BORINGS / PAVEMENT CORES

IF PROVIDED ON THE PLANS OR IN THE CONTRACT DOCUMENTS, LOGS OF SOIL BORINGS OR PAVEMENT CORES REPRESENT THE SUBSURFACE CONDITIONS ENCOUNTERED AT SPECIFIC POINTS. THE INFORMATION IS PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY.

### MAINTAINING TRAFFIC

LOCAL AND EMERGENCY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES WITHIN THE PROJECT AREA.

WHEN EXCAVATION, FRESH CONCRETE, OR OTHER CONSTRUCTION WORK WILL RESULT IN THE CLOSURE OF A STREET OR DRIVEWAY FOR A PERIOD OF TIME, THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL AFFECTED RESIDENTS AND BUSINESSES IN ADVANCE.

THE CONTRACTOR SHALL NOTIFY EMERGENCY RESPONSE AGENCIES IN ADVANCE OF ROAD CLOSURES OR THE ESTABLISHMENT OF DETOURS.

### TRAFFIC SIGNS

TRAFFIC SIGNS WHICH INTERFERE WITH CONSTRUCTION SHALL BE REMOVED AND REPLACED BY THE AGENCY HAVING JURISDICTION OVER THE STREETS OR ROADS IN THE PROJECT AREA. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE AGENCY TO ARRANGE FOR REMOVAL OF THE SIGN AND IS RESPONSIBLE TO PAY ANY FEES ASSOCIATED WITH THE REMOVAL AND REPLACEMENT OF THE SIGNS.

### SCHEDULE

THE CONTRACTOR SHALL COMPLETE ALL WORK IN AN EXPEDITIOUS MANNER AND SHALL NOT STOP WORK ON THE PROJECT ONCE BEGUN.

### LAYOUT

ALIGNMENT AND GRADES FOR CURB AND GUTTER (INCLUDING THROUGH RAMPS AND DRIVEWAY OPENINGS) SHOWN ON THE PLANS ARE FOR THE TOP, BACK OF CURB, UNLESS SPECIFICALLY SHOWN OTHERWISE ON THE PLANS.

THE HORIZONTAL ALIGNMENT SHOWN ON THE DRAWINGS FOR DRAINAGE STRUCTURES LOCATED IN THE CURB LINE IS TO THE CENTER OF THE CASTING.

THE HORIZONTAL ALIGNMENT SHOWN ON THE DRAWINGS FOR DRAINAGE STRUCTURES WHICH ARE NOT IN THE CURB LINE AND FOR MANHOLES IS TO THE CENTER OF THE STRUCTURE.

WHERE RIM ELEVATIONS ARE PROVIDED ON THE PLANS FOR MANHOLE CASTINGS, THE ELEVATION PROVIDED IS FOR THE TOP OF THE CASTING.

WHERE RIM ELEVATIONS ARE PROVIDED FOR INLET TYPE CASTINGS, THE ELEVATIONS ARE PROVIDED AS FOLLOWS:

- CURB INLETS – THE ELEVATION OF THE TOP OF CURB
- ALL OTHER INLETS – THE ELEVATION OF THE FLOW LINE

WHERE RIM ELEVATIONS ARE PROVIDED ON THE PLANS FOR INLETS OR MANHOLE CASTINGS, THE ELEVATIONS PROVIDED ARE CONSIDERED PRELIMINARY. THE CONTRACTOR SHALL MAKE THE FINAL ADJUSTMENT FOLLOWING THE ESTABLISHMENT OF ACTUAL GRADING AND PAVEMENT ELEVATIONS.

### CONSTRUCTION STAKING

WHEN CONSTRUCTION STAKING IS TO BE PROVIDED BY THE ENGINEER OR OWNER, THE CONTRACTOR SHALL REQUEST STAKING AT LEAST THREE WORKING DAYS IN ADVANCE.

WHEN CONSTRUCTION STAKING IS TO BE PROVIDED BY THE ENGINEER OR OWNER, STAKING WILL BE PROVIDED ONE TIME. THE CONTRACTOR SHALL PROTECT AND PRESERVE SURVEY CONTROL AND STAKING. RE-STAKING WILL BE AT THE CONTRACTOR'S EXPENSE.

### SURVEY CORNERS, BENCHMARKS, AND CONTROL POINTS

THE CONTRACTOR SHALL PRESERVE ALL GOVERNMENT CORNERS, PROPERTY CORNERS, BENCHMARKS, SURVEY CONTROL POINTS AND OTHER SURVEY POINTS WITHIN THE PROJECT AREA. WHERE CORNERS, BENCHMARKS, OR SURVEY POINTS ARE ENCOUNTERED WHICH WILL BE DISTURBED BY THE CONTRACTOR'S ACTIVITIES; A LICENSED SURVEYOR SHALL WITNESS THE POINT BEFORE DISTURBANCE AND SHALL RE-SET THE POINT FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL PAY THE SURVEYOR TO WITNESS AND TO RE-SET THE POINTS.

### PROTECTION OF TREES, SHRUBS, AND LANDSCAPING

ALL TREES, SHRUBS, AND LANDSCAPING WITHIN THE CONSTRUCTION AREA WHICH ARE NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. DAMAGED TREES, SHRUBS, AND LANDSCAPING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

### CONSTRUCTION SIGNING AND BARRICADING

THE CONTRACTOR SHALL PROTECT HAZARDOUS AREAS WITH BARRICADES. BARRICADES LEFT IN PLACE AFTER SUNSET SHALL BE LIGHTED.

THE CONTRACTOR SHALL PROVIDE SUITABLE SANDBAGS OR OTHER SUITABLE MEASURES FOR ANCHORING OF TEMPORARY SIGNS AND BARRICADES, TO PREVENT THEIR TIPPING OR DISPLACEMENT BY WIND OR AIR FLOW FROM VEHICLES.

THE CONTRACTOR SHALL PROVIDE SIGNING, BARRICADES, TRAFFIC REGULATORS, CONES, AND OTHER TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCY HAVING JURISDICTION OVER STREETS OR ROADS IN THE PROJECT AREA, THE CURRENT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND THE PLANS AND SPECIFICATIONS.

THE CONTRACTOR SHALL COVER OR REMOVE TEMPORARY SIGNS DURING PERIODS WHEN THEY ARE NOT APPROPRIATE.

### TURF ESTABLISHMENT

ALL DISTURBED AREAS WHICH ARE NOT TO BE SURFACED WITH PAVEMENT, AGGREGATE OR OTHER APPROVED SURFACES SHALL BE ESTABLISHED WITH TURF.

TURF AREAS SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE.

DISTURBED AREAS SHALL BE SURFACED WITH THREE INCHES OF SCREENED TOPSOIL.

THE CONTRACTOR IS RESPONSIBLE TO ESTABLISH TURF WHICH IS SUBSTANTIALLY FREE OF BARE SPOTS AND FREE OF WEEDS. THE GROUND SURFACE IN TURF AREAS SHALL BE SMOOTH AND PROVIDE A NATURAL TRANSITION TO ADJACENT, UNDISTURBED AREAS.

THE CONTRACTOR IS RESPONSIBLE TO PROVIDE WATERING, WEEDING, RESEEDING, AND REWORKING AS NECESSARY TO ESTABLISH TURF AREAS TO THE REQUIRED STANDARD.

### ADA COMPLIANCE

ALL PROPOSED CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AND APPLICABLE GUIDELINES OR STANDARDS. WHERE EXISTING CONDITIONS AND/OR THE REQUIREMENTS OF THE PLANS WILL RESULT IN FINISHED CONDITIONS THAT DO NOT MEET THE ADA REQUIREMENTS, GUIDELINES, OR STANDARDS; THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REMOVE AND REPLACE WORK DETERMINED TO BE NOT IN ACCORDANCE WITH APPLICABLE REQUIREMENTS, GUIDELINES, OR STANDARDS.

### EARTHWORK

THE CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS INCLUDED IN THE SOILS INVESTIGATION REPORT BY MCDOWELL & ASSOCIATES.

THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE EARTHWORK QUANTITIES, AND BASE THEIR BID ON THEIR DETERMINATION OF THE QUANTITIES OF WORK REQUIRED.

IF ADDITIONAL FILL MATERIAL MUST BE PROVIDED TO ATTAIN THE FINISH GRADES SHOWN ON THE PLANS, THE CONTRACTOR SHALL PROVIDE THE REQUIRED FILL MATERIAL, UNLESS A SPECIFIC BORROW AREA IS IDENTIFIED ON THE PLANS.

EXCESS SOILS RESULTING FROM EXCAVATION AND EARTHWORK SHALL BECOME THE CONTRACTOR'S PROPERTY AND DISPOSED OF PROPERLY, UNLESS AN AREA(S) HAS BEEN DESIGNATED FOR STOCKPILING OR 'BLENDING IN' THE EXCESS MATERIAL WITHIN THE PROJECT LIMITS.

### BACKFILL AND EMBANKMENT

BACKFILL OF AN EXCAVATION UNDER OR WITHIN THE ONE ON ONE INFLUENCE OF AN EXISTING OR PROPOSED ROAD, SIDEWALK, DRIVEWAY, PAVEMENT, OR AGGREGATE SURFACE, SHALL BE SAND, MEETING THE REQUIREMENTS OF GRANULAR MATERIAL CLASS II AS DESCRIBED IN THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE SAND BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

BACKFILL OF AN EXCAVATION WHICH IS NOT UNDER OR WITHIN THE ONE ON ONE INFLUENCE OF AN EXISTING OR PROPOSED ROAD, SIDEWALK, DRIVEWAY, PAVEMENT, OR AGGREGATE SURFACE MAY BE SUITABLE EXCAVATED MATERIAL OR OTHER SOIL, WHICH IS FREE OF ORGANIC MATTER, STONES AND ROCKS, ROOTS, BROKEN CONCRETE, FROZEN MATERIAL, OR DEBRIS. THE BACKFILL SHALL BE COMPACTED TO AT LEAST 90% OF ITS MAXIMUM UNIT WEIGHT.

THE CONTRACTOR SHALL INDICATE THE SOURCE OF SAND USED FOR BACKFILL TO THE ENGINEER, AND PROVIDE THE ENGINEER WITH THE RESULTS OF A GRADATION TEST PERFORMED ON A SAMPLE OF THE SAND. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ADVANCE OF USING SAND FROM OTHER SOURCES.

EMBANKMENT USED TO BUILD THE SUBGRADE TO REQUIRED ELEVATION SHALL BE SUITABLE SOIL EXCAVATED FROM THE PROJECT SITE, OR FURNISHED BY THE CONTRACTOR FROM OTHER SOURCES. SUITABLE SOIL IS FREE FROM ORGANIC MATTER, ROCKS AND STONES, FROZEN MATERIAL, BROKEN CONCRETE, AND DEBRIS.

EMBANKMENT CONSTRUCTED OF GRANULAR SOILS SHALL BE COMPACTED IN LIFTS NOT EXCEEDING 10 INCHES TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

EMBANKMENT CONSTRUCTED OF COHESIVE SOILS SHALL BE COMPACTED IN LIFTS NOT EXCEEDING 10 INCHES TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

### DENSITY TESTING

THE MAXIMUM UNIT WEIGHT OF SAND AND OTHER GRANULAR SOILS WILL BE DETERMINED BY THE ONE POINT CONE TEST, AS DESCRIBED IN THE MICHIGAN DEPARTMENT OF TRANSPORTATION'S DENSITY TESTING AND INSPECTION MANUAL, EXCEPT WHEN ANOTHER TEST METHOD IS SPECIFIED.

THE MAXIMUM UNIT WEIGHT OF COHESIVE SOILS WILL BE DETERMINED BY THE ONE POINT PROCTOR TEST, AS DESCRIBED IN THE MICHIGAN DEPARTMENT OF TRANSPORTATION'S DENSITY TESTING AND INSPECTION MANUAL, EXCEPT WHEN ANOTHER TEST METHOD IS SPECIFIED.

### WORK HOURS

WORK HOURS TO BE APPROVED BY THE OWNER.

## DRAINAGE

THE CONTRACTOR SHALL MAINTAIN DRAINAGE OF THE PROJECT AREA AND ADJACENT AREAS. WHERE EXISTING DRAINAGE FACILITIES ARE DISTURBED OR BLOCKED BY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY PROVISIONS FOR DRAINAGE.

WHERE CONSTRUCTION HAS DISTURBED EXISTING DITCHES, SWALES, OR OTHER DRAINAGE FACILITIES; THE CONTRACTOR SHALL RESTORE THEM TO THEIR GRADES AND DIMENSIONS WHICH EXISTED PRIOR TO THE BEGINNING OF CONSTRUCTION, UNLESS DIRECTED OTHERWISE.

DRAINAGE SHALL NOT BE REROUTED ONTO ADJACENT PROPERTIES NOR ALLOWED TO DRAIN ONTO ADJACENT PROPERTIES AT AN INCREASED RATE, AS A RESULT OF THE CONTRACTOR'S WORK.

## PAVING PROJECTS

### ADJUSTING STRUCTURES

WHERE CASTINGS FOR MANHOLES, CATCH BASINS, INLETS, VALVE BOXES, AND MONUMENT BOXES ARE TO BE ADJUSTED TO MEET A NEW PAVEMENT SURFACE ELEVATION, THE FINAL ADJUSTMENT SHALL NOT BE COMPLETED UNTIL ALL PAVEMENT COURSES HAVE BEEN PLACED EXCEPT THE FINAL COURSE. THE FINAL ADJUSTMENT SHALL BE COMPLETED JUST PRIOR TO PLACEMENT OF THE FINAL COURSE OF PAVEMENT.

THE MATERIALS AND PROCEDURES FOR ADJUSTING STRUCTURES SHALL MEET THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION OVER THE ROAD AND UTILITIES.

### SUBGRADE PREPARATION

TOPSOIL, PEAT, AND ORGANIC MATERIAL SHALL BE EXCAVATED AND REMOVED.

SOFT AND YIELDING SOILS SHALL BE REMOVED OR DRIED IF THE RESULT OF EXCESSIVE MOISTURE CONTENT.

PRIOR TO CONSTRUCTING FILLS, SUBBASE, OR PAVEMENT ON A SUBGRADE; THE SUBGRADE SHALL BE PROOF-ROLLED TO DETERMINE THE SUITABILITY OF THE SUBGRADE. THE CONTRACTOR SHALL DRIVE A HEAVY PIECE OF WHEELED CONSTRUCTION EQUIPMENT OVER THE SUBGRADE WHILE THE ENGINEER IS OBSERVING. THE CONSTRUCTION OF FILLS, SUBBASE, OR PAVEMENTS SHALL NOT PROCEED UNTIL THE SUBGRADE HAS BEEN DEMONSTRATED TO BE FREE OF SOFT AREAS.

THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE MOISTURE CONTENT OF SUBGRADE SOILS WITHIN A SUITABLE RANGE TO ALLOW FOR COMPACTION TO THE REQUIRED DENSITY. WHEN THE SOIL IS TOO DRY, THE CONTRACTOR SHALL ADD WATER. WHEN THE SOIL IS TOO WET, THE CONTRACTOR SHALL PROVIDE DRAINAGE OR AERATE THE SOIL.

THE SURFACE OF THE SUBGRADE SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT, PRIOR TO CONSTRUCTING FILLS, SUBBASE, OR PAVEMENTS.

### CURB AND GUTTERS

THE CONTRACTOR SHALL DETERMINE THE LOCATION AND DIMENSIONS OF CURB OPENINGS FOR DRIVEWAYS, RAMPS, AND DRAINAGE STRUCTURES.

### HOT MIX ASPHALT (HMA) PAVING

PAVEMENTS WHICH ARE TO BE OVERLAID WITH A NEW PAVEMENT COURSE SHALL BE SWEEPED TO REMOVE ALL DIRT AND DEBRIS.

A BITUMINOUS BOND COAT SHALL BE APPLIED TO PAVEMENTS WHICH ARE TO BE OVERLAID WITH A NEW PAVEMENT COURSE AND ALLOWED TO CURE PRIOR TO CONSTRUCTING THE NEW PAVEMENT COURSE.

HMA PAVEMENT SHALL NOT BE PLACED WHEN THE SURFACE BEING OVERLAID IS WET, OR WHEN RAIN IS FORECAST OR THREATENING.

## DRIVEWAY CONSTRUCTION

DRIVEWAY SLOPES SHALL NOT EXCEED 10%, EXCEPT WHERE SPECIFICALLY INDICATED OTHERWISE ON THE PLANS OR DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL PROVIDE PROPERTY OWNERS WITH SUITABLE NOTICE BEFORE REMOVING AND REPLACING AN EXISTING DRIVEWAY.

## SIDEWALK CONSTRUCTION

SIDEWALKS SHALL BE CONSTRUCTED TO PROVIDE POSITIVE DRAINAGE OF THE SIDEWALK AND ADJACENT SURFACES.

EXCEPT WHERE NECESSARY TO PROVIDE POSITIVE DRAINAGE OR MEET EXISTING SURFACES, SIDEWALK SHALL BE CONSTRUCTED WITH A CROSS SLOPE SLOPED AWAY FROM BUILDINGS OR TOWARD THE STREET.

SIDEWALK CROSS SLOPES SHALL NOT EXCEED 2%.

IN TURF AREAS, THE SURFACE OF THE SIDEWALK SHALL BE ABOUT 1/4 INCH HIGHER THAN THE ADJACENT GROUND SURFACES, EXCEPT WHERE NECESSARY TO PROVIDE POSITIVE DRAINAGE OR MEET EXISTING SIDEWALKS, CURBS, OR PAVEMENTS.

SIDEWALK SHALL BE CONSTRUCTED ON A SAND BASE, COMPACTED TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN SIDEWALK FORMS HAVE BEEN SET AND THE SAND BASE PREPARED. CONCRETE SHALL NOT BE PLACED UNTIL THE ENGINEER HAS OBSERVED THE FORMS. CONCRETE DELIVERY SHALL BE SCHEDULED TO ALLOW SUFFICIENT TIME FOR ADJUSTMENT OF THE FORMS, IN THE EVENT THAT ADJUSTMENT IS NECESSARY.

THE CONTRACTOR SHALL PROTECT FRESH CONCRETE FROM DAMAGE BY THE WEATHER, TRAFFIC, OR VANDALISM. DAMAGED CONCRETE SHALL BE REPLACED BY THE CONTRACTOR'S EXPENSE.

## SANITARY SEWER CONSTRUCTION NOTES

THE NEW SANITARY SEWER SHALL NOT BE CONNECTED TO THE EXISTING SEWER UNTIL APPROVED BY THE ENGINEER.

AT LEAST TEN FEET OF HORIZONTAL AND EIGHTEEN INCHES OF VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN THE SEWER AND EXISTING WATER MAINS.

THE CONTRACTOR SHALL CONDUCT A LOW PRESSURE AIR TEST ON ALL SANITARY SEWERS LESS THAN 24 INCHES IN DIAMETER. THE AIR TEST SHALL MEET THE REQUIREMENTS OF ASTM C924 FOR CONCRETE PIPE AND ASTM F1417 FOR PLASTIC PIPE. IN AREAS WHERE GROUNDWATER IS OVER THE PIPE, THE TEST PRESSURE SHALL BE INCREASED EQUAL TO THE HYDRAULIC PRESSURE EXERTED BY THE WATER OVER THE PIPE, AS DETERMINED BY THE ENGINEER.

## WATER MAIN CONSTRUCTION NOTES

WATER MAINS AND SERVICES SHALL CONFORM WITH THE CHARTER TOWNSHIP OF UNION USE OF APPROVAL AND DESIGN REQUIREMENTS, THE CURRENT STANDARDS OF THE MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES, AND ENERGY, AND THE "TEN STATES STANDARDS FOR WATER WORKS".

HYDRANTS, VALVES, AND OTHER MATERIALS SHALL MEET THE OWNER'S STANDARDS, WITH REGARD TO MANUFACTURER AND MODEL, AND DETAILS SUCH AS OPENING DIRECTION, HYDRANT COLOR, HYDRANT CONFIGURATION, AND HYDRANT THREAD PATTERN.

CHARTER TOWNSHIP OF UNION STANDARD WATER MAIN MATERIALS:	
HYDRANT	EAST JORDAN IRON WORKS, BR5; WITH ONE 4 INCH PUMPER NOZZLE AND TWO 2 ½ INCH PUMPER NOZZLES; NPT THREADS; COLOR: RED
VALVES	RESILIENT WEDGE GATE VALVES (WUELLER OR EAST JORDAN), OPENS COUNTER CLOCKWISE

NEW WATER MAIN SHALL NOT BE CONNECTED TO THE EXISTING WATER MAIN WITHOUT THE APPROVAL OF UNION TOWNSHIP.

AT LEAST TEN FEET OF HORIZONTAL AND EIGHTEEN INCHES OF VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND SEWERS (STORM OR SANITARY).

THE DEPTH OF BURY SHOWN ON THE PLANS SHALL BE PROVIDED, AS A MINIMUM, OVER THE TOP OF THE WATER MAIN PIPE TO THE FINISHED GROUND OR PAVEMENT SURFACE. UNLESS SPECIFICALLY DIRECTED OTHERWISE ON THE DRAWINGS, THE DEPTH OF BURY SHOWN ON THE PLANS SHALL BE MAINTAINED BETWEEN THE BOTTOM OF DITCHES AND THE TOP OF THE PIPE.

ALL BENDS, TEES, PLUGS, HYDRANTS, VALVES, AND OTHER FITTINGS WHERE THRUST MAY OCCUR SHALL BE RESTRAINED APPROPRIATELY BY JOINT RESTRAINT.

EXISTING WATER VALVES SHALL BE OPERATED ONLY BY THE WATER DEPARTMENT'S PERSONNEL.

THE SHUTTING DOWN OF EXISTING WATER MAINS TO ALLOW FOR COMPLETING THE CONTRACTOR'S WORK SHALL BE SCHEDULED IN ADVANCE BY THE CONTRACTOR WITH THE OWNER. THE CONTRACTOR SHALL PROVIDE NOTIFICATION TO AFFECTED WATER CUSTOMERS IN AT LEAST A DAY IN ADVANCE OF ANY SCHEDULED SERVICE DISRUPTIONS.

THE CONTRACTOR SHALL EXPOSE EXISTING MAINS TO VERIFY THE SIZE, MATERIALS, AND ANY FITTINGS NECESSARY BEFORE SHUTTING DOWN EXISTING WATER MAINS FOR NEW CONNECTIONS. ALL FITTINGS, PARTS, AND EQUIPMENT NECESSARY TO COMPLETE THE PROPOSED CONNECTIONS TO THE EXISTING MAIN SHALL BE AVAILABLE AT THE SITE BEFORE THE EXISTING MAIN IS SHUT DOWN.

THE COMPLETED WATER MAIN SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE. THE TEST PRESSURE SHALL BE 150 PSI. THE TEST DURATION SHALL BE 2 HOURS. THE CONTRACTOR SHALL CONDUCT SUCH PRELIMINARY TESTING TO EXPEL AIR AND VERIFY THAT THERE ARE NO LEAKS IN THE PIPELINE. THE TEST SHALL BE WITNESSED BY THE ENGINEER OR OWNER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR OWNER AT LEAST 24 HOURS IN ADVANCE OF THE TIME FOR TESTING.

UNLESS SPECIFICALLY PROVIDED OTHERWISE, THE CONTRACTOR IS RESPONSIBLE TO FURNISH WATER FOR TESTING AND DISINFECTION.

WATER FROM THE CONTRACTOR'S FLUSHING AND DISINFECTION ACTIVITIES SHALL BE DISPOSED OF TO PREVENT EROSION OR FLOODING.

THE CONTRACTOR SHALL FURNISH AND INSTALL CORPORATIONS, TAPS, PIPING, AND FITTINGS AS NECESSARY TO COMPLETE THE REQUIRED FLUSHING AND TESTING FOR ACCEPTANCE. AFTER ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL CORPORATIONS, TAPS, PIPING, AND FITTINGS USED FOR FLUSHING AND TESTING. TAPS TO THE WATER MAIN SHALL BE PLUGGED WITH BRASS PLUGS.

TAPS FOR SERVICE CONNECTIONS SHALL BE COMPLETED UNDER PRESSURE. THE CORPORATION AND SERVICE LEAD SHALL BE VISUALLY CHECKED FOR LEAKAGE WHILE UNDER PRESSURE. ALL JOINTS SHALL REMAIN EXPOSED UNTIL THE ENGINEER HAS OBSERVED THEM.

## STORM SEWER CONSTRUCTION NOTES

DRAINAGE STRUCTURES SHALL BE CONSTRUCTED FROM PRECAST CONCRETE MANHOLE SECTIONS MEETING ASTM C478.

SUMPS IN DRAINAGE STRUCTURES AND PIPELINES SHALL BE FREE OF SEDIMENT AND DEBRIS AT THE TIME OF ACCEPTANCE BY THE OWNER.

## UNION TOWNSHIP UTILITY CONSTRUCTION NOTES

ANY WATER MAIN AND SEWER MAIN MEETING REQUIREMENTS APPLICABLE TO PUBLIC WATER MAINS AND SEWER MAINS WHICH SERVICES TWO OR MORE SEPARATE BUILDINGS OR DWELLINGS SHALL BE DEEMED A PUBLIC WATER MAIN/ SEWER MAIN UNLESS THE BUILDINGS ARE PART OF A SINGLY-OWNED INDUSTRIAL OR COMMERCIAL COMPLEX OR A PUBLIC COMPLEX WHERE FUTURE DIVISION OF OWNERSHIP IS NOT ANTICIPATED, AND THE EXTENSION OF THE SYSTEM WILL NOT BE REQUIRED BY THE TOWNSHIP.

THE BUILDING IS TO BE OWNED BY THE SINGLE ENTITY, MID MICHIGAN COLLEGE. ONE WATER METER IS PROPOSED FOR BOTH THE DOMESTIC WATER SERVICE LINE AND THE FIRE SUPPRESSION LINE.

ALL DESIGN STANDARDS SHALL COMPLY WITH THE CURRENT STANDARDS ADOPTED BY CHARTER TOWNSHIP OF UNION.

## UTILITY CONTACT LIST

THE EXISTING UTILITIES LISTED BELOW AND SHOWN ON THESE PLANS REPRESENT THE BEST INFORMATION AVAILABLE AS OBTAINED FROM THEIR OWNERS. THIS INFORMATION DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO BE SATISFIED AS TO ITS ACCURACY AND THE LOCATION OF EXISTING UTILITIES.

AGENCY	UTILITY
CHARTER COMMUNICATIONS MELISSA WESTON (800) 778-9140 AGT_COMM@RTH.COM	CABLE TV
CONSUMERS ENERGY ERICA A. BAUMANN (800) 778-9140 ERICA.BAUMANN@CMSENERGY.COM	ELECTRIC
CONSUMERS ENERGY BENJAMIN LEWIS (989) 791-5918 BENJAMIN.LEWIS@CMSENERGY.COM	GAS
CONSUMERS ENERGY KEVIN L. COURTURIER (989) 574-7538 KEVIN.COURTURIER@CMSENERGY.COM	GAS
FRONTIER/ VERIZON SANIYA HASHMI (989) 871-5101 SANIYA.HASHMI6466@PEARCE-SERVICES.COM	TELEPHONE
UNION CHARTER TOWNSHIP 2010 S LINCOLN ROAD MT. PLEASANT, MI 48858 KIM SMITH (989) 772-4600 EXT: 224 KSMITH@UNIONTOWNSHIPMI.COM	POTABLE WATER SANITARY SEWER
WINN TELECOM 402 N. MISSION STREET, SUITE 1 MT PLEASANT, MI 48858 MONTIE SMITH (989) 289-8455 MSMITH@WINNTEL.COM	FIBER OPTICS
ISABELLA COUNTY ROAD COMMISSION 2261 E REMUS ROAD MT PLEASANT, MI 48858 PAT GAFFNEY (989) 873-7131 PGAFFNEY@ISABELLARoads.COM	ROADS

Sheet Size -- 24x36  
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PRELIM. AND FINAL SITE REVIEW 05/27/2025  
OUTSIDE AGENCY REVIEW 04/25/2025  
PRELIM. SITE REVIEW 01/27/2025

DATE ISSUED

JFB

DRAWN BY

AJW

CHECKED BY

**HOBBS + BLACK**  
**ARCHITECTS**

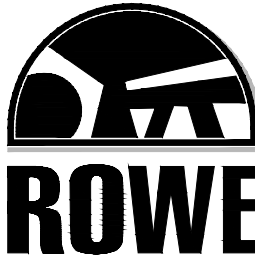
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MID MICHIGAN  
COLLEGE  
MT PLEASANT CAMPUS  
EVENT CENTER

2600 S. SUMMERTON  
MT PLEASANT, MI 48858

PROJECT



507 36th Street SE  
Grand Rapids, MI 49548  
O: (616) 272-7125  
www.roweapc.com

CONSULTANT

## NOTE SHEET

SHEET TITLE

24704

PROJECT NUMBER


C-101



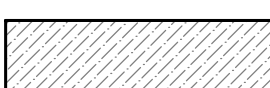


SHEET NUMBER



Know what's **below.**  
Call before you dig.

### PROPOSED HATCHING LEGEND

 REMOVE SIDEWALK

	PROPOSED PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED 4 INCH CONCRETE SIDEWALK
	PROPOSED DETECTABLE WARNING SURFACE (SIDEWALK RAMPS)
	PROPOSED PLAIN RIPRAP

## PLAN VIEW LINETYPES

CRITICAL UNDERGROUND

























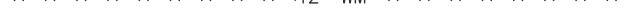



	EXISTING CENTERLINE OF DITCH
	EXISTING FENCE
	EXISTING GUARDRAIL
	EXISTING RAILROAD TRACK
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING EDGE OF WETLAND
	EXISTING SHORELINE / EDGE OF WATER
	EXISTING TOP OF BANK
	EXISTING TOE OF SLOPE
	PROPOSED DITCH CENTERLINE
	PROPOSED FENCE
	PROPOSED CONTOUR MAJOR
	PROPOSED CONTOUR MINOR
	PROPOSED SLOPE STAKE LINE
	PROPOSED SILT FENCE

TOPO CALLOUTS PLAN VIEW

<input type="text" value="ADJ"/>	<input type="text" value="ADJ"/>	ADJUST STRUCTURE
<input type="text" value="ADJ-X"/>	<input type="text" value="ADJ-X"/>	ADJUST STRUCTURE W/ NEW COVER
<input type="text" value="ADJ-B/O"/>	<input type="text" value="ADJ-B/O"/>	ADJUST STRUCTURE BY OTHERS
<input type="text" value="REC"/>	<input type="text" value="REC"/>	RECONSTRUCT STRUCTURE
<input type="text" value="REL"/>	<input type="text" value="REL"/>	RELOCATE
<input type="text" value="REL-B/O"/>	<input type="text" value="REL-B/O"/>	RELOCATE BY OTHERS
<input type="text" value="REM"/>	<input type="text" value="R"/>	REMOVE
<input type="text" value="R&amp;R"/>	<input type="text" value="R&amp;R"/>	REMOVE AND REPLACE
<input type="text" value="SALV"/>	<input type="text" value="SALV"/>	SALVAGE
<input type="text" value="SAVE"/>	<input type="text" value="S"/>	SAVE
<input type="text" value="ABN"/>	<input type="text" value="A"/>	ABANDON
<input type="text" value="CLR"/>	<input type="text" value="C"/>	CLEARING
	<input type="text" value="B"/>	BULKHEAD
	<input type="text" value="SR-X"/>	SIDEWALK RAMP TYPE
	<input type="text" value="##"/>	SOIL EROSION CONTROL MEASURE

_____ GPR CATV _____	_____ GPR CATV _____	_____ GPR CATV _____	U.G. CABLE TV LINE (GPR LOCATED)
_____ GPR ELEC _____	_____ GPR ELEC _____	_____ GPR ELEC _____	U.G. ELECTRIC LINE (GPR LOCATED)
_____ GPR FO _____	_____ GPR FO _____	_____ GPR FO _____	U.G. FIBER OPTIC LINE (GPR LOCATED)
_____ GPR GAS _____	_____ GPR GAS _____	_____ GPR GAS _____	U.G. GAS LINE (GPR LOCATED)
_____ GPR MSC _____	_____ GPR MSC _____	_____ GPR MSC _____	U.G. MISCELLANEOUS LINE (GPR LOCATED)
_____ GPR SAN _____	_____ GPR SAN _____	_____ GPR SAN _____	U.G. SANITARY SEWER LINE (GPR LOCATED)
_____ GPR STM _____	_____ GPR STM _____	_____ GPR STM _____	U.G. STORM SEWER LINE (GPR LOCATED)
_____ GPR TELE _____	_____ GPR TELE _____	_____ GPR TELE _____	U.G. TELEPHONE LINE (GPR LOCATED)
_____ GPR UNK _____	_____ GPR UNK _____	_____ GPR UNK _____	U.G. UNKNOWN LINE (GPR LOCATED)
_____ GPR WTR _____	_____ GPR WTR _____	_____ GPR WTR _____	U.G. WATER LINE (GPR LOCATED)











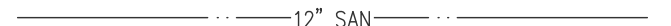






## STORM SEWER

	EXISTING FIRE HYDRANT		EXISTING WATER FAUCET/SPIGOT
	EXISTING WATER GATE VALVE AND BOX		EXISTING WATER MANHOLE
	EXISTING WATER STOP BOX		EXISTING WATER VALVE
	EXISTING WATER GATE VALVE AND WELL		EXISTING WATER POST VALVE
	EXISTING WATER METER PIT		EXISTING WATER AIR RELEASE VALVE
	EXISTING WATER WELL		EXISTING WATER MARKER POST
	EXISTING SPRINKLER HEAD		PROPOSED FIRE HYDRANT
	EXISTING POST HYDRANT		PROPOSED WATER GATE VALVE AND BOX
	EXISTING WATER BACK FLOW PREVENTER		PROPOSED WATER GATE VALVE AND BOX
	EXISTING WATER TOWER		PROPOSED WATER GATE VALVE AND BOX
	EXISTING SPRINKLER VALVE		PROPOSED WATER MAIN REDUCER
	EXISTING WATER METER		PROPOSED WATER MAIN SLEEVE
		12" WM	
		12" SM	
		PROPOSED WATER MAIN	
		PROPOSED SEWER MAIN	











□	EXISTING CURB INLET	☐	PROPOSED CATCH BASIN IN CURB LINE (5' DIA AND SMALLER)
■	EXISTING SQUARE CATCHBASIN	⬢	PROPOSED CATCH BASIN IN CURB LINE (6' DIA AND LARGER)
■	EXISTING ROUND CATCHBASIN	●	PROPOSED CATCH BASIN IN GREEN SPACE (5' DIA AND SMALLER)
•	EXISTING DOWNSPOUT	⦿	PROPOSED CATCH BASIN IN GREEN SPACE (6' DIA AND LARGER)
•	EXISTING STORM SEWER CLEANOUT	●	PROPOSED STORM MANHOLE (5' DIA AND SMALLER)
○	EXISTING STORM MANHOLE	⦿	PROPOSED STORM MANHOLE (6' DIA AND LARGER)
	EXISTING PIPE INLET/OUTLET	▶	PROPOSED CULVERT END SECTION
•	EXISTING STORM MARKER POST	◊	PROPOSED STORM SEWER CLEANOUT

EXISTING STORM SEWER STRUCTURE NUMBER		<b>1</b>	PROPOSED STORM SEWER STRUCTURE NUMBER
----- 12" STM -----			EXISTING STORM SEWER
===== 12" CONC =====			EXISTING DRIVE/CROSS CULVERT
x-x-x-x-x-x-x-12" STM-x-x-x-x-x-x-x-			REMOVE STORM SEWER
~::~::~::12" STM~::~::~:			ABANDON STORM SEWER
-----			PROPOSED STORM SEWER LESS THAN 24"
=====			PROPOSED STORM SEWER 24" AND GREATER

## SANITARY SEWER

	EXISTING SANITARY MANHOLE		EXISTING SANITARY SEWER CLEANOUT/RISER
	EXISTING SANITARY PUMP STATION		EXISTING SANITARY MARKER POST
	EXISTING SANITARY SEWER VALVE		PROPOSED SANITARY SEWER MANHOLE
	EXISTING SEPTIC TANK		PROPOSED SANITARY SEWER CLEANOUT
	EXISTING SANITARY SEWER STRUCTURE NUMBER		PROPOSED SANITARY SEWER STRUCTURE NUMBER
		EXISTING SANITARY SEWER	
		REMOVE SANITARY SEWER	
		ABANDON SANITARY SEWER	
		EXISTING SANITARY FORCE MAIN	
		REMOVE SANITARY FORCE MAIN	
		ABANDON SANITARY FORCE MAIN	
		PROPOSED SANITARY SEWER	

## TREES & SHRUBS

	STUMP		CONIFEROUS TREE
	DECIDUOUS TREE		CONIFEROUS SHRUB
	DECIDUOUS SHRUB		DEAD TREE
		EXISTING EDGE OF WOODS	
		EXISTING EDGE OF BRUSH	
		PROPOSED EDGE OF WOODS	
		PROPOSED EDGE OF BRUSH	
















## MISCELLANEOUS TOPO

	TRAVERSE POINT		FOUND MONUMENT
	BENCHMARK		SECTION & 1/4 CORNER
	ALIGNMENT POINT		1/8 & 1/16 CORNER
	SET IRON		NGS & USGS MONUMENT
	FOUND IRON		
<hr style="border-top: 1px dashed black;"/>		SECTION LINE	
<hr style="border-top: 1px solid black;"/>		EXISTING PROPERTY LINE (APPROX)	
<hr style="border-top: 1px solid black;"/>		PARCEL LINE / LOT LINE	
<hr style="border-top: 1px dashed black;"/>		EXISTING EASEMENT LINE	
<hr style="border-top: 1px solid black;"/>		EXISTING RIGHT OF WAY	
<hr style="border-top: 1px dashed black;"/>		PROPOSED EASEMENT	
<hr style="border-top: 1px solid black;"/>		PROPOSED RIGHT OF WAY	
<hr style="border-top: 1px solid black;"/>		PROJECT CONTROL LINE	









  

<u>MISCELLANEOUS TOPO</u>			
	SATELLITE DISH		TRASH CAN
	ANTENNA		PICNIC TABLE
	COLUMN		PARK BENCH
	FLOOD LIGHT		BBQ GRILL
	FOUNTAIN		DUMPSTER
	STATUE/SCULPTURE		BIKE RACK
	GRAVE MARKER		AIR CONDITIONING UNIT
	PLANTER BOX		PAY PHONE/BOOTH
	ROCK		SOIL BORING
	MAILBOX		MONITORING WELL
	PAPER BOX		BUMPER BLOCK
	FENCE GATE		SWAMP OR WETLAND

## SIGNS, SIGNALS & POSTS

	FLAG POLE		CANTILEVERED SIGN
	ADVERTISING/BUSINESS SIGN		PEDESTRIAN SIGNAL
	POST (WOOD/METAL/CONCRETE/FENCE)		PEDESTRIAN CROSSING BUTTON
	HIGHWAY DELINEATOR POST		TRAFFIC SIGNAL
	EXISTING TRAFFIC SIGN		RAILROAD CROSSING GATE
	PARKING METER		RAILROAD CROSSING SIGNAL
	BILLBOARD		PROPOSED TRAFFIC SIGN
	CANTILEVERED TRAFFIC SIGNAL		

## PLAYGROUND EQUIPMENT

	SWING SET		VOLLEYBALL POLE
	SLIDE (STRAIGHT)		MERRY-GO-ROUND
	SLIDE (SPIRAL)		BASKETBALL HOOP POST
	MONKEY BARS (RECTANGLE)		FOOTBALL/SOCCER GOAL
	MONKEY BARS (ROUND)		

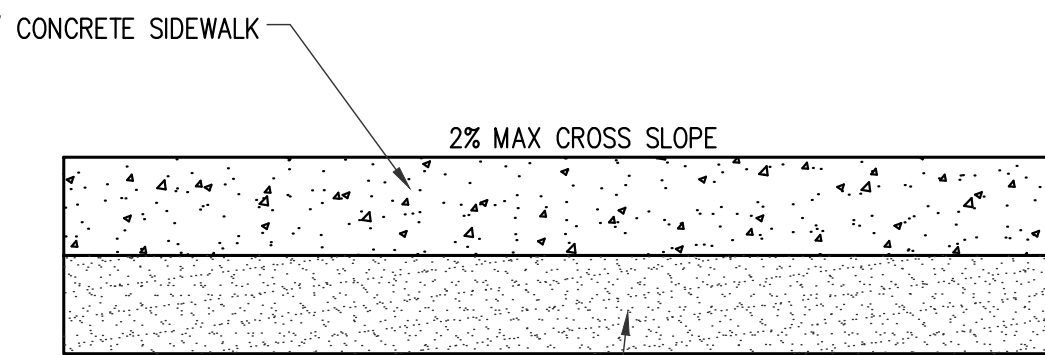
## MISCELLANEOUS UTILITIES

○	CABLE TV RISER	⌒	UTILITY HANDHOLE
○	CABLE TV MARKER POST	⌒	STRAIN POLE
□	CIRCUIT BREAKER	⌒	UTILITY/LIGHT POLE
⊖	ELECTRIC METER	<	GUY WIRE
⊖	ELECTRIC OUTLET	⊖	GUY POLE
□	ELECTRIC RISER	⊖	UTILITY POLE
□	ELECTRIC TRANSFORMER PAD	⊗	WOOD LIGHT POLE
⊗	ELECTRIC TRANSMISSION TOWER	*	METAL LIGHT POLE
○	ELECTRIC MANHOLE	⊖	ORNAMENTAL LIGHT POLE
○	ELECTRIC MARKER POST	⊖	POLE BOX
□	TELEPHONE RISER	□	TRAFFIC CONTROL BOX
○	TELEPHONE MANHOLE	⊗	ELECTRIC VEHICLE CHARGING STATION
○	TELEPHONE MARKER POST	○	EXISTING MISCELLANEOUS MANHOLE
○	FIBER OPTIC MARKER POST		

_____ O/H _____	EXISTING OVERHEAD UTILITY LINE
_____ U/G ELEC _____	EXISTING U.G. ELECTRIC LINE
_____ U/G TEL _____	EXISTING U.G. TELEPHONE LINE
_____ U/G F/O _____	EXISTING U.G. FIBER OPTIC LINE
_____ U/G CATV _____	EXISTING U.G. CABLE TV LINE



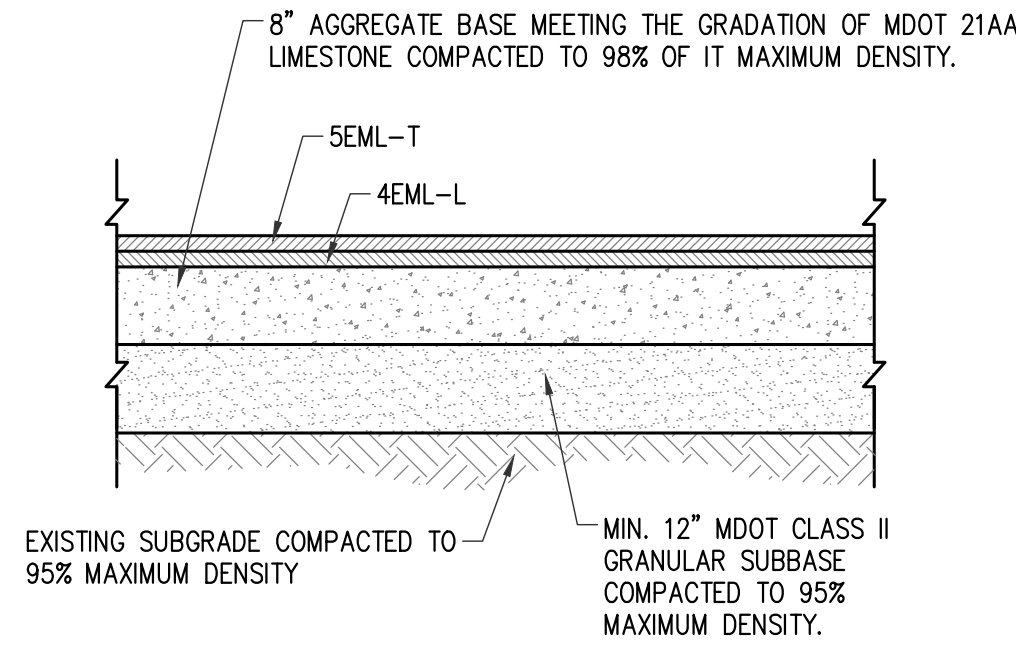
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Layout: DET 1  
Plotted by: 973jpb



4" SAND SUBBASE COMPACTED IN PLACE TO 95% MAXIMUM DENSITY BY UNIT WEIGHT

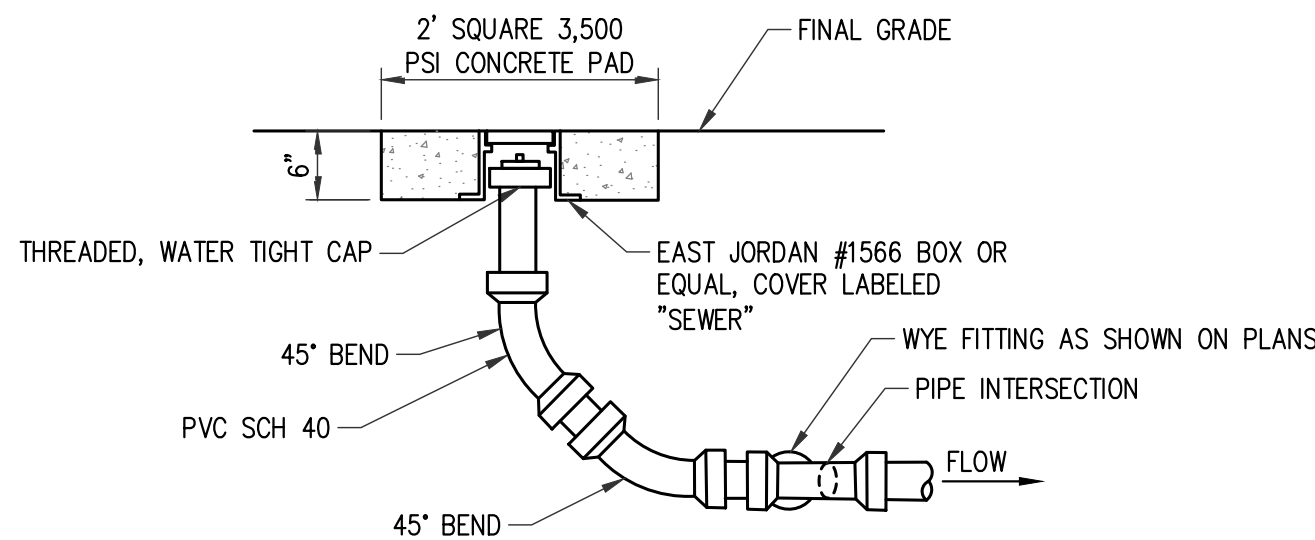
- NOTES:
- CONTRACTOR SHALL PLACE 8" NON-REINFORCED CONCRETE SIDEWALK THROUGH COMMERCIAL DRIVEWAYS

**CONCRETE SIDEWALK CROSS SECTION**  
NOT TO SCALE

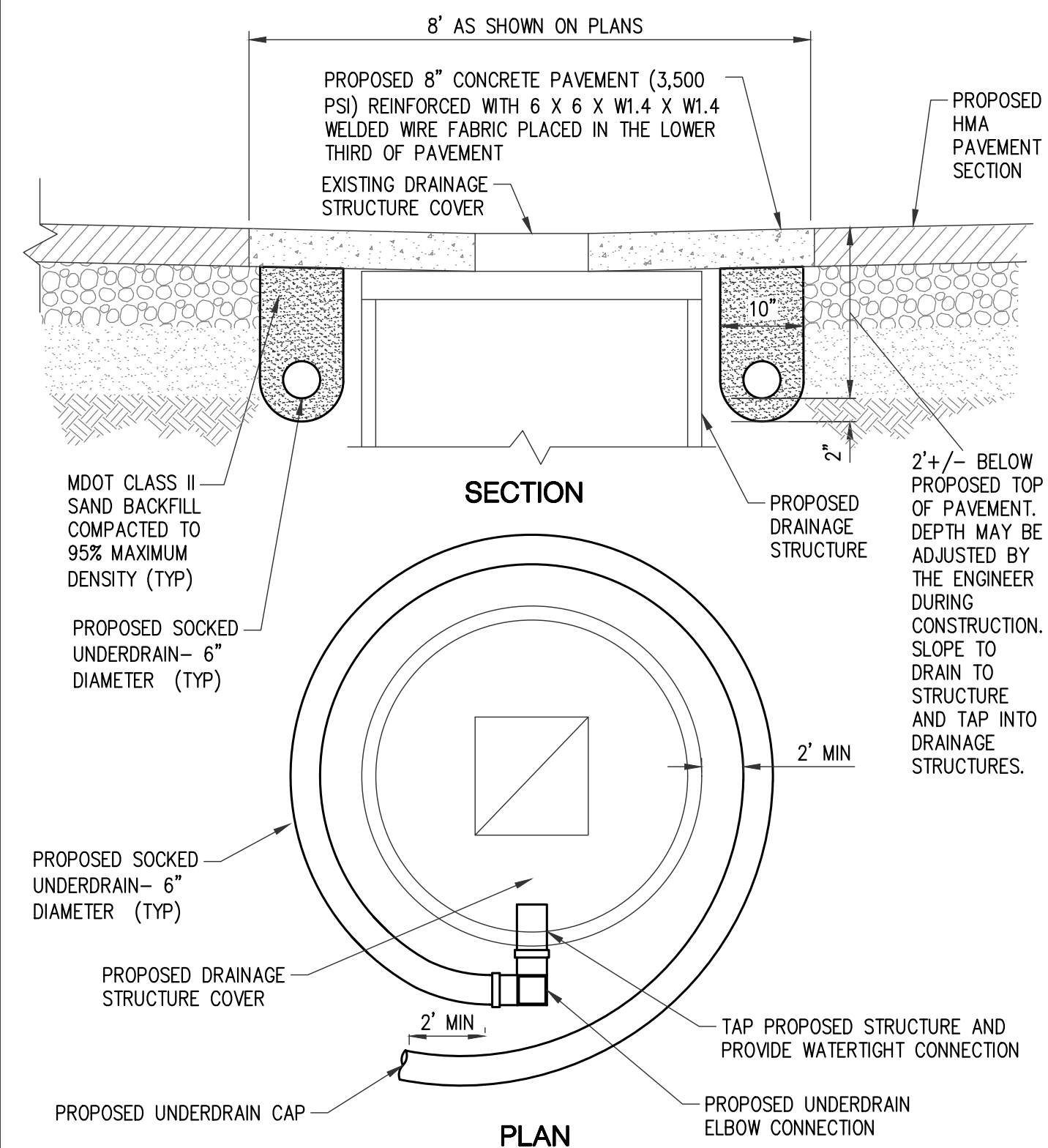


HMA APPLICATION CHART				
IDENT NO	ITEM/HMA PAVEMENT	THICKNESS	PERFORMANCE GRADE	COMMENTS
5EML-T	HMA, 5EML	1.5"	64-28	TOP COURSE
4EML-L	HMA, 4EML	2.5"	64-28	LEVELING COURSE
RAP SHALL BE LIMITED TO TIER 1 DESIGN (17% MAX RAP BY BINDER WEIGHT)				
BOND COAT RATE SHALL BE 0.05 TO 0.15 GAL/SYD				
TOP COURSE AGG. WEAR INDEX (AWI) EL = 220 MIN				

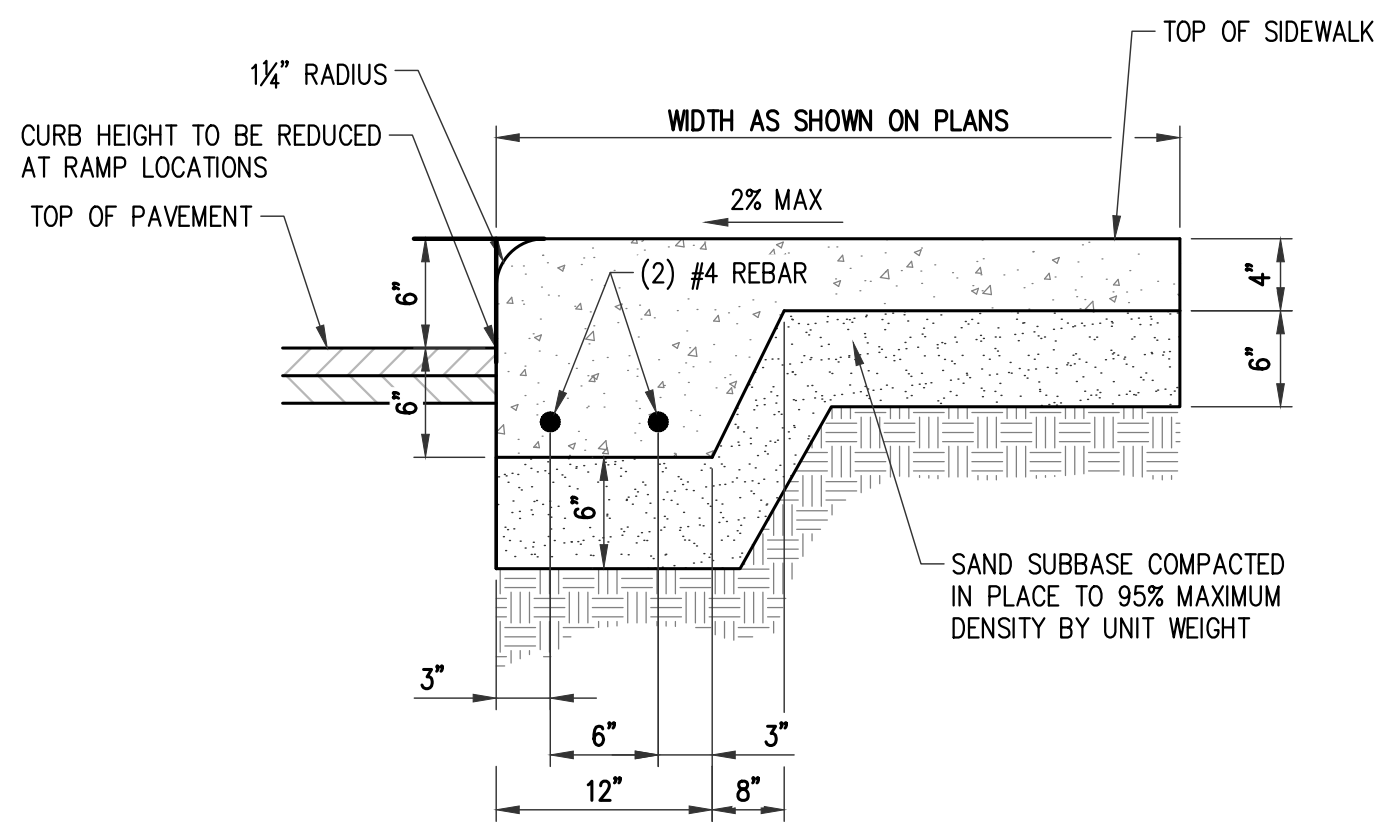
**HMA PAVEMENT CROSS SECTION**  
NOT TO SCALE



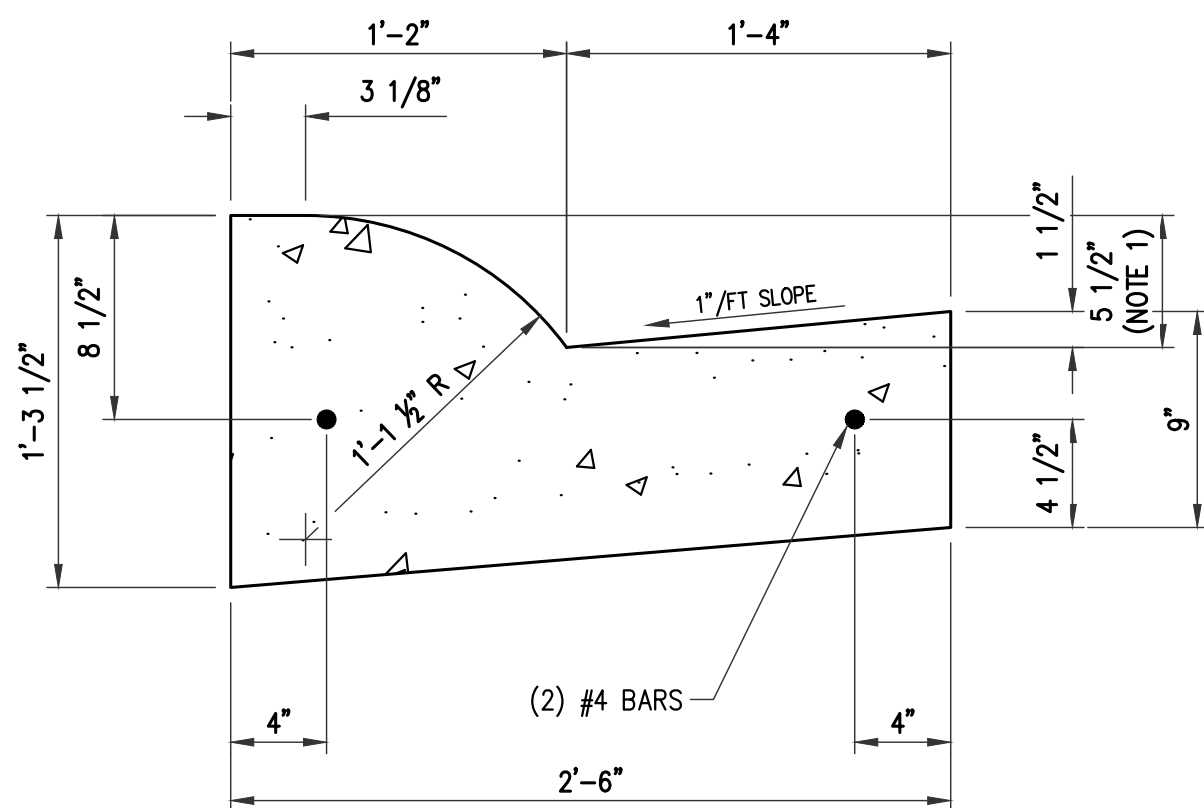
**CLEANOUT RISER DETAIL**  
NOT TO SCALE



**MANHOLE UNDERDRAIN WRAPPING DETAIL**  
NOT TO SCALE

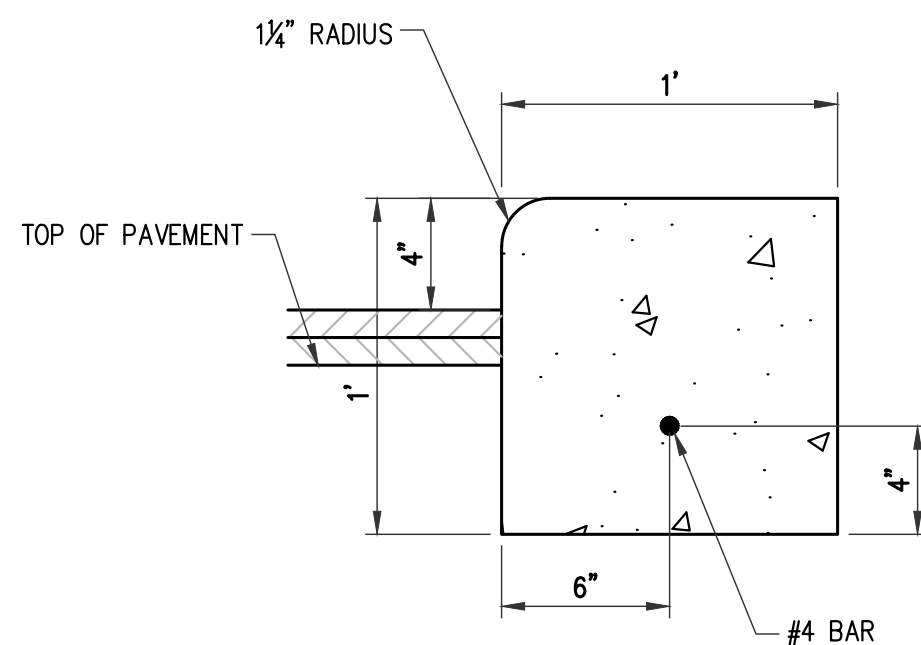


**RAISED EDGE SIDEWALK DETAIL**  
NOT TO SCALE



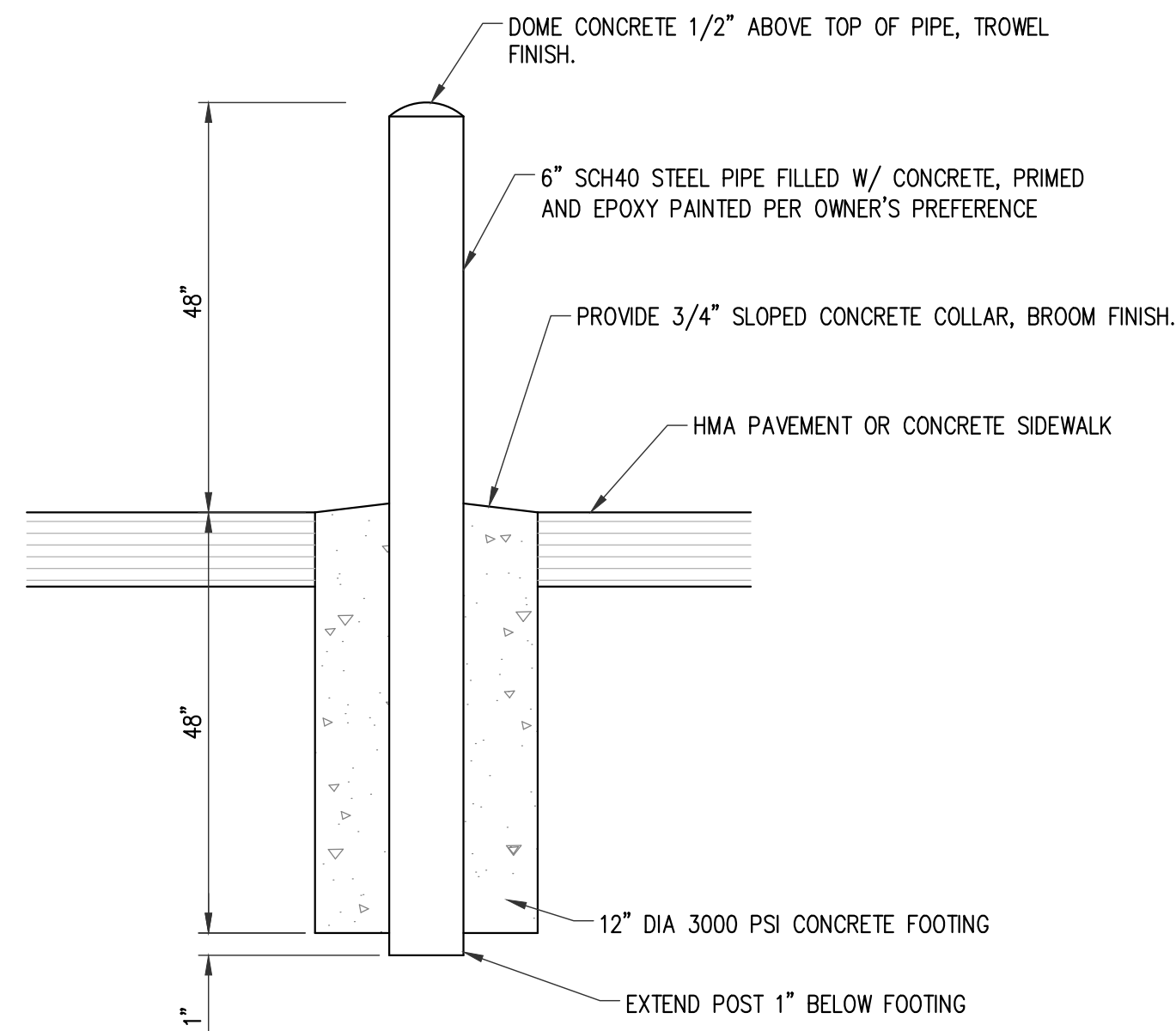
- NOTES:
- REDUCE HEIGHT TO 0.5" FOR LOW BACK CURB (DD).
  - CURB AND GUTTER TO BE PLACED ON A MIN 3" MDOT 21AA AGGREGATE BASE COMPACTED TO 95% MAXIMUM DENSITY AND MIN 12" MDOT CLASS II GRANULAR SAND SUBBASE COMPACTED TO 95% MAXIMUM DENSITY.
  - CONCRETE TO HAVE 5.5-8.5% AIR ENTRAINMENT AND A MIN OF 3,500 PSI 28-DAY COMPRESSIVE STRENGTH.
  - DRILL AND EPOXY ANCHOR BARS INTO ADJACENT CURB AND GUTTER WHEN MATCHING EXISTING.

**CONCRETE CURB & GUTTER  
DETAIL B-2**  
NOT TO SCALE



- NOTES:
- CURB AND GUTTER TO BE PLACED ON A MIN 3" MDOT 21AA AGGREGATE BASE COMPACTED TO 95% MAXIMUM DENSITY AND MIN 12" MDOT CLASS II GRANULAR SAND SUBBASE COMPACTED TO 95% MAXIMUM DENSITY.
  - CONCRETE TO HAVE 5.5-8.5% AIR ENTRAINMENT AND A MIN OF 3,500 PSI 28-DAY COMPRESSIVE STRENGTH.

**CONCRETE CURB**  
NOT TO SCALE



**BOLLARD DETAIL**  
NOT TO SCALE



Know what's **below.**  
Call before you dig.





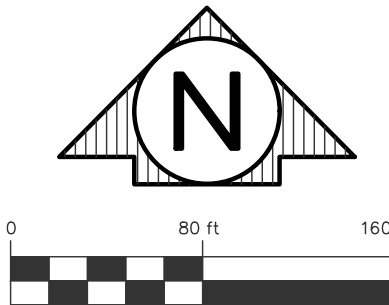
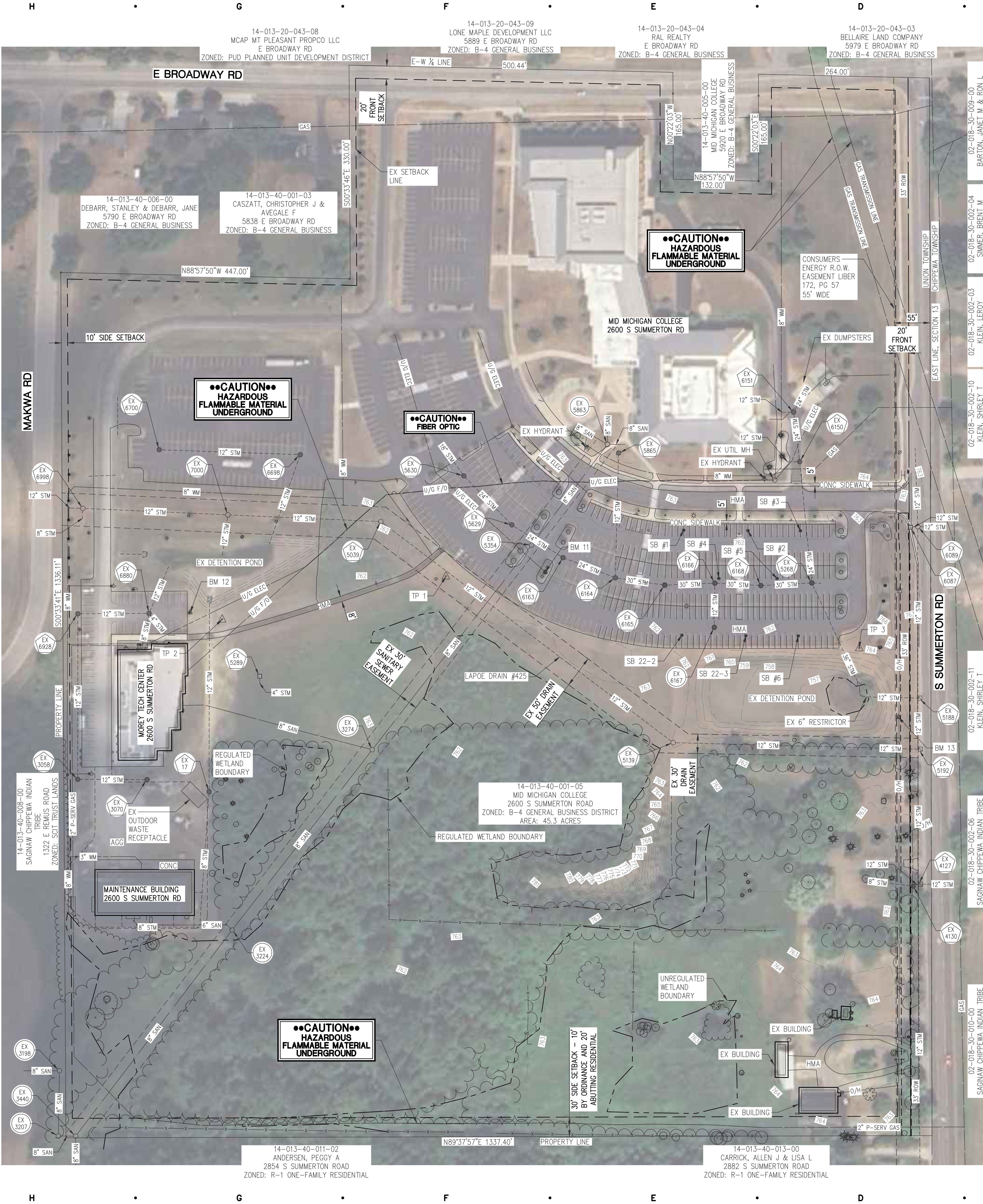








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Date: May 27, 2025, 9:18am  
Layout: SURV  
Plotted by: 973jpb



## LEGAL DESCRIPTION

COMBINED PARCEL #14-013-40-001-05  
PART OF THE EAST 1/2 OF THE SE 1/4 OF SECTION 13, T14N-R4W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN. DESCRIBED AS BEGINNING AT THE EAST 1/4 CORNER OF SAID SECTION 13; THENCE S00°08'36"E, ALONG THE EAST LINE OF SAID SECTION 13, 1633.20 FEET; THENCE S89°51'27"W, 1337.46 FEET TO THE EAST, N-S 1/8 LINE OF SAID SECTION 13; THENCE N00°20'20"W, ALONG SAID 1/8 LINE, 1336.25 FEET; THENCE S88°44'00"E, PARALLEL WITH THE EAST-WEST 1/4 LINE OF SAID SECTION 13, 447.07 FEET; THENCE N00°19'56"W, 330.00 FEET TO A POINT ON SAID 1/4 LINE; THENCE S88°44'00"E, ALONG SAID 1/4 LINE, 500.32 FEET; THENCE S00°08'36"E, PARALLEL TO THE EAST LINE OF SAID SECTION 13, 165.00 FEET; THENCE S88°44'00"E, 132.04 FEET; THENCE N00°08'36"W, 165.00 FEET TO A POINT ON SAID 1/4 LINE; THENCE S88°44'00"E, ALONG SAID 1/4 LINE, 264.08 FEET TO THE POINT OF BEGINNING. CONTAINING 46.87 ACRES OF LAND. SUBJECT TO THE USE OF THE NORTHERLY AND EASTERLY 33 FEET THEREOF AS BROADWAY ROAD AND SUMMERTON ROAD RESPECTIVELY AND ANY OTHER EASEMENTS, RESTRICTIONS OR RIGHTS OF WAY OF RECORD.

## EX STRUCTURE INVENTORY

MH# 17 TYPE: STORM COVER: BEEHIVE RIM= 762.20 12" RCP N INV.=759.20 8" PVC S INV.=759.20	MH# 3440 TYPE: SANITARY COVER: SOLID RIM= 763.33 8" PVC S INV.=749.63 8" PVC NE INV.=750.23 8" PVC NE INV.=749.73	MH# 5192 TYPE: STORM COVER: CURB INLET RIM= 763.38 12" RCP S INV.=755.68 12" RCP W INV.=755.78 12" RCP N INV.=755.78	MH# 5863 TYPE: SANITARY COVER: SOLID RIM= N/A 8" PVC E INV.=N/A 8" VCP NW INV.=N/A 8" VCP SW INV.=N/A 8" PVC N INV.=N/A	MH# 6163 TYPE: STORM COVER: FLAT GRATE RIM= 760.97 24" RCP NW INV.=756.67 24" RCP SE INV.=756.67	MH# 6698 TYPE: STORM COVER: FLAT GRATE RIM= 762.35 12" RCP W INV.=758.15 12" RCP S INV.=758.15
MH# 3058 TYPE: STORM COVER: BEEHIVE RIM= 760.95 12" RCP N INV.=757.85 12" RCP E INV.=757.85	MH# 4127 TYPE: STORM COVER: CURB INLET RIM= 763.87 12" RCP E INV.=755.57 12" RCP S INV.=755.27 12" RCP W INV.=755.57 12" RCP N INV.=755.37	MH# 5268 TYPE: STORM COVER: FLAT GRATE RIM= 760.96 24" RCP N INV.=756.16 30" RCP W INV.=756.06 36" RCP SE INV.=755.96 6" CPP E INV.=UNKNOWN	MH# 5865 TYPE: STORM COVER: BEEHIVE RIM= 762.44 8" CPP NW INV.=758.33 12" RCP N INV.=757.14 6" PV NE INV.=758.94	MH# 6164 TYPE: STORM COVER: FLAT GRATE RIM= 760.98 12" RCP N INV.=756.68 24" RCP NW INV.=756.68 30" RCP E INV.=756.68	MH# 6700 TYPE: STORM COVER: FLAT GRATE RIM= 762.19 12" RCP E INV.=758.39
MH# 3070 TYPE: STORM COVER: BEEHIVE RIM= 761.35 12" RCP W INV.=758.25	MH# 4130 TYPE: STORM COVER: BEEHIVE RIM= 761.78 8" PVC W INV.=756.58 12" RCP E INV.=756.48	MH# 5289 TYPE: STORM COVER: FLAT GRATE RIM= 761.65 4" CPP S INV.=760.85 MH# 5354 TYPE: SANITARY COVER: SOLID RIM= 761.50 8" PVC SW INV.=754.50 8" PVC NE INV.=754.60	MH# 6087 TYPE: STORM COVER: FLAT GRATE RIM= 762.25 12" RCP E INV.=758.45	MH# 6166 TYPE: STORM COVER: FLAT GRATE RIM= 760.87 30" RCP W INV.=756.37 12" RCP S INV.=756.47 30" RCP E INV.=756.37	MH# 6928 TYPE: STORM COVER: BEEHIVE RIM= 760.83 12" RCP W INV.=757.83 8" CPP SW INV.=757.83 12" RCP N INV.=757.63
MH# 3198 TYPE: SANITARY COVER: SOLID RIM= 764.10 8" PVC S INV.=750.90 8" PVC W INV.=750.90	MH# 5039 TYPE: STORM COVER: SOLID RIM= 761.30 12" RCP W INV.=756.30 12" RCP SE INV.=756.30	MH# 5629 TYPE: STORM COVER: FLAT GRATE RIM= 761.04 24" RCP NW INV.=756.74 24" RCP SE INV.=756.74	MH# 6089 TYPE: STORM COVER: SOLID RIM= 762.68 12" RCP N INV.=758.48 12" RCP S INV.=756.88 12" RCP W INV.=758.38 12" CMP E INV.=758.38	MH# 6167 TYPE: STORM COVER: FLAT GRATE RIM= 760.87 12" RCP N INV.=756.57	MH# 6998 TYPE: STORM COVER: BEEHIVE RIM= 761.82 12" RCP W INV.=757.12 8" PV S INV.=757.12 12" RCP E INV.=756.82
MH# 3207 TYPE: SANITARY COVER: SOLID RIM= 764.03 8" PVC N INV.=750.53 8" PVC E INV.=750.43	MH# 5139 TYPE: STORM COVER: SOLID RIM= 761.60 12" RCP NW INV.=755.90 12" RCP E INV.=755.90	MH# 5630 TYPE: STORM COVER: FLAT GRATE RIM= 760.99 18" RCP NW INV.=756.79 24" RCP SE INV.=756.79	MH# 6150 TYPE: STORM COVER: SOLID RIM= 763.96 24" RCP S INV.=756.46 12" RCP W INV.=757.76	MH# 6168 TYPE: STORM COVER: FLAT GRATE RIM= 760.84 30" RCP E INV.=756.04 30" RCP W INV.=756.04	MH# 7000 TYPE: STORM COVER: SOLID RIM= 760.84 12" RCP N INV.=756.50 12" RCP W INV.=756.50 12" RCP E INV.=756.50
MH# 3224 TYPE: SANITARY COVER: SOLID RIM= 763.76 8" PVC NE INV.=751.46 8" PVC SW INV.=751.36	MH# 5188 TYPE: STORM COVER: CURB INLET RIM= 763.12 12" RCP N INV.=755.72 12" RCP S INV.=755.62 12" RCP W INV.=755.72	MH# 6151 TYPE: STORM COVER: SOLID RIM= 763.19 24" RCP NE INV.=756.39 24" RCP S INV.=756.39 12" PV W INV.=758.09			
MH# 3274 TYPE: SANITARY COVER: SOLID RIM= 762.58 8" PVC SW INV.=752.68 8" PVC NE INV.=752.68 8" PVC W INV.=755.38					

## BENCHMARK DATA TABLE

NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
BM 11	766298	13027153	764.98	SET "SQUARE" MARK ON SW SIDE OF CONCRETE LIGHT POLE BASE, THIRD LIGHT POLE FROM SE END OF PARKING LOT
BM 12	766236	13026605	764.75	SET "SQUARE" MARK ON EAST SIDE OF CONCRETE LIGHT POLE BASE, EAST END OF SMALL PARKING LOT, 50'± NORTH OF NE CORNER OF BUILDING
BM 13	766074	13027699	763.78	SET SPIKE IN WEST FACE OF POWER POLE, EAST SIDE OF EXISTING DETENTION POND

## TRAVERSE POINT DATA TABLE

NUMBER	NORTHING	EASTING	DESCRIPTION
TP 1	766291.6960	13027000.2720	SET IRON W/ "ROWE TRAV" CAP, 27' SW OF PARKING LOT EDGE, 32' SE OF BIT WALK, 16' EASTERLY OF 4" TREE
TP 2	766224.9610	13026654.8100	SET IRON W/ "ROWE TRAV" CAP, 65' NE OF NE CORNER OF TECH CENTER BUILDING, 18' NORTH OF BIT WALK
TP 3	766180.7600	13027638.5860	SET IRON W/ "ROWE TRAV" CAP, SE SIDE OF PARKING LOT, S24E 69° OF LIGHT POLE, 30'± WEST OF PINE TREE

## SURVEY NOTE:

TOPOGRAPHIC SURVEY DATA FROM FIELDWORK COMPLETED IN APRIL OF 2022, PROJECT 22M0013

HORIZONTAL DATUM: MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD83 CORS2011)  
VERTICAL DATUM: NAVD88  
UNITS: INTERNATIONAL FEET

## EXISTING UTILITY NOTE

EXISTING UTILITIES HAVE NOT BEEN EXPOSED FOR VERIFICATION OF LOCATION AND ELEVATION. THE TOPOGRAPHICAL SURVEY LOCATED ALL VISIBLE SITE UTILITIES. AVAILABLE EXISTING RECORDS WERE ALSO USED. THERE ARE EXISTING PRIVATE UTILITIES ONSITE THAT WERE NOT VISIBLE. THE CONTRACTOR SHALL EXCAVATE, LOCATE, AND VERIFY DEPTH OF ANY EXISTING UTILITIES PRIOR TO CONSTRUCTION TO LOCATE UTILITIES PRIOR TO COMMENCING WORK ONSITE. IF CONFLICTS WITH PROPOSED CONSTRUCTION ITEMS ARE IDENTIFIED, THE CONTRACTOR SHALL RELOCATE THE UTILITY TO FACILITATE CONSTRUCTION.

PRELIM. AND FINAL SITE REVIEW	05/27/2025
OUTSIDE AGENCY REVIEW	04/25/2025
PRELIM. SITE REVIEW	01/27/2025

DATE ISSUED

JPB

DRAWN BY

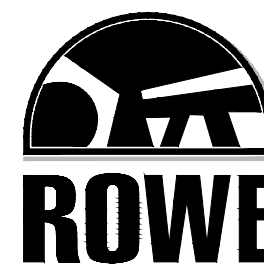
AJM

CHECKED BY

**HOBBS + BLACK**  
**ARCHITECTS**

117 E. Allegan Street  
Lansing, MI 48933  
P: 517 481 4870  
www.hobbs-black.com

MID MICHIGAN  
COLLEGE  
MT PLEASANT CAMPUS  
EVENT CENTER  
2600 S. SUMMERTON  
MT PLEASANT, MI 48858  
PROJECT



507 36th Street SE  
Grand Rapids, MI 49548  
O: (616) 272-7125  
www.roweinc.com

CONSULTANT

EXISTING  
CONDITIONS

SHEET TITLE

24704

PROJECT NUMBER

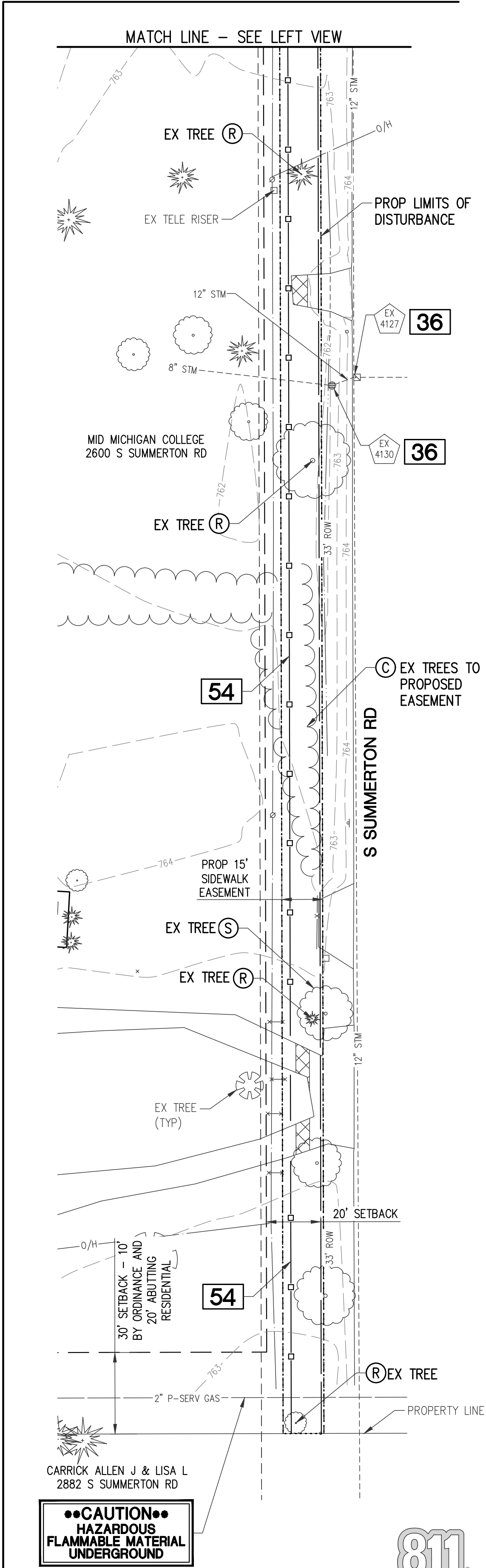
C-200

SHEET NUMBER



Know what's below.  
Call before you dig.





DEMOLITION  
PLAN

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SHEET TITLE

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24704

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PROJECT NUMBER

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C-201

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SHEET NUMBER

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Date: May 27, 2025, 9:19am Layout: DEMO Plotted by: 973jph



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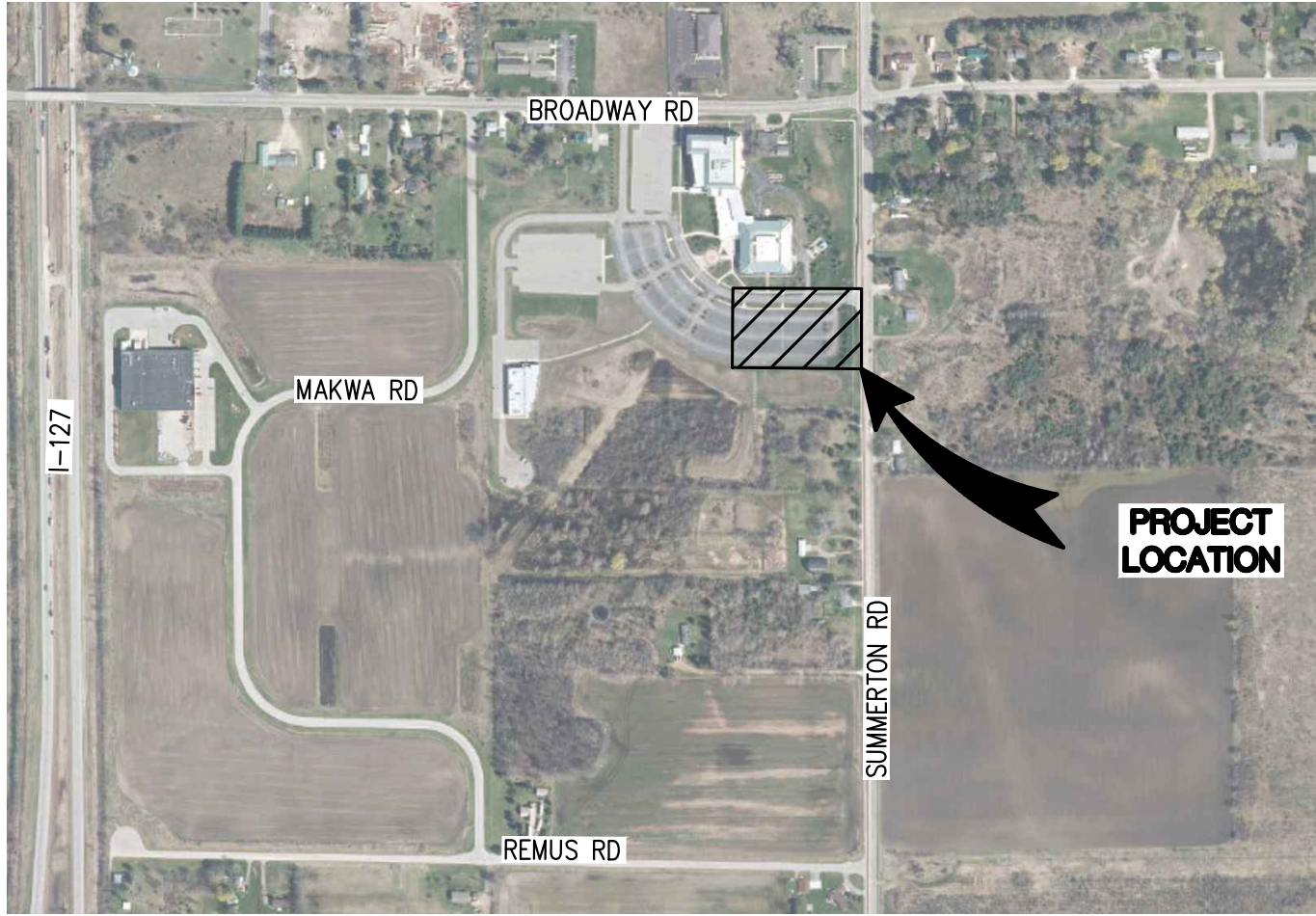
SITE PLAN DESCRIPTIVE INFORMATION

1. **APPLICANT AND PROPERTY OWNER**  
MID MICHIGAN COLLEGE  
ATTN: MATT MILLER  
1375 SOUTH CLARE AVE  
HARRISON, MI 48625  
PH. (989) 386-6600
2. **FIRM PREPARING SITE PLAN**  
ROWE PROFESSIONAL SERVICES COMPANY  
ATTN: AARON WENZEL  
127 S MAIN ST  
MT PLEASANT, MI 48858  
PH. (989) 772-2138
3. **SUBJECT PARCEL**  
MID MICHIGAN COLLEGE (TAX ID: 14-013-40-001-05)  
2600 S SUMMERTON RD  
MT PLEASANT, MI 48858  
  
SITE DIMENSIONS: SEE SHEET C-200  
GROSS LAND AREA: 45.3 ACRES  
NET LAND AREA: 36.3 ACRES (BASED ON WETLAND REPORT BY MARX WETLANDS, LLC DATED 3/30/22)  
  
LEGAL DESCRIPTION:  
PART OF THE EAST 1/2 OF THE SE 1/4 OF SECTION 13, T14N-R4W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT THE EAST 1/4 CORNER OF SAID SECTION 13; THENCE S00°08'36"E, ALONG THE EAST LINE OF SAID SECTION 13, 1633.20 FEET; THENCE S89°51'27"W, 1337.46 FEET TO THE EAST, N-S 1/8 LINE OF SAID SECTION 13; THENCE N00°20'20"W, ALONG SAID 1/8 LINE, 1336.25 FEET; THENCE S88°44'00"E, PARALLEL WITH THE EAST-WEST 1/4 LINE OF SAID SECTION 13, 447.07 FEET; THENCE N00°19'56"W, 330.00 FEET TO A POINT ON SAID 1/4 LINE; THENCE S88°44'00"E, ALONG SAID 1/4 LINE, 500.32 FEET; THENCE S00°08'36"E, PARALLEL TO THE EAST LINE OF SAID SECTION 13, 165.00 FEET; THENCE S88°44'00"E, 132.04 FEET; THENCE N00°08'36"W, 165.00 FEET TO A POINT ON SAID 1/4 LINE; THENCE S88°44'00"E, ALONG SAID 1/4 LINE, 264.08 FEET TO THE POINT OF BEGINNING, CONTAINING 46.87 ACRES OF LAND. SUBJECT TO THE USE OF THE NORTHERLY AND EASTERLY 13 FEET THEREOF AS BROADWAY ROAD AND SUMMERTON ROAD RESPECTIVELY AND ANY OTHER EASEMENTS, RESTRICTIONS OR RIGHTS OF WAY OF RECORD.  
  
PROPERTY BOUNDARY INFORMATION: SEE SHEET C-200
4. **INTENDED USE**  
APPLICANT'S INTENTIONS OF SELLING OR LEASING: THE APPLICANT DOES NOT INTEND TO SELL OR LONG-TERM LEASE THE BUILDING.  
  
APPLICANT'S INTENDED USE: SEE SHEET C-106 FOR INTENDED USE.
5. **SITE PLAN DATA AND NOTES**  
ENGINEERS SCALE: AS SHOWN ON SHEETS. ALL LESS THAN 1"=50'  
EXCEPT FOR OVERALL COMPOSITE SHEET  
VICINITY MAP: SEE MAP BELOW  
PLAN DATE: SEE TITLE BLOCK  
REVISION DATE: SEE TITLE BLOCK  
EXISTING ZONING CLASSIFICATIONS FOR SUBJECT PARCEL: GENERAL BUSINESS DISTRICT (B-4)  
EXISTING ZONING CLASSIFICATIONS FOR SURROUNDING PARCELS: SEE SHEET C-200  
SURROUNDING PARCEL INFORMATION: SEE SHEET C-200  
DIMENSIONS OF ALL PROPERTY BOUNDARIES: SEE SHEET C-200  
CALCULATIONS FOR PARKING: SEE SHEET C-106  
LOT COVERAGE: 3.2 BUILDING ACRE / 45.3 GROSS LAND ACRE = 0.07%  
TOTAL GROUND FLOOR AREA: 31,826 SFT
6. **EXISTING CONDITIONS INFORMATION**  
EXISTING SITE INFORMATION: SEE SHEET C-200  
INDICATION OF PRESERVATION OR ALTERATION OF EXISTING SITE: SEE SHEET C-200
7. **SITE PLAN DETAILS**  
DELINEATION OF REQUIRED YARDS, AND OTHER SETBACK AREAS AND OPEN SPACE: SEE SHEETS C-200 AND C-300  
IDENTIFICATION OF DEVELOPMENT LOCATION: SEE SHEET C-301  
LOCATIONS OF EASEMENTS AND RIGHT-OF-WAYS: SEE SHEET C-200 AND C-300  
PROPOSED SIGNAGE INFORMATION: SEE ARCHITECTURAL SHEETS  
SITE LIGHTING REQUIREMENTS: SEE ELECTRICAL SHEETS  
OUTDOOR SALES/DISPLAY/STORAGE LOCATIONS: NONE PROPOSED  
LOCATION OF PROPOSED OUTDOOR WASTE RECEPTACLE: UTILIZING EXISTING FACILITY AT MAINTENANCE BUILDING

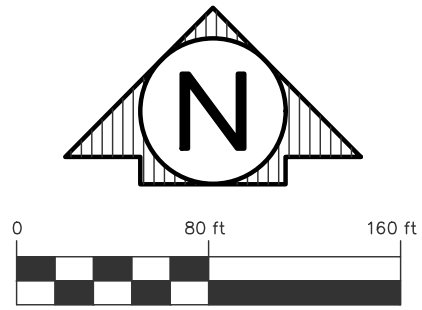
7. **BUILDING DESIGN AND ORIENTATION**  
PROPOSED BUILDING LOCATION: SEE SHEETS C-300 AND C-301  
PROPOSED BUILDING GFA: 31,826 SFT  
HEIGHT OF PROPOSED STRUCTURE: APPROX 40 FT  
EXISTING STRUCTURES: SEE SHEET C-200  
SEPARATION DISTANCES: SEE SHEET C-300  
BUILDING INFORMATION: SEE SHEETS A-101 - A-402  
FINISHED FLOOR INFORMATION: C-302, C-303, C-304
8. **ACCESS AND CIRCULATION**  
LOCATION AND LAYOUT OF ROADS AND ACCESS DRIVES: SEE SHEETS C-300 AND C-301  
LAYOUT OF PARKING LOTS AND SIDEWALKS: SEE SHEET C-301  
LOCATIONS AND LAYOUT OF VEHICLE ACCESS POINTS: SEE SHEET C-301  
LOCATIONS OF PROPOSED SIDEWALK: SEE SHEET C-301 AND DETAIL SHEET C-103  
PARKING SPACE DIMENSIONS: SEE SHEET C-301 AND DETAIL SHEET C-104  
PARKING SPACE ANGLES: SEE SHEET C-301 AND DETAIL SHEET C-104  
ISLAND DIMENSIONS: SEE SHEET C-301  
FIRE LANES: SEE SHEET C-301  
LOADING AREAS: SEE SHEETS C-300 AND C-301  
TYPICAL CROSS SECTION OF PROPOSED PAVEMENT: SEE DETAIL SHEET C-103  
SPOT ELEVATIONS: N/A FOR PRELIMINARY SITE PLAN SUBMITTAL
9. **NATURAL FEATURES AND OPEN SPACE AREAS**  
DESCRIPTION OF NATURAL FEATURES ON THE SITE AND ABUTTING SITES: SEE SHEET C-200 FOR EXISTING CONDITIONS  
DETAILS OF ALL NATURAL FEATURES AN INDICATIONS OF CHANGES: SEE SHEET C-300 AND C-201  
MAINTENANCE PLAN OF OPEN SPACE: A MAINTENANCE PLAN WAS INCLUDED IN THE SITE PLAN SUBMISSION
10. **SCREENING AND LANDSCAPING**  
GENERAL LAYOUT: SEE SHEET C-400  
PROPOSED SCREENING, FENCES AND WALLS: SEE SHEET C-301 AND ARCH DETAILS
11. **UTILITIES, STORMWATER MANAGEMENT, AND GRADING**  
GENERAL LAYOUT OF UTILITIES: SEE SHEET C-306  
DETAILS OF UTILITIES: SEE SHEET C-306 AND C-307  
LOCATION OF DETENTION PONDS: PONDS REMAIN UNCHANGED - SEE SHEET C-200 FOR EXISTING CONDITIONS  
CALCULATIONS FOR STORMWATER MANAGEMENT: SUBMITTED AND APPROVED BY TOWNSHIP ENGINEER  
LOCATION OF EXISTING AND PROPOSED PRIVATE UTILITIES: SEE SHEET C-200 AND SHEET C-306  
GENERAL AREAS OF INTENDED FILLING OR CUTTING: SEE SHEET C-302  
PROPOSED DRAINAGE PATTERNS: SEE SHEETS C-302 THROUGH C-305  
DETAILED GRADING PLAN: SEE SHEET C-302 THROUGH C-305  
LOCATION OF RETAINING WALLS: NO RETAINING WALLS ARE PROPOSED.  
SECC MEASURES: SEE SHEET C-201 AND C-306

SECTION 12.5B AND 12.5C IMPROVEMENTS TO MEET THE REQUIREMENTS OF SECTION 12.5 NONCONFORMING SITES.

1. THE MISSING SECTION OF SIDEWALK ALONG E. BROADWAY RD. WILL BE REPLACED WITHIN 1 YEAR OF SITE PLAN APPROVAL (SEE NOTE ON THIS SHEET). ADDRESSES 12.5C3
2. SIDEWALK WILL BE ADDED FROM THE PROJECT SITE TO THE SOUTHERN PROPERTY LINE ALONG SUMMERTON ROAD (SEE SHEET C-304 AND C-305). ADDRESSES 12.5B AND 12.5C3
3. THE NONCONFORMING LIGHT POLES WITHIN THE PROJECT AREA WILL BE REPLACED WITH CONFORMING LIGHT POLES (SEE SHEET E-101). ADDRESSES 12.5C8
4. THE PROPOSED PROJECT IS REPLACING AN EXISTING PARKING LOT WITH A NEW BUILDING AND LANDSCAPING AROUND IT, IMPROVING THE PROPERTY'S AESTHETICS (SEE SHEET C-301). ADDRESSES 12.5C4 AND 12.5C6



VICINITY MAP



PRELIM. AND FINAL SITE REVIEW	05/27/2025
OUTSIDE AGENCY REVIEW	04/25/2025
PRELIM. SITE REVIEW	01/27/2025

DATE ISSUED

JPB

DRAWN BY

AJW

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EVENT CENTER

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PROJECT



507 36th Street SE  
Grand Rapids, MI 49548  
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www.rowepsc.com

CONSULTANT

OVERALL  
SITE PLAN

SHEET TITLE

24704

PROJECT NUMBER

C-300

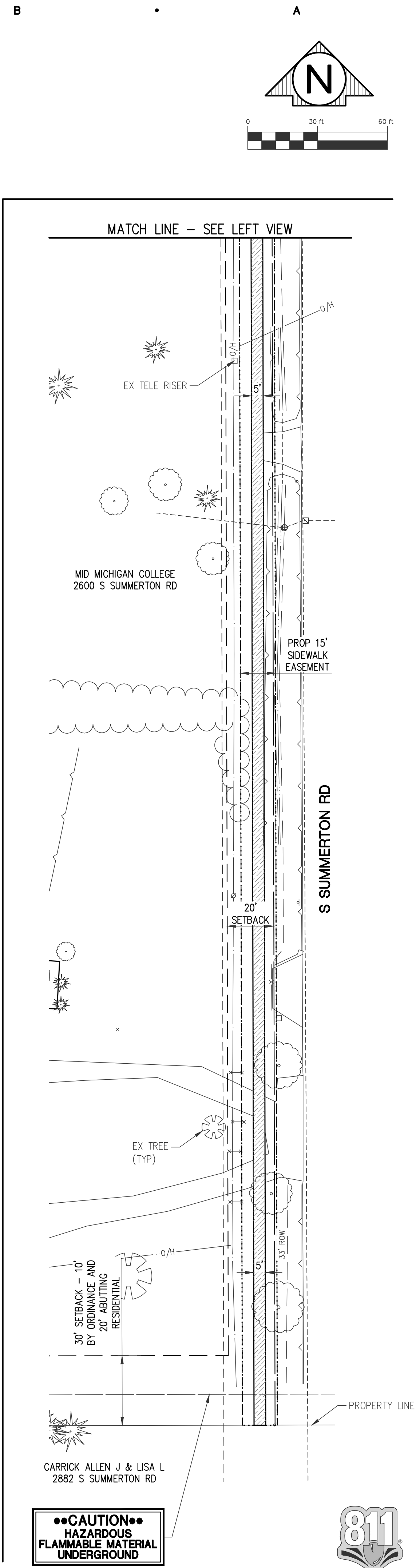
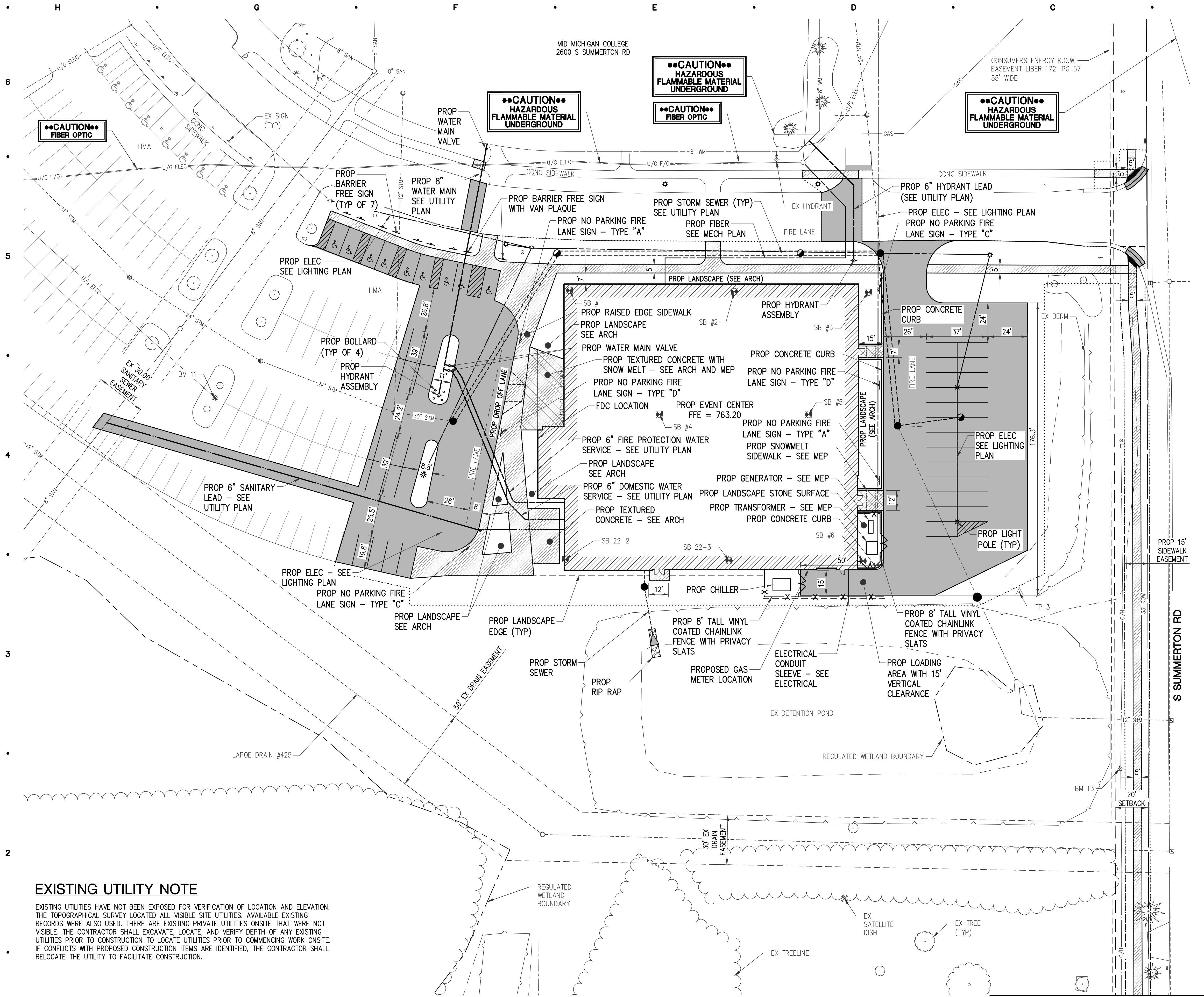
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Date: May 27, 2025 9:19am Layout: SITE Plotted by: 973jpb

EXISTING UTILITY NOTE

EXISTING UTILITIES HAVE NOT BEEN EXPOSED FOR VERIFICATION OF LOCATION AND ELEVATION. THE TOPOGRAPHICAL SURVEY LOCATED ALL VISIBLE SITE UTILITIES. AVAILABLE EXISTING RECORDS WERE ALSO USED. THERE ARE EXISTING PRIVATE UTILITIES ONSITE THAT WERE NOT VISIBLE. THE CONTRACTOR SHALL EXCAVATE, LOCATE, AND VERIFY DEPTH OF ANY EXISTING UTILITIES PRIOR TO CONSTRUCTION TO LOCATE UTILITIES PRIOR TO COMMENCING WORK ONSITE. IF CONFLICTS WITH PROPOSED CONSTRUCTION ITEMS ARE IDENTIFIED, THE CONTRACTOR SHALL RELOCATE THE UTILITY TO FACILITATE CONSTRUCTION.



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PRELIM. SITE REVIEW 01/27/2025  
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CONSULTANT

SITE PLAN

SHEET TITLE

24704

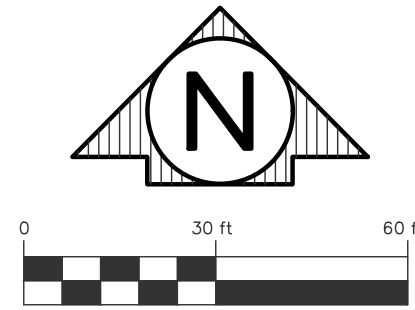
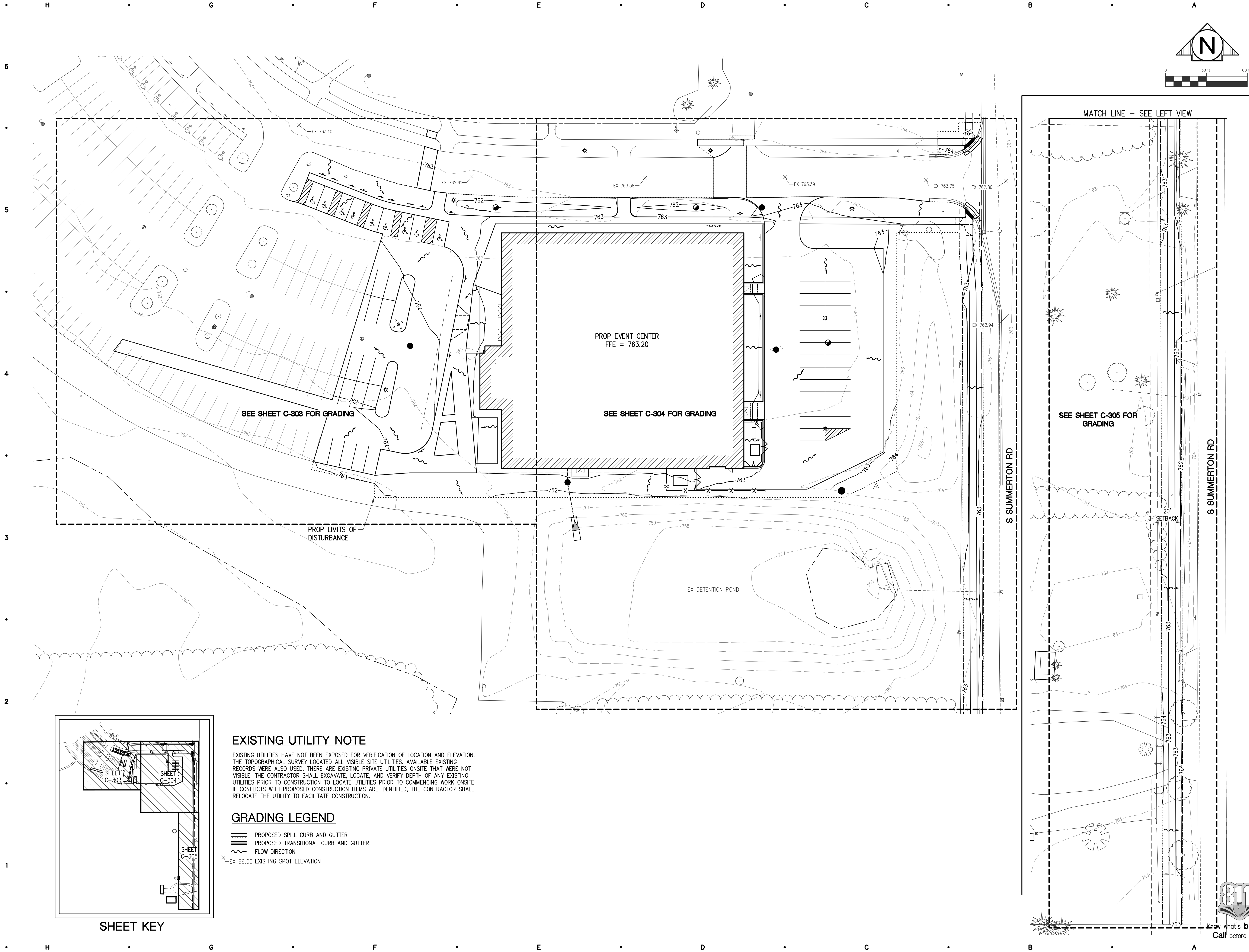
PROJECT NUMBER

C-301

SHEET NUMBER



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Date: May 27, 2025 9:10am Layout: GRAD Plotted by: 9773jpb



MATCH LINE - SEE LEFT VIEW

SEE SHEET C-305 FOR GRADING

PROP EVENT CENTER  
FFE = 763.20

SEE SHEET C-304 FOR GRADING

EX DETENTION POND

S SUMMERTON RD

S SUMMERTON RD



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PRELIM. SITE REVIEW 01/27/2025  
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CONSULTANT

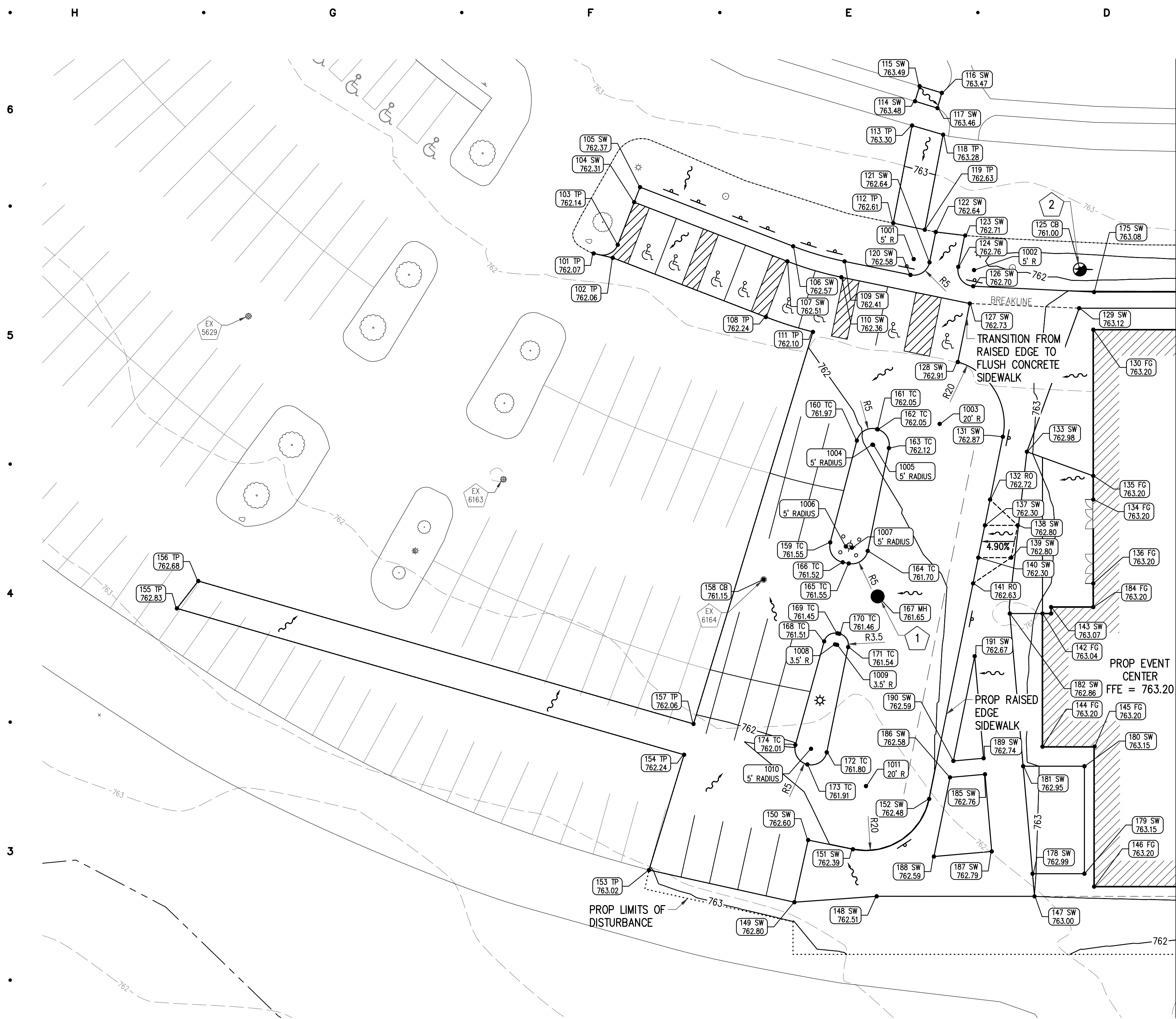
OVERALL  
GRADING PLAN

SHEET TITLE

24704  
PROJECT NUMBER

C-302  
SHEET NUMBER

Drawing: R:\Projects\24000\1\DWG\Construction Drawings\SH-24000\1 & GRAD.dwg  
Date: May 27, 2025 9:10am Layout: GRAD 1 Plotted by: B73jfb



GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
101	TP=762.07	ME	766390.29	13027209.15
102	TP=762.06	ME	766388.92	13027215.07
103	TP=762.14		766392.97	13027216.62
104	SW=762.31	TP	766406.17	13027221.73
105	SW=762.37		766410.84	13027223.53
106	SW=762.57	PC	766392.50	13027271.02
107	SW=762.51	TP, PC	766387.84	13027269.21
108	TP=762.24	ME	766370.58	13027262.55
109	SW=762.41	PC	766387.83	13027286.94
110	SW=762.36	TP, PC	766382.93	13027285.94
111	TP=762.10	ME	766365.96	13027277.14
112	TP=762.61	ME	766399.69	13027302.04
113	TP=763.30	ME	766429.94	13027307.87
114	SW=763.48	ME	766437.47	13027308.78
115	SW=763.49	ME	766442.16	13027310.22
116	SW=763.47	ME	766440.05	13027317.11
117	SW=763.46	ME	766435.33	13027315.74
118	TP=763.28	ME	766427.11	13027317.50
119	TP=762.63	ME	766397.63	13027311.82
120	SW=762.58	PC	766383.63	13027307.38
121	SW=762.64	PC	766387.53	13027313.28
122	SW=762.64	TP, ME	766396.93	13027315.21
123	SW=762.71	TP, ME	766395.84	13027324.34
124	SW=762.76	PC	766386.12	13027322.18
125	CB=761.00		766385.53	13027359.92
126	SW=762.70	PC	766380.12	13027326.84
127	SW=762.73	TP	766374.76	13027325.77
128	SW=762.91		766356.63	13027322.05
129	SW=763.12		766373.31	13027359.66
130	FG=763.20		766366.65	13027364.06
131	SW=762.87		766333.45	13027336.02
132	RO=762.72	SW	766313.98	13027332.06
133	SW=762.98		766328.81	13027343.47
134	FG=763.20	SW	766313.98	13027364.06
135	FG=763.20	SW	766321.31	13027364.06
136	FG=763.20	SW	766287.98	13027364.06
137	SW=762.30	TP	766305.98	13027330.43
138	SW=762.80		766305.98	13027340.63
139	SW=762.80		766295.98	13027338.60
140	SW=762.30	TP	766295.98	13027328.40
141	RO=762.63	SW	766287.98	13027326.77
142	FG=763.04		766278.65	13027348.31
143	SW=763.07	SW	766280.65	13027350.97
144	FG=763.20		766237.38	13027348.31
145	FG=763.20	SW	766237.42	13027364.46
146	FG=763.20	SW	766193.98	13027364.31
147	SW=763.00		766190.97	13027345.84
148	SW=762.51		766190.98	13027296.90
149	SW=762.80		766189.15	13027271.40
150	SW=762.60		766208.42	13027275.65
151	SW=762.39		766205.56	13027289.54
153	TP=763.02	ME	766199.11	13027226.32
154	TP=762.24	ME	766234.86	13027237.21
155	TP=762.83	ME	766280.24	13027079.97
156	TP=762.68	ME	766288.74	13027086.59
157	TP=762.06	ME	766244.43	13027240.12
158	CB=761.15		766289.19	13027261.85
159	TC=761.55	PC	766300.70	13027282.51
160	TC=761.97	PC	766332.27	13027290.76
161	TC=762.05	PC	766335.79	13027297.04

### GRADING LEGEND

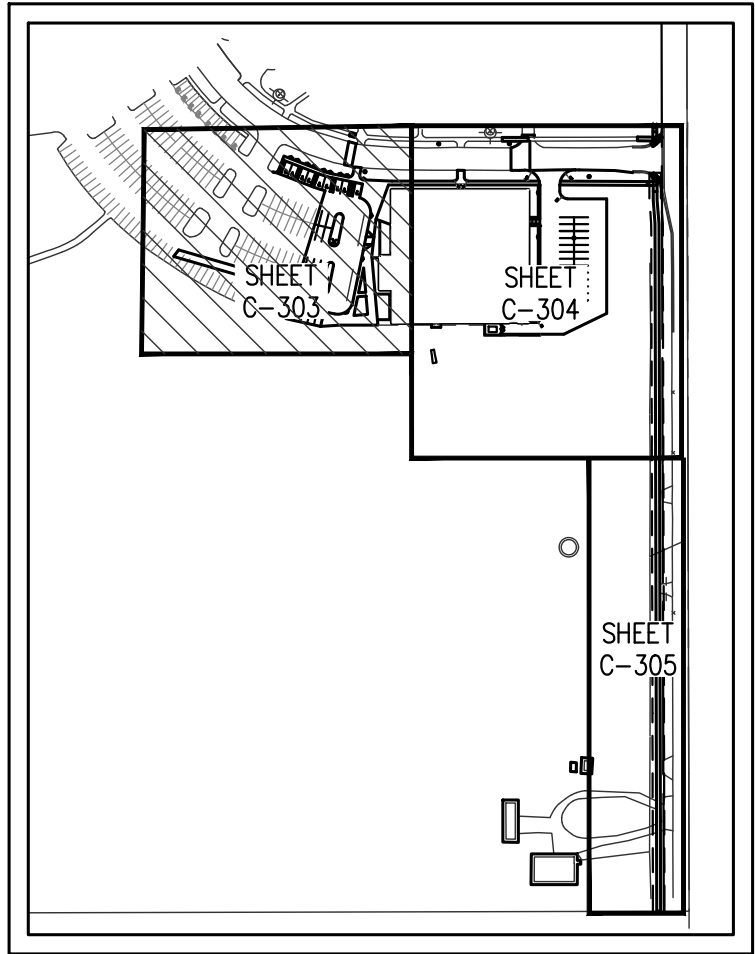
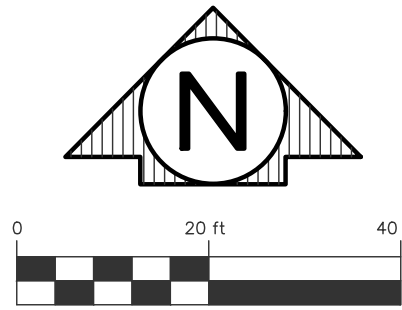
- CB - CATCH BASIN
- FF - FINISH FLOOR ELEVATION
- PC - POINT OF CURVATURE
- RO - RAMP OPENING
- SW - TOP OF SIDEWALK
- TC - TOP OF CURB
- TP - TOP OF PAVEMENT
- MH - MANHOLE RIM ELEVATION
- PROPOSED SPILL CURB AND GUTTER
- PROPOSED TRANSITIONAL CURB AND GUTTER
- FLOW DIRECTION

### EXISTING UTILITY NOTE

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GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
162	TC=762.05	PC	766335.73	13027297.23
163	TC=762.12	PC	766329.93	13027300.69
164	TC=761.70	PC	766298.06	13027294.12
165	TC=761.55	PC	766294.16	13027288.26
166	TC=761.52	PC	766294.53	13027286.38
167	MH=761.65		766283.94	13027297.18
168	TC=761.51	PC	766270.02	13027280.62
169	TC=761.45	PC	766272.51	13027284.70
170	TC=761.46	PC	766272.38	13027285.33
171	TC=761.54	PC	766268.25	13027288.06
172	TC=761.80	PC	766235.61	13027281.43
173	TC=761.91	PC	766231.85	13027275.40
174	TC=762.01	PC	766237.91	13027271.70
175	SW=763.08		766378.31	13027364.31
178	SW=762.99		766197.98	13027345.22
179	SW=763.15		766197.98	13027361.31
180	SW=763.15		766231.31	13027361.31
181	SW=762.95		766231.31	13027342.31
182	SW=762.86		766278.65	13027338.17
183	FG=763.07	SW	766278.65	13027350.97
184	FG=763.20	SW	766280.65	13027364.06
185	SW=762.76		766228.80	13027330.48
186	SW=762.58		766227.85	13027319.64
187	SW=762.79		766204.89	13027332.57
188	SW=762.59		766203.32	13027314.65
189	SW=762.74		766233.78	13027330.05
190	SW=762.59		766232.96	13027320.68
191	SW=762.67		766265.41	13027327.28

RADIUS POINTS			
POINT	DESCRIPTION	NORTHING	EASTING
1001	5' RADIUS	766388.53	13027308.38
1002	5' RADIUS	766385.12	13027327.08
1003	20' RADIUS	766337.44	13027316.42
1004	5' RADIUS	766331.00	13027295.59
1005	5' RADIUS	766330.94	13027285.79
1006	5' RADIUS	766299.44	13027287.35
1007	5' RADIUS	766299.07	13027289.23
1008	3.5' RADIUS	766269.08	13027283.99
1009	3.5' RADIUS	766268.95	13027284.63
1010	5' RADIUS	766236.71	13027276.55
1011	20' RADIUS	766225.15	13027293.58



SHEET KEY



PRELIM. AND FINAL SITE REVIEW 05/27/2025  
OUTSIDE AGENCY REVIEW 04/25/2025

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MT PLEASANT, MI 48858  
PROJECT



CONSULTANT

DETAIL  
GRADING  
PLAN

SHEET TITLE

24704

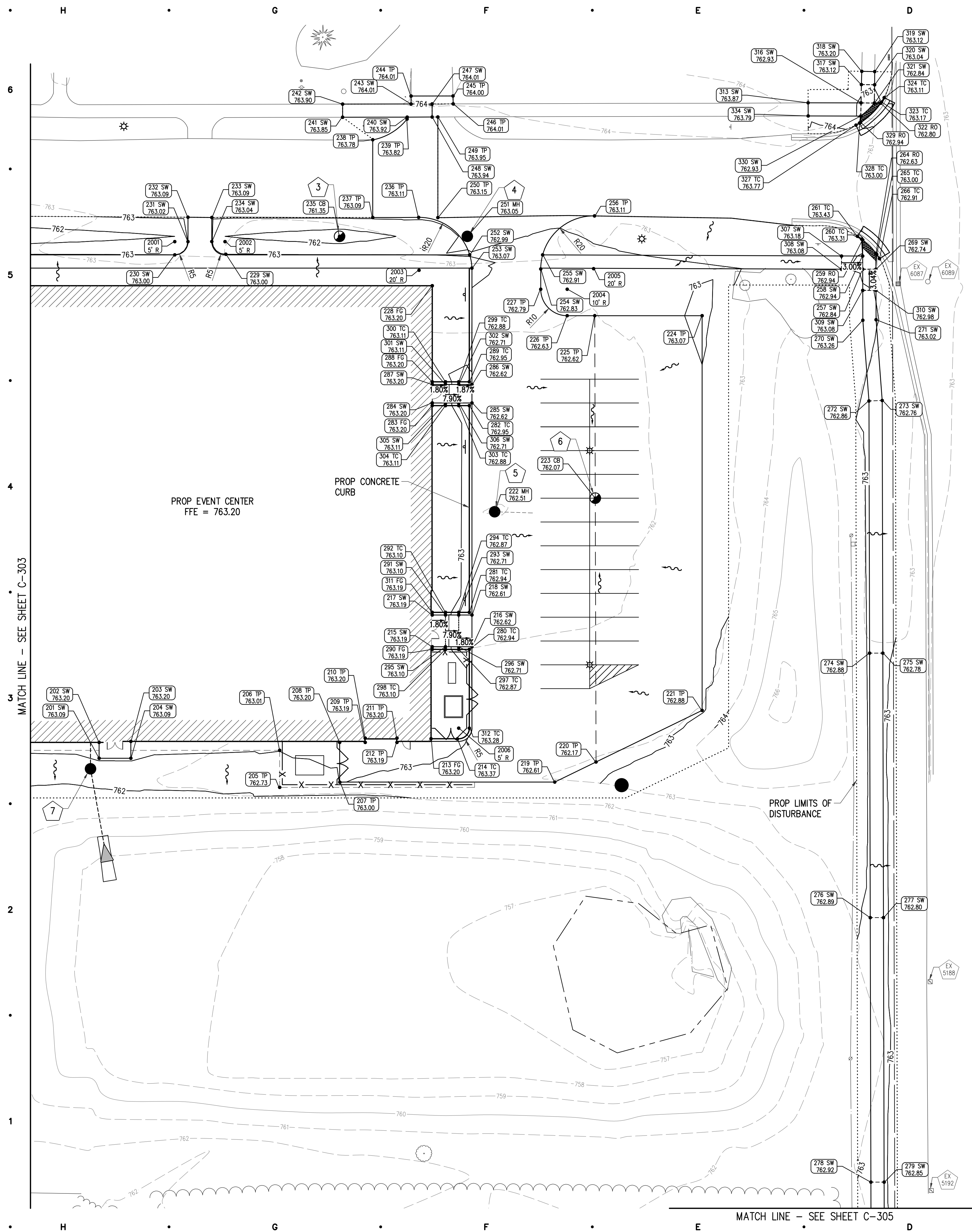
PROJECT NUMBER

C-303

SHEET NUMBER



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Date: May 27, 2025 9:10am Layout: GRAD 2 Plotted by: 873jfb



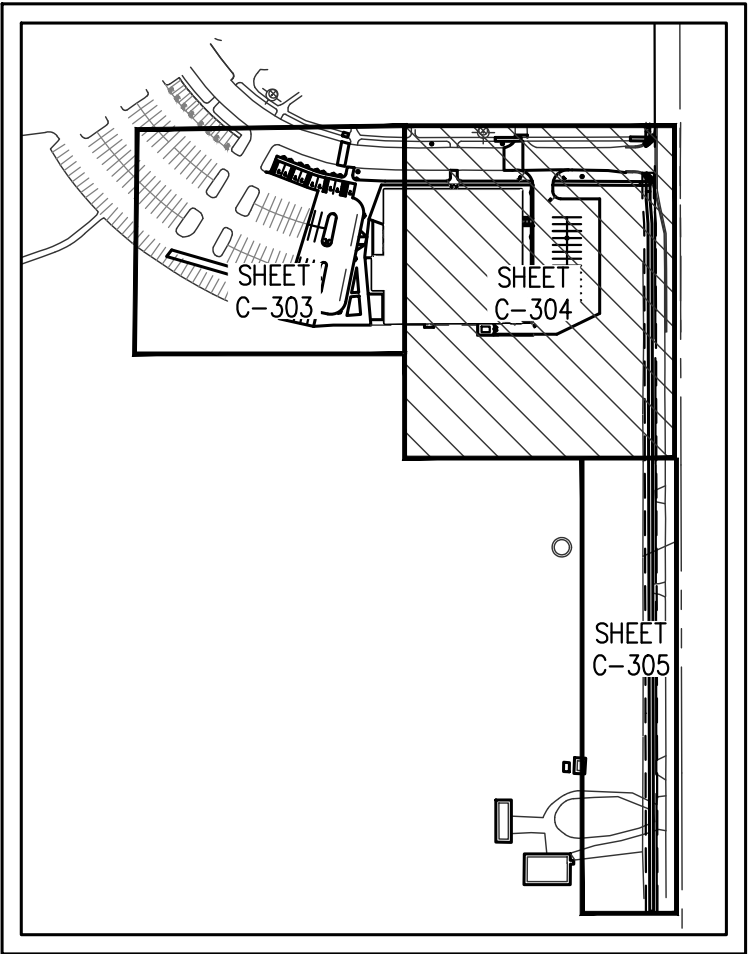
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202	SW=763.20	FF	766193.98	13027415.72
203	SW=763.20	FF	766194.35	13027427.72
204	SW=763.09		766187.98	13027427.72
205	TP=762.73		766176.98	13027483.97
206	TP=763.01		766190.98	13027483.97
207	TP=763.00		766178.92	13027506.71
208	TP=763.20		766193.98	13027506.64
209	TP=763.19		766193.98	13027516.31
210	TP=763.20		766195.59	13027516.31
211	TP=763.20		766195.59	13027528.31
212	TP=763.19		766193.98	13027528.31
213	FG=763.20	TP	766195.35	13027541.18
214	TC=763.37	TP	766195.28	13027551.12
215	SW=763.19		766230.15	13027541.64
216	SW=762.62	TP	766230.15	13027556.64
217	SW=763.19		766242.15	13027541.64
218	SW=762.61	TP	766242.15	13027556.64
219	TP=762.61		766178.98	13027587.94
220	TP=762.17		766186.57	13027603.55
221	TP=762.88		766206.07	13027643.64
222	MH=762.51		766281.18	13027565.21
223	CB=762.07		766286.31	13027603.26
224	TP=763.07		766355.31	13027643.64
225	TP=762.62		766355.32	13027603.06
226	TP=762.63		766355.31	13027592.64
227	TP=762.79		766365.31	13027582.64
228	FG=763.20	FF	766366.65	13027541.64
229	SW=763.00		766378.54	13027463.60
230	SW=763.00		766378.31	13027444.32
231	SW=763.02		766383.31	13027449.32
232	SW=763.09		766392.54	13027449.32
233	SW=763.09		766392.44	13027458.32
234	SW=763.04		766383.35	13027458.32
235	CB=761.35		766385.31	13027506.59
236	TP=763.11		766392.48	13027536.50
237	TP=763.09		766392.44	13027519.15
238	TP=763.78	ME	766421.83	13027519.15
239	TP=763.82	ME	766429.66	13027532.13
240	SW=763.92	ME	766430.39	13027532.16
241	SW=763.85		766430.35	13027507.76
242	SW=763.90	ME	766435.31	13027507.76
243	SW=764.01	ME	766435.36	13027533.63
244	TP=764.01	ME	766438.36	13027533.64
245	TP=764.00	ME	766438.39	13027549.48
246	TP=764.01	ME	766435.39	13027549.56
247	SW=764.01	ME	766435.38	13027541.59
248	SW=763.94	ME	766430.43	13027541.60
249	TP=763.95	ME	766430.44	13027543.76
250	TP=763.15	ME	766392.40	13027543.76
251	MH=763.05		766385.31	13027554.87
252	SW=762.99		766378.31	13027556.77
253	SW=763.07		766373.31	13027556.62
254	SW=762.83	TP	766372.97	13027582.64
255	SW=762.91	TP	766378.31	13027583.37
256	TP=763.11	ME	766393.03	13027602.97
257	SW=762.84		766372.88	13027704.34
258	SW=762.94		766377.88	13027704.33
259	RO=762.94		766383.95	13027704.31
260	TC=763.31		766384.26	13027703.91
261	TC=763.43	ME	766385.33	13027702.33
264	RO=762.63		766378.89	13027709.32
265	TC=763.00		766378.48	13027709.62
266	TC=762.91	ME	766376.90	13027710.68
269	SW=762.74		766372.89	13027709.34
270	SW=763.26		766353.59	13027704.39
271	SW=763.02		766353.78	13027709.39
272	SW=762.86		766323.06	13027706.70
273	SW=762.76		766323.26	13027711.70
274	SW=762.88		766227.72	13027706.94
275	SW=762.78		766227.72	13027711.94
276	SW=762.89		766127.72	13027707.19
277	SW=762.80		766127.72	13027712.19
278	SW=762.92		766027.72	13027707.43
279	SW=762.85		766027.72	13027712.43

**GRADING LEGEND**

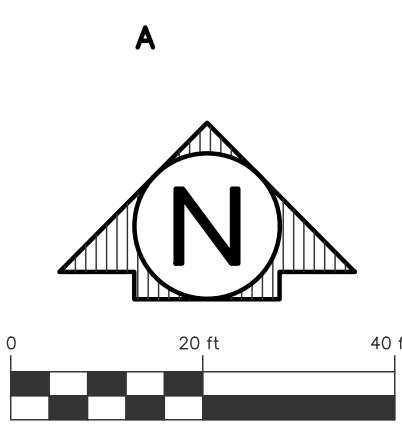
CB - CATCH BASIN  
DT - DITCH GRADE  
FF - FINISH FLOOR ELEVATION  
SW - TOP OF SIDEWALK  
TP - TOP OF PAVEMENT  
CE - CURB ENDING  
DO - DRIVEWAY OPENING  
MH - MANHOLE RIM ELEVATION  
~ FLOW DIRECTION

GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
280	TC=762.94	TP	766229.15	13027555.64
281	TC=762.94		766243.15	13027555.64
282	TC=762.95		766321.31	13027555.64
283	FG=763.20		766321.31	13027541.64
284	SW=763.20		766322.31	13027541.64
285	SW=762.62	TP	766322.31	13027556.64
286	SW=762.62	TP	766329.31	13027556.64
287	SW=763.20		766329.31	13027541.64
288	FG=763.20		766330.31	13027541.64
289	TC=762.95		766330.31	13027555.64
290	FG=763.19	TP	766229.15	13027541.64
291	SW=763.10		766242.15	13027546.64
292	TC=763.10		766243.15	13027546.64
293	SW=762.71		766242.15	13027551.64
294	TC=762.87		766243.15	13027551.64
295	SW=763.10		766230.15	13027546.64
296	SW=762.71		766230.15	13027551.64
297	TC=762.87		766229.15	13027551.64
298	TC=763.10		766229.15	13027546.64
299	TC=762.88		766330.31	13027551.64
300	TC=763.11		766330.31	13027546.64
301	SW=763.11		766329.31	13027546.64
302	SW=762.71		766329.31	13027551.64
303	TC=762.88		766321.31	13027551.64
304	TC=763.11		766321.31	13027546.64
305	SW=763.11		766322.31	13027546.64
306	SW=762.71		766322.31	13027551.64
307	SW=763.18		766377.86	13027696.33
308	SW=763.08		766372.86	13027696.34
309	SW=763.08		766364.88	13027704.36
310	SW=762.98		766364.89	13027709.36
311	FG=763.19		766243.15	13027541.64
312	TC=763.28	TP	766199.35	13027555.64
313	SW=763.87	ME	766435.81	13027683.71
316	SW=762.93		766435.78	13027703.71
317	SW=763.12		766442.71	13027703.84
318	SW=763.20	ME	766447.70	13027703.99
319	SW=763.12	ME	766447.61	13027708.87
320	SW=763.04		766442.61	13027708.84
321	SW=762.84		766435.69	13027708.73
322	RO=762.80		766435.65	13027711.12
323	TC=763.17	SW	766436.06	13027711.40
324	TC=763.11	ME	766437.75	13027712.45
327	TC=763.77	ME	766427.37	13027701.79
328	TC=763.00	SW	766428.15	13027703.14
329	RO=762.94		766428.37	13027703.51
330	SW=762.93		766430.78	13027703.61
334	SW=763.79	ME	766430.83	13027683.73

RADIUS POINTS			
POINT	DESCRIPTION	NORTHING	EASTING
2001	5' RADIUS	766383.31	13027444.32
2002	5' RADIUS	766383.31	13027463.32
2003	20' RADIUS	766372.49	13027536.64
2004	10' RADIUS	766365.31	13027592.64
2005	20' RADIUS	766373.09	13027602.62
2006	5' RADIUS	766199.35	13027551.64



SHEET KEY



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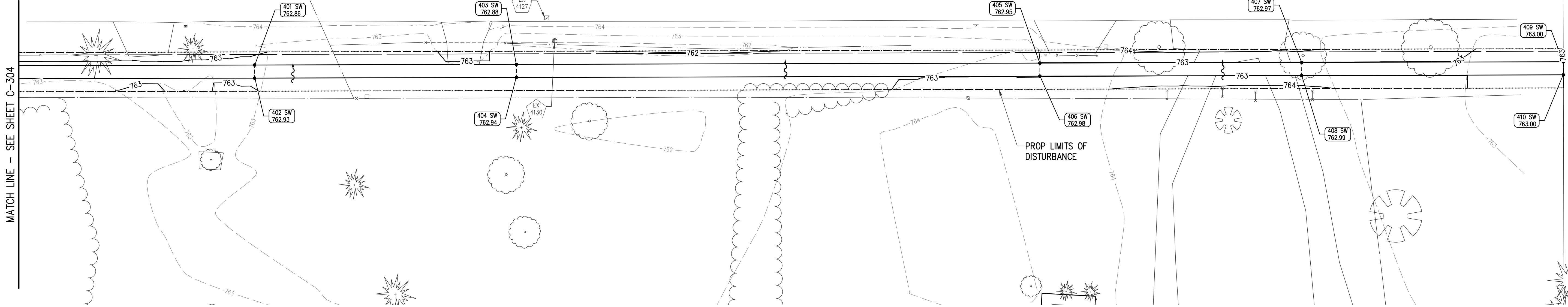
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DETAIL  
GRADING  
PLAN

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PROJECT NUMBER  
C-304  
SHEET NUMBER

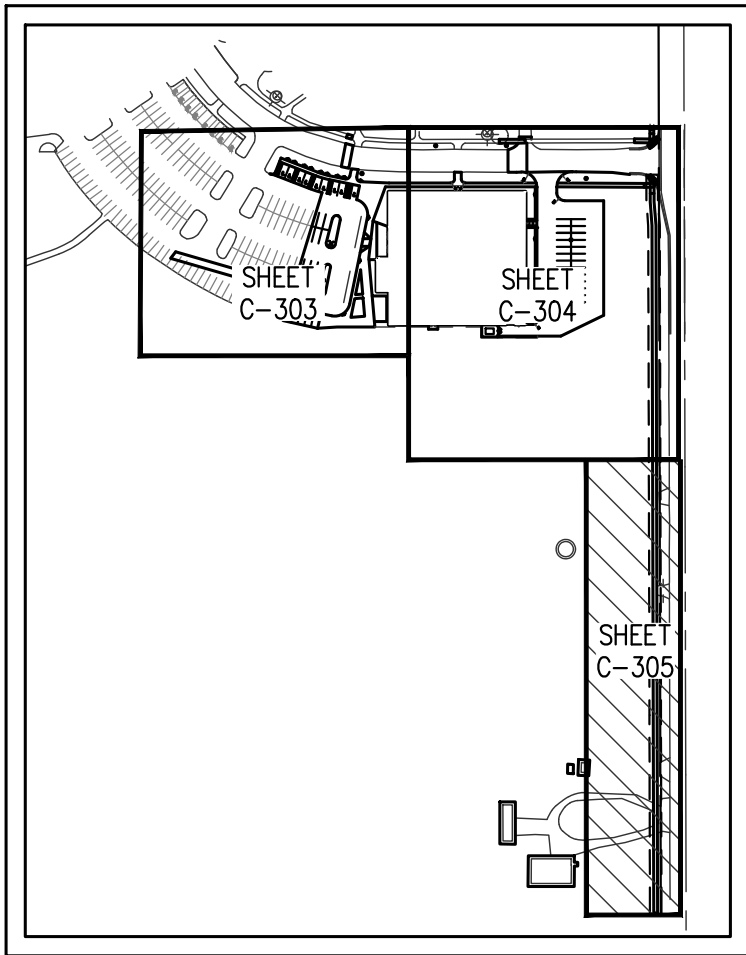
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Layout: GRAD 3  
Plotted by: 873jpb



GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
401	SW=762.86		765927.72	13027712.68
402	SW=762.93		765927.71	13027707.69
403	SW=762.88		765827.72	13027712.93
404	SW=762.94		765827.72	13027707.93
405	SW=762.95		765627.72	13027713.43
406	SW=762.98		765627.72	13027708.43
407	SW=762.97		765527.65	13027713.68
408	SW=762.99		765527.72	13027708.68
409	SW=763.00		765427.74	13027713.93
410	SW=763.00		765427.72	13027708.93

**GRADING LEGEND**  
SW - TOP OF SIDEWALK  
~ FLOW DIRECTION

**EXISTING UTILITY NOTE**  
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DETAIL  
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SHEET TITLE

24704

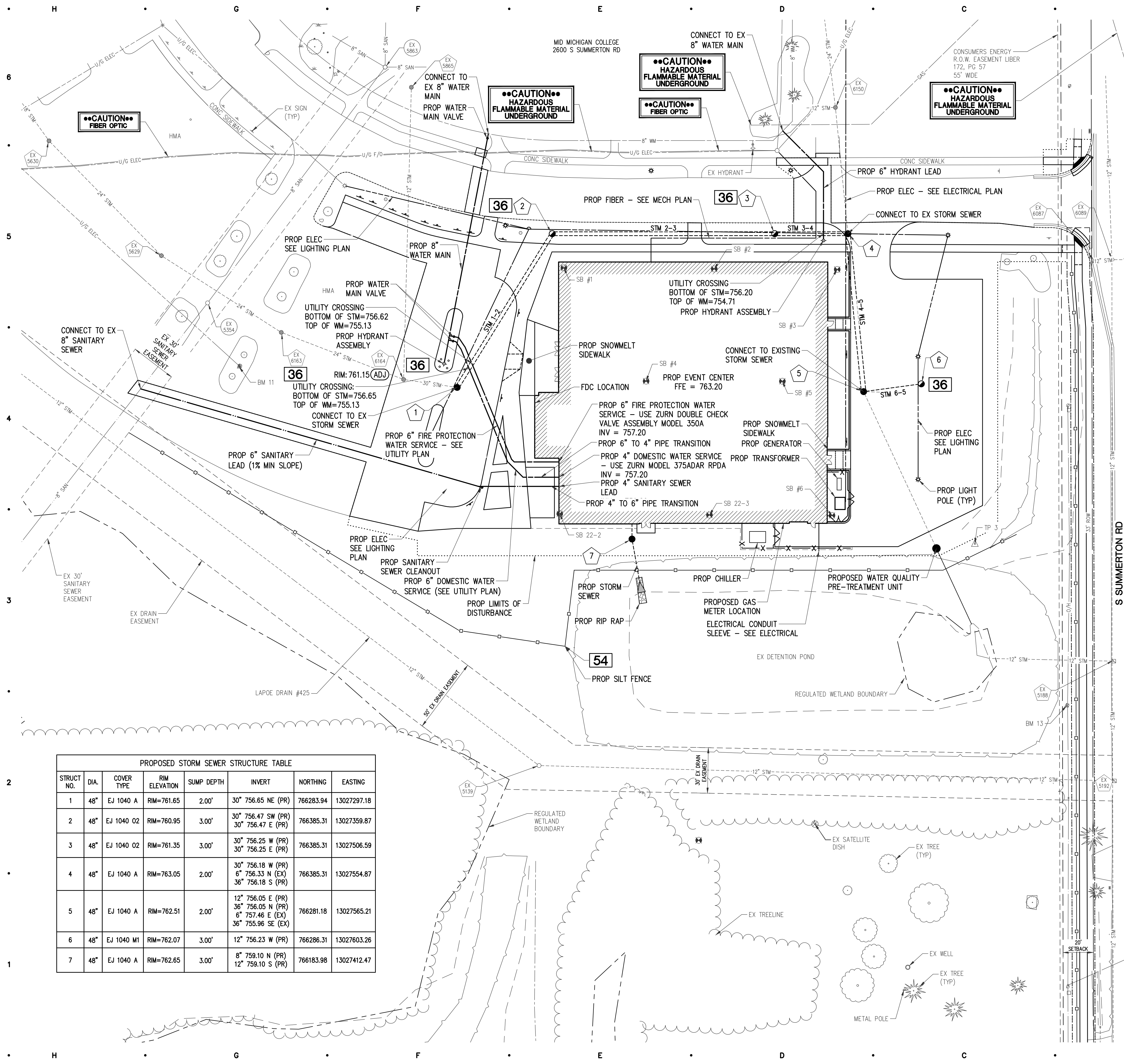
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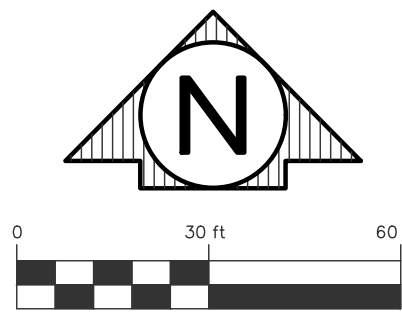
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PROPOSED STORM SEWER STRUCTURE TABLE							
STRUCT NO.	DIA.	COVER TYPE	RIM ELEVATION	SUMP DEPTH	INVERT	NORTHING	EASTING
1	48"	EJ 1040 A	RIM=761.65	2.00'	30" 756.65 NE (PR)	766283.94	13027297.18
2	48"	EJ 1040 O2	RIM=760.95	3.00'	30" 756.47 SW (PR) 30" 756.47 E (PR)	766385.31	13027359.87
3	48"	EJ 1040 O2	RIM=761.35	3.00'	30" 756.25 W (PR) 30" 756.25 E (PR)	766385.31	13027506.59
4	48"	EJ 1040 A	RIM=763.05	2.00'	30" 756.18 W (PR) 6" 756.33 N (EX) 36" 756.18 S (PR)	766385.31	13027554.87
5	48"	EJ 1040 A	RIM=762.51	2.00'	12" 756.05 E (PR) 36" 756.05 N (PR) 6" 757.46 E (EX) 36" 755.96 SE (EX)	766281.18	13027565.21
6	48"	EJ 1040 M1	RIM=762.07	3.00'	12" 756.23 W (PR)	766286.31	13027603.26
7	48"	EJ 1040 A	RIM=762.65	3.00'	8" 759.10 N (PR) 12" 759.10 S (PR)	766183.98	13027412.47



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### NOTE

GAS SERVICE TO THE PROPOSED BUILDING SHALL BE DESIGNED BY CONSUMERS ENERGY.

### MICHIGAN UNIFIED KEYING SYSTEM SESC MEASURES

KEY	DETAIL	CHARACTERISTICS
36		COLLECTS HIGH-VELOCITY CONCENTRATED RUNOFF MAY USE FILTER CLOTH OVER INLET
54		USES GEOTEXTILE FABRIC AND POSTS OR POLES EASY TO CONSTRUCT AND LOCATE AS NECESSARY

PROPOSED STORM SEWER END SECTION TABLE				
STRUCT NO.	DIA.	END OF PIPE INVERT	END OF PIPE NORTHING	END OF PIPE EASTING
8	12"	12" 758.80	766155.16	13027417.65

PROPOSED STORM SEWER PIPE TABLE				
PIPE NUMBER	DIAMETER	TOTAL LENGTH	SLOPE	
STM 1-2	30"	119'	0.15%	
STM 2-3	30"	147'	0.15%	
STM 3-4	30"	48'	0.15%	
STM 4-5	36"	105'	0.12%	
STM 6-5	12"	38'	0.48%	
STM 7-8	12"	29'	1.02%	
STM BLDG-7	8"	10'	1.00%	

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### UTILITY PLAN

SHEET TITLE

24704  
PROJECT NUMBER

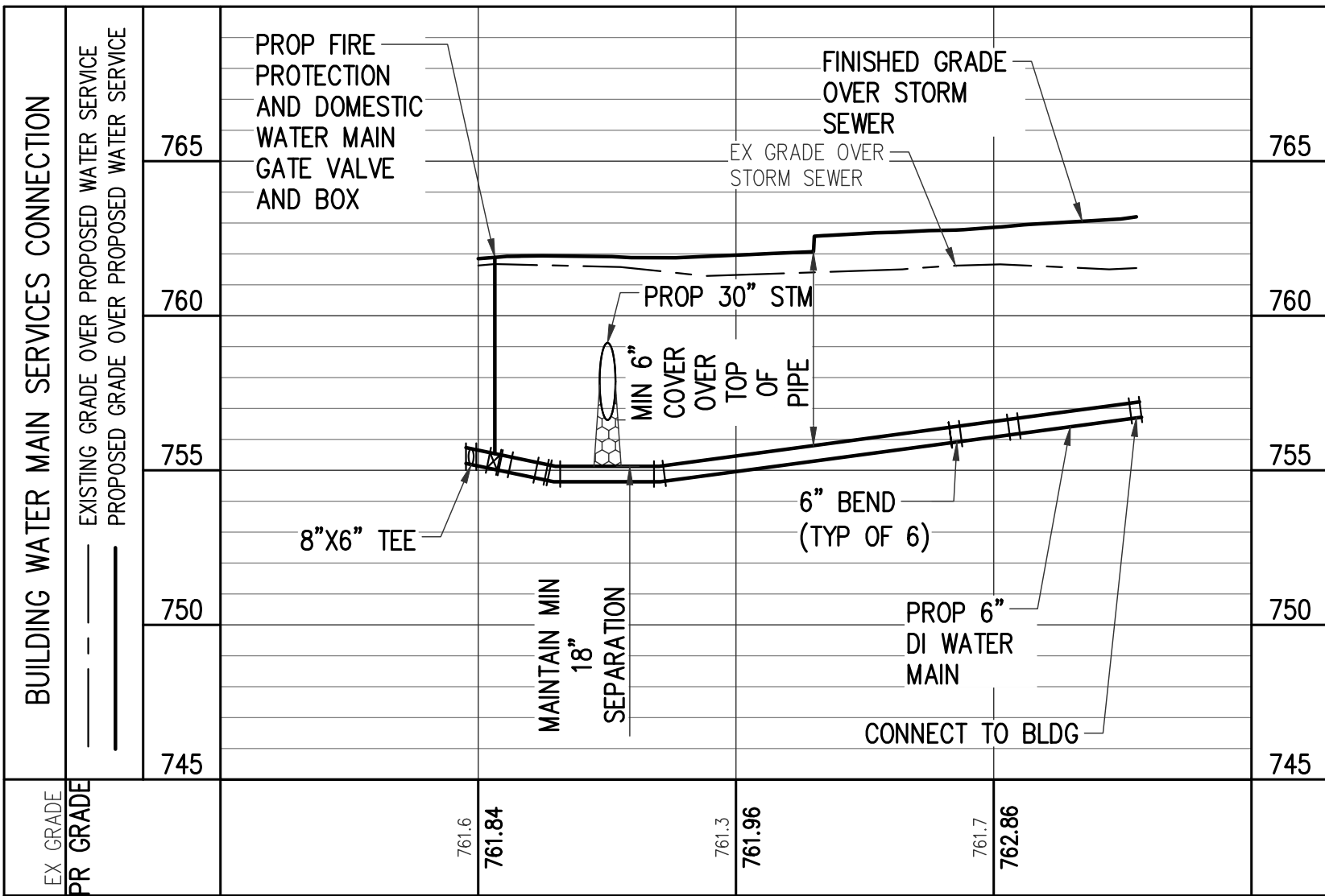
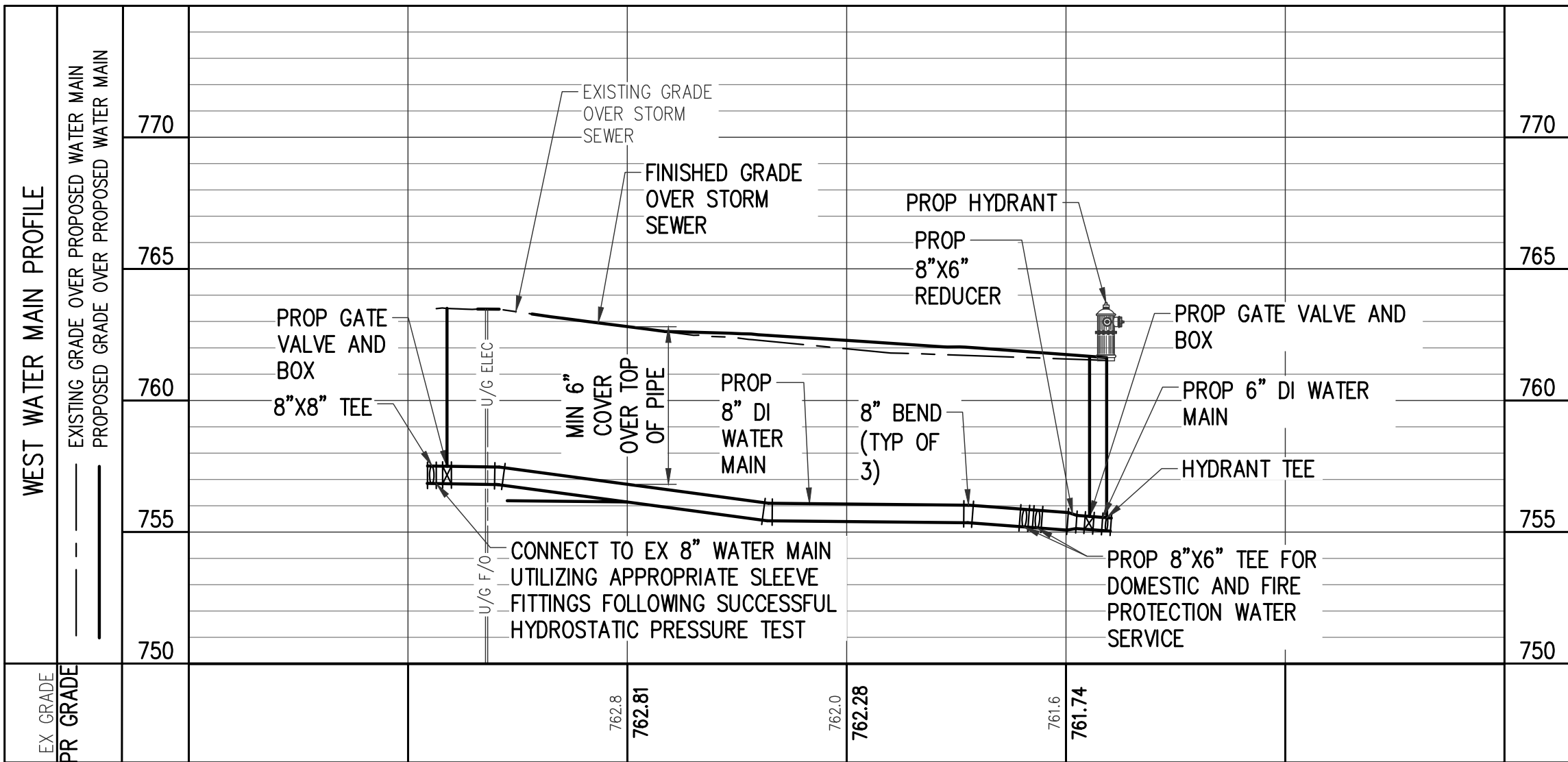
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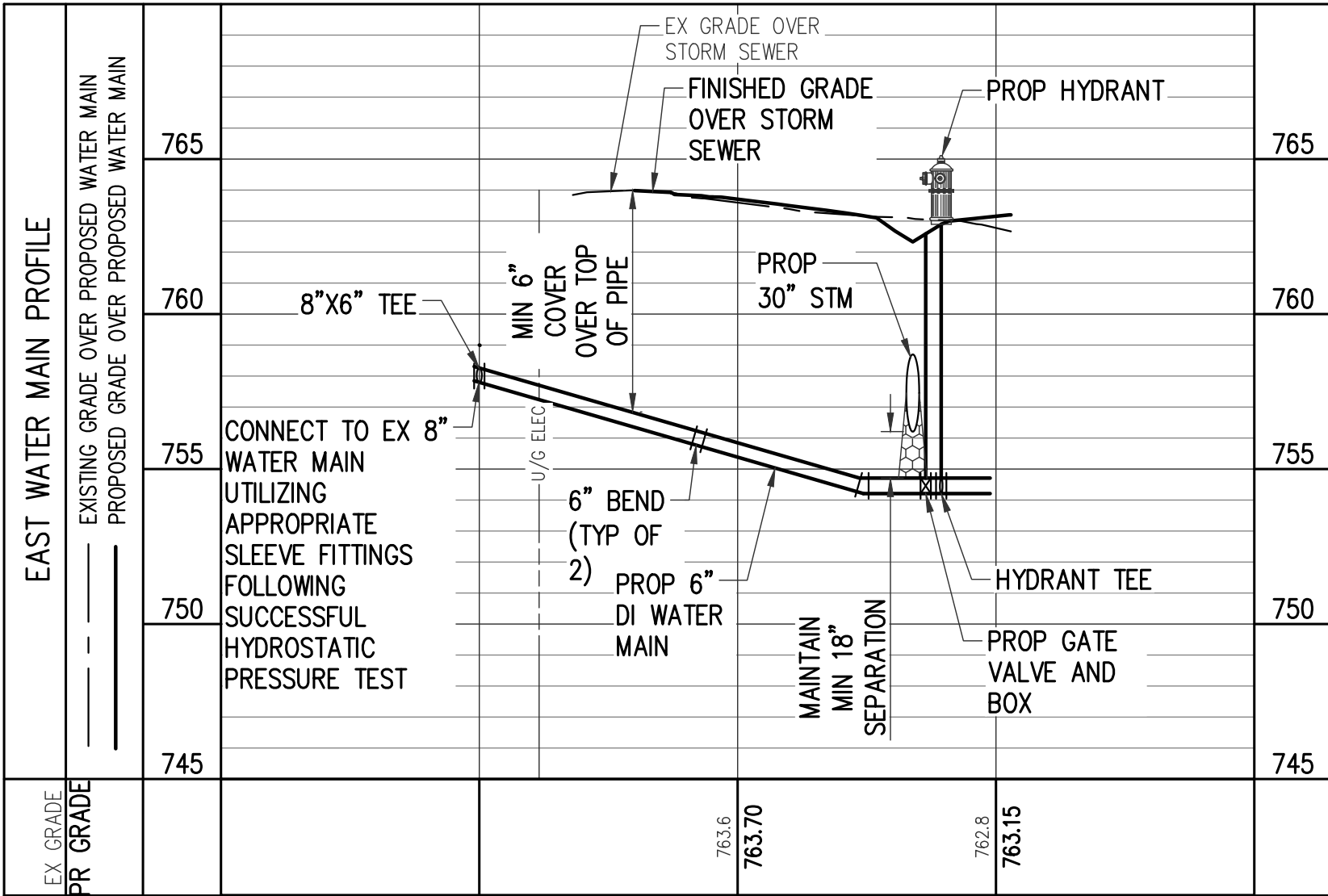
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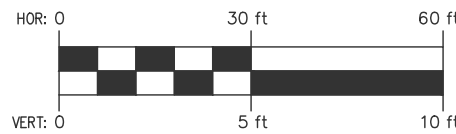


NOTE: FIRE PROTECTION AND DOMESTIC WATER MAIN SERVICES PARALLEL IN PROFILE



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SHEET TITLE

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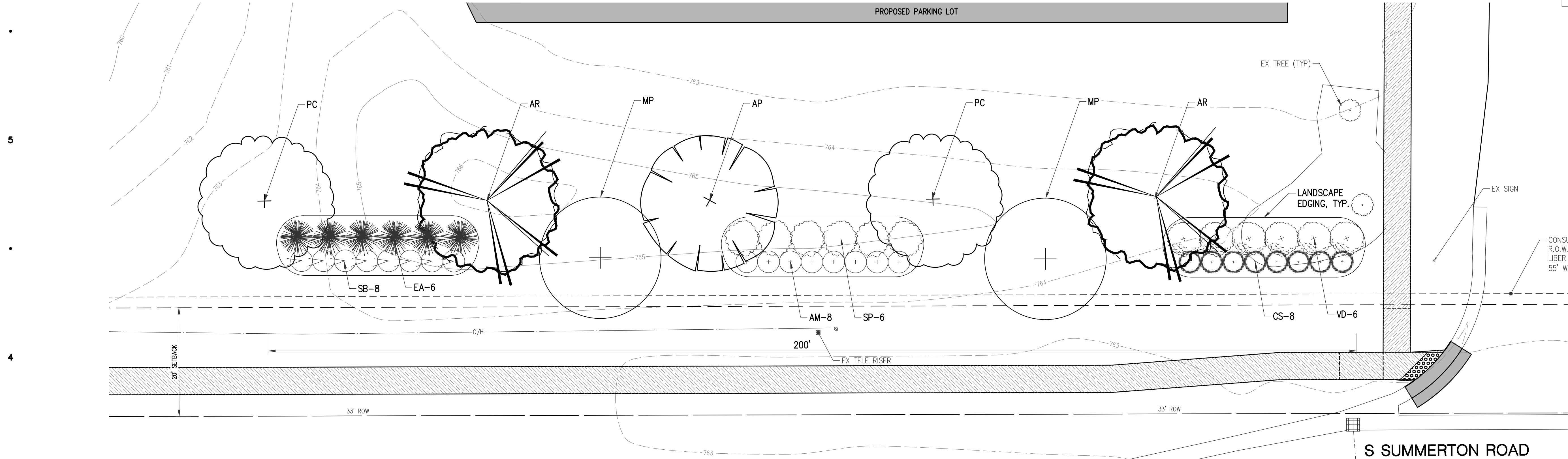
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SHEET NUMBER



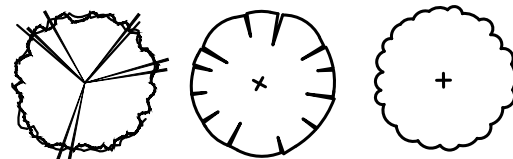
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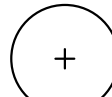
S SUMMERTON RD LANDSCAPE PLANTING PLAN

LEGEND

DECIDUOUS CANOPY TREES



ORNAMENTAL TREES



SHRUBS



LANDSCAPE NOTES:

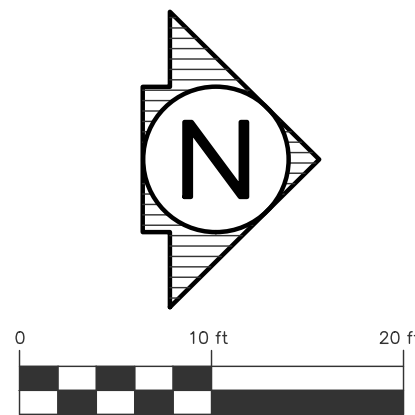
- ALL LANDSCAPE MATERIALS SHALL BE HEALTHY AT THE TIME OF INSTALLATION.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANTS TO BE IN A HEALTHY CONDITION FOR A PERIOD OF TWO YEARS FOLLOWING ACCEPTANCE. CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE OWNER'S REPRESENTATIVE DURING AND AT THE END OF THE GUARANTEE PERIOD.
- ALL PLANTINGS SHALL CONFORM TO ANSI Z60.1 OR CURRENT EDITION.
- AREAS SPECIFIED WITH PLANT MATERIAL SHALL BE FINE GRADED AND SEEDED FOR TURF ESTABLISHMENT.
- ALL EXCESS EXCAVATED MATERIALS AND DEBRIS WHICH ARE NOT ACCEPTED FOR DISPOSAL ON SITE BY THE OWNER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF LEGALLY OFF SITE.
- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESS WATER FROM STANDING ON LAWN AREAS OR AROUND TREES & SHRUBS.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY MATERIAL NOT MEETING SPECIFICATIONS.
- THE CONTRACTOR SHALL PLACE 3" OF PEA GRAVEL IN LANDSCAPE BEDS PER SPECIFICATIONS.
- 4" STEEL LANDSCAPE EDGING IS TO BE INSTALLED ALONG PLANTING BED EDGES WHERE PEA GRAVEL AND LAWN MEET.
- LANDSCAPING ADJACENT TO ROADS (ORDINANCE SECTION 10.2, SUBSECTION B)

S. SUMMERTON ROAD REQUIREMENTS  
ROAD FRONTAGE = 200 LFT  
CANOPY TREES - 1/40 LFT FRONTAGE  
REQUIRED: 5 TREES  
PROPOSED: 5 TREES  
ORNAMENTAL TREES - 1/100 LFT FRONTAGE  
REQUIRED: 2 TREES  
PROPOSED: 2 TREES  
SHRUBS - 8/40 LFT FRONTAGE  
REQUIRED: 40 SHRUBS  
PROPOSED: 42 SHRUBS

DECIDUOUS CANOPY TREE SCHEDULE					
KEY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES	QUANTITY
AP	2 1/2" CAL.	ACER PLATANOIDES 'DEBORAH'	DEBORAH NORWAY MAPLE	B&B	1
AR	2 1/2" CAL.	ACER RUBURM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	B&B	2
PC	2 1/2" CAL.	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	B&B	2

ORNAMENTAL TREE SCHEDULE					
KEY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES	QUANTITY
MP	2" CAL.	MALUS 'PRARIEFIRE'	PRARIEFIRE CRABAPPLE	B&B	2

DECIDUOUS SHRUB SCHEDULE					
KEY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES	QUANTITY
AM	3' HT.	ARONIA MELANOCARPA	BLACK CHOKEBERRY	NO. 5 CONT.	8 @ 4' SPACING
CS	3' HT.	CORNUS SERICEA	RED OSIER DOGWOOD	NO. 5 CONT.	8 @ 4' SPACING
EA	3' HT.	EUONYMUS ALATUS 'COMPACTUS'	COMPACT BURNING BUSH	NO. 5 CONT.	6 @ 6' SPACING
SB	3' HT.	SPIRAEA x BUMALDA 'GOLD FLAME'	GOLD FLAME SPIREA	NO. 5 CONT.	8 @ 4' SPACING
SP	3' HT.	SPIRAEA PRUNIFOLIA	BRIDALWREATH SPIREA	NO. 5 CONT.	6 @ 6' SPACING
VD	3' HT.	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	NO. 5 CONT.	6 @ 6' SPACING



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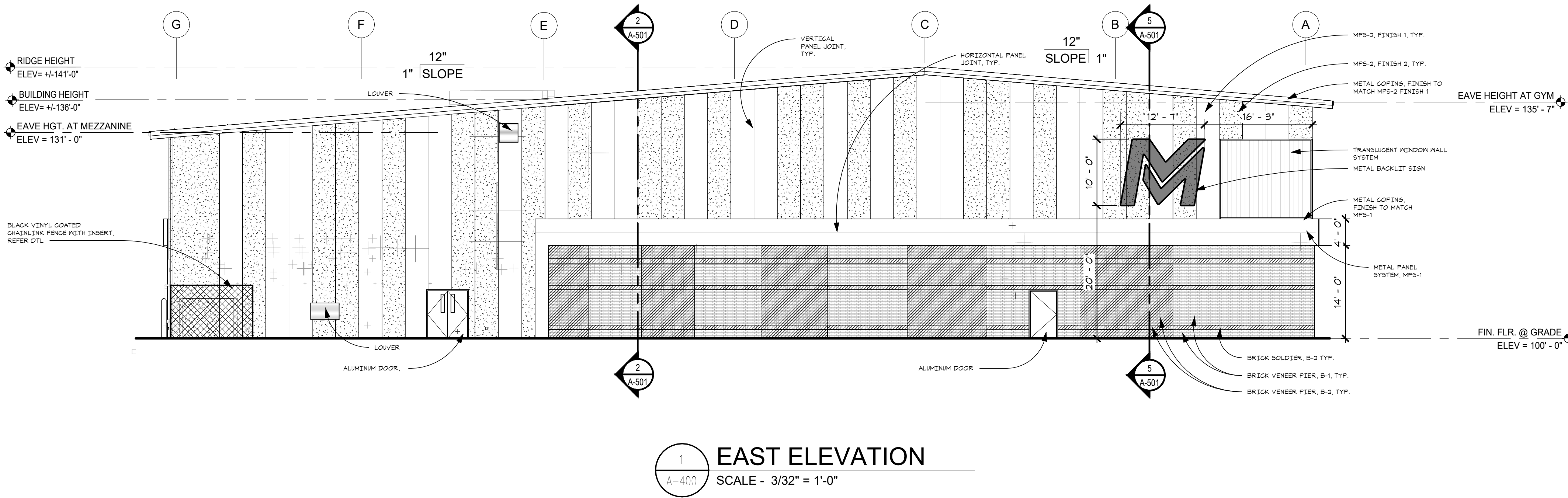
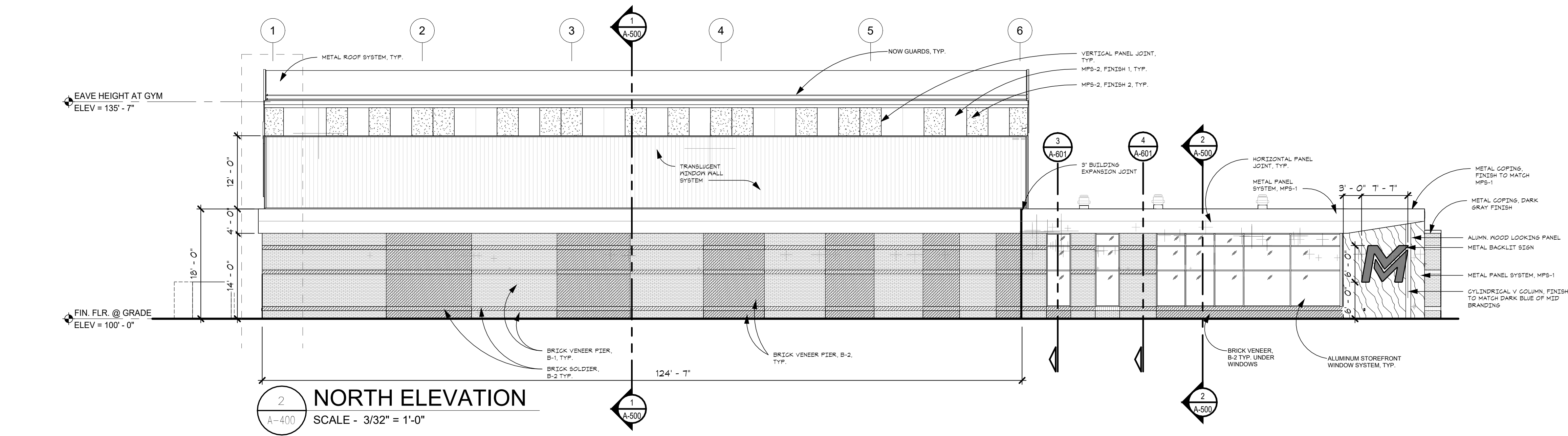
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LANDSCAPE  
PLAN

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PROJECT NUMBER  
C-400  
SHEET NUMBER



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**EAST & SOUTH  
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SHEET TITLE

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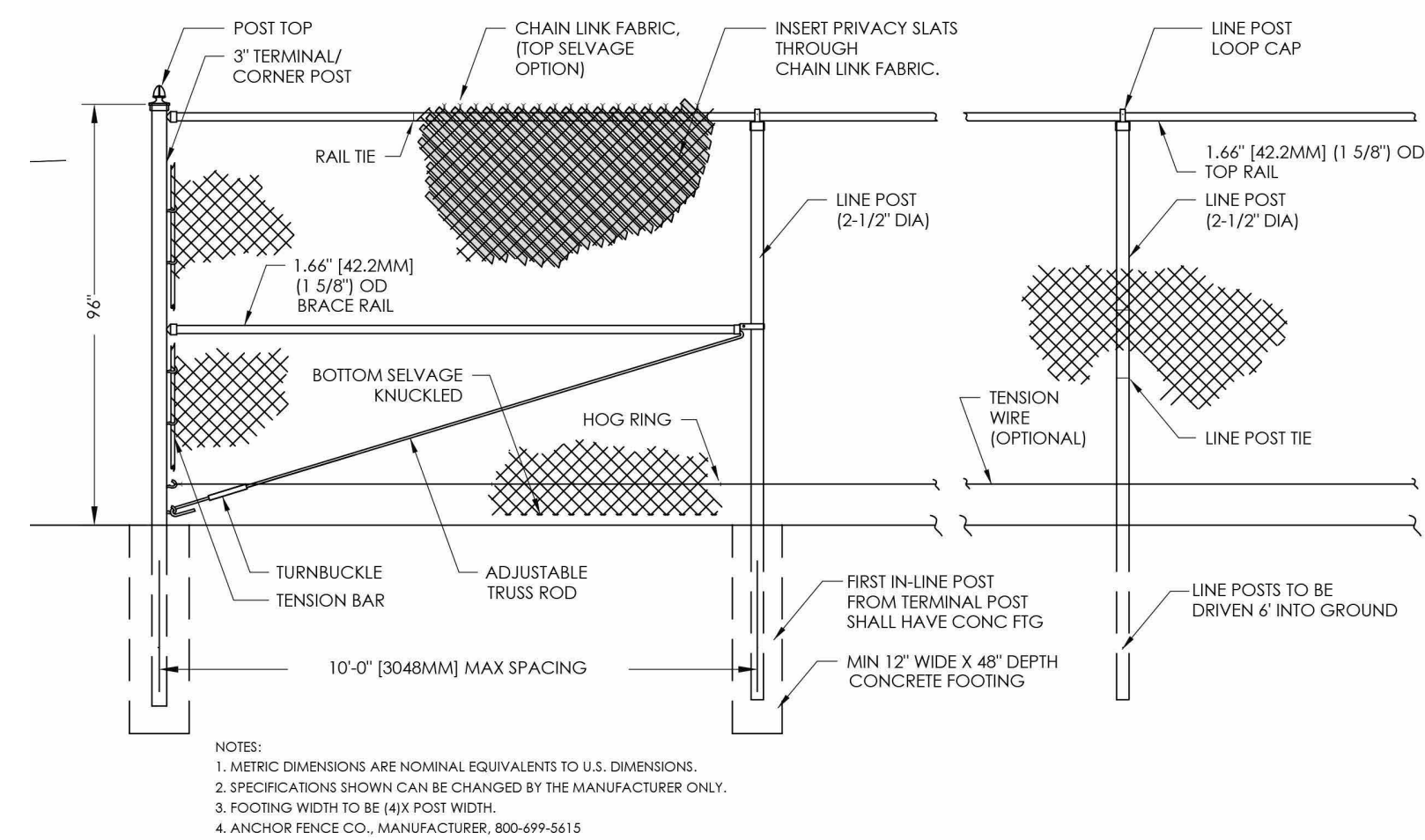
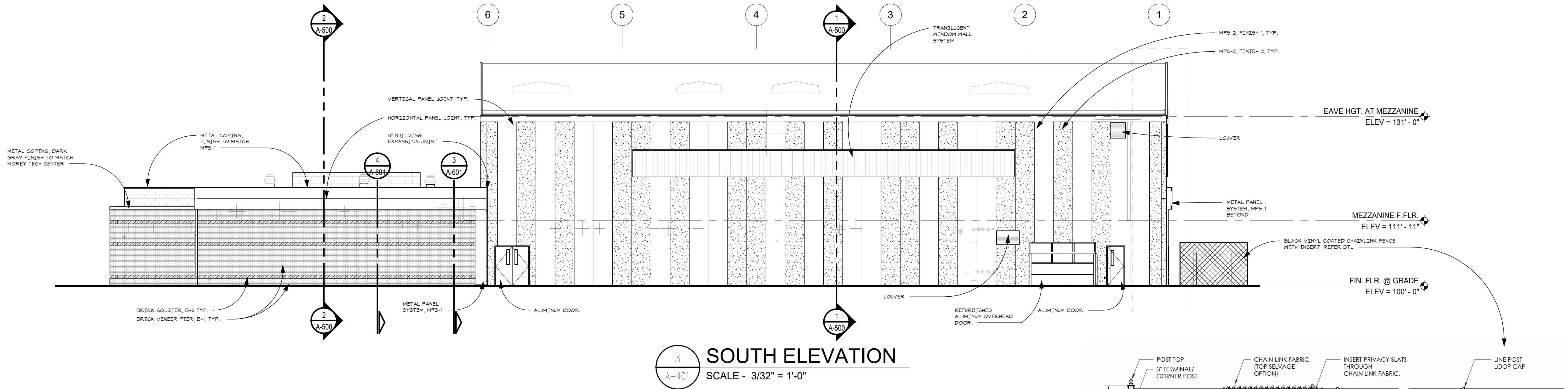
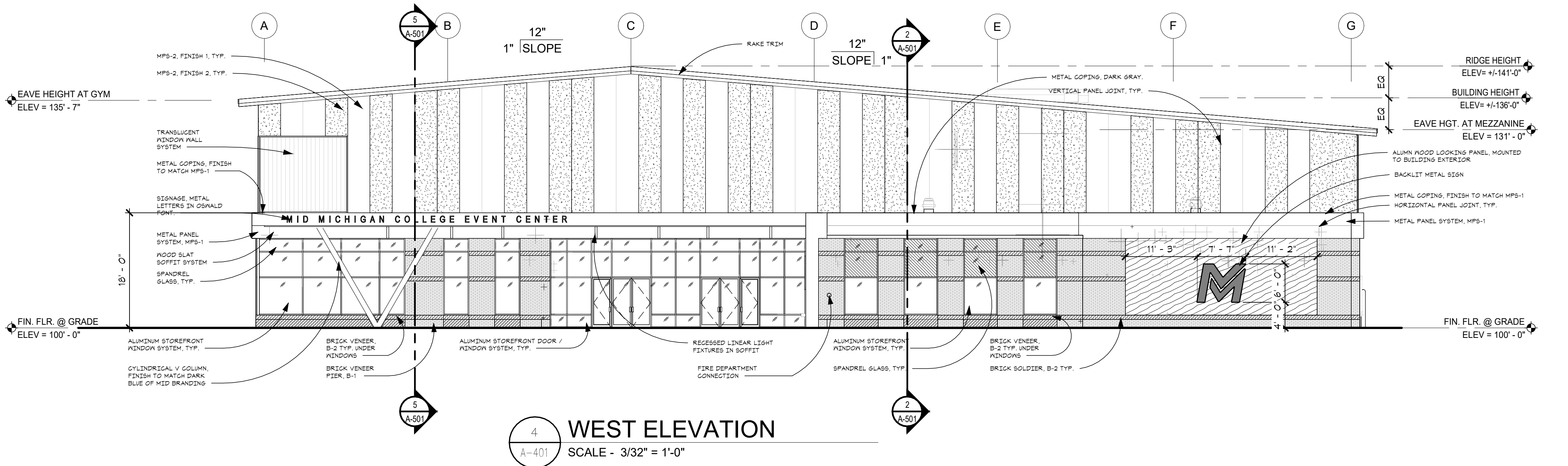
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8' HT. CHAIN LINK FENCE DETAIL

FENCING ALONG EAST PROPERTY LINE TO HAVE OPAQUE WOOD SLATS OR FABRIC. ALL OTHER PERIMETER FENCING SHALL NOT HAVE OBSCURING SLATS/FABRIC.

FINAL SITE PLAN 05/21/25  
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**EAST & SOUTH  
ELEVATION**

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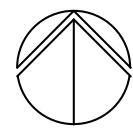
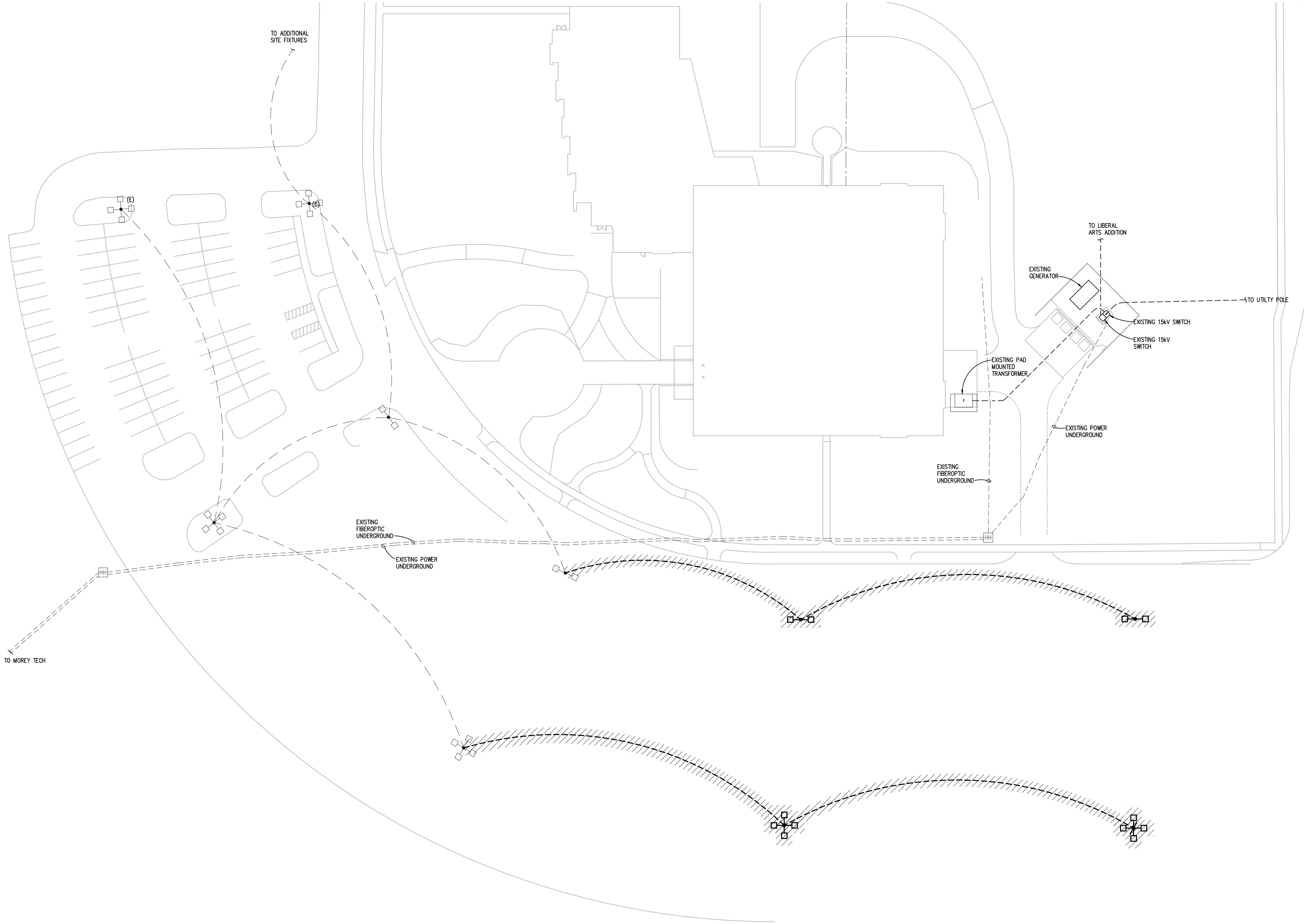
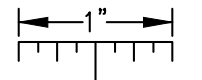
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THE FOLLOWING DIMENSION EQUALS  
ONE INCH WHEN PRINTED TO SCALE.



ELECTRICAL DEMOLITION SITE PLAN  
SCALE: 1" = 30'

#### SITE PLAN GENERAL NOTES:

1. THESE NOTES ARE GENERIC GUIDELINES ONLY. ELECTRICAL CONTRACTOR'S PERSONNEL ON SITE SHALL BE THOROUGHLY FAMILIAR WITH THE PUBLISHED SPECIFICATIONS FOR EXACT DESCRIPTIONS OF SCOPE, METHODS, AND MATERIAL.
2. THESE DRAWINGS REPRESENT THE GENERAL EXTENT AND ARRANGEMENT OF SYSTEMS. COORDINATE EXACT EQUIPMENT LOCATIONS, ELEVATIONS, AND FINAL CONNECTION REQUIREMENTS. PROVIDE EACH SYSTEM COMPLETE, INCLUDING ALL NECESSARY COMPONENTS, FITTINGS AND OFFSETS.
3. CONDUCT A SURVEY TO IDENTIFY ALL UNDERGROUND UTILITIES. CALL 811 PRIOR TO EXCAVATION.
4. UTILITIES SHOWN ON THESE DRAWINGS ARE FOR REFERENCE ONLY. COORDINATE EXACT LOCATION OF ALL EXISTING UTILITIES, AND ROUTING OF ALL NEW UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
5. DEWATER TRENCHES PRIOR TO INSTALLATION OF CONDUITS. PROVIDE WATER TIGHT FITTINGS ON ALL UNDERGROUND CONDUITS.
6. COORDINATE DEMOLITION WORK, AND ELECTRICAL AND TELEPHONE SERVICES TO THE SITE, WITH THE RESPECTIVE LOCAL UTILITY COMPANY REPRESENTATIVES PRIOR TO COMMENCEMENT OF WORK. INCLUDE ALL ASSOCIATED COST/FEE'S BY THE UTILITY COMPANIES IN THE BID PRICE.
7. INSTALL UNDERGROUND CONDUITS 42" BELOW FINISHED GRADE, MINIMUM, UNLESS NOTED OTHERWISE.
8. COORDINATE SERVICE SHUT-DOWNS WITH ALL TRADES INVOLVED ON SITE AND OBTAIN WRITTEN AUTHORIZATION FROM OWNER 72 HOURS PRIOR TO ANY ELECTRICAL AND/OR TELEPHONE SHUT-DOWN.
9. REMOVE ALL DE-ENERGIZED CONDUCTORS FROM SITE AT COMPLETION OF THE PROJECT.
10. OUTDOOR LIGHTING BRANCH CIRCUIT WIRING SHALL BE MINIMUM #8 AWG CONDUCTORS (XHHW-2), IN MINIMUM 1" DIA. CONDUIT, UNLESS NOTED OTHERWISE.
11. SPARE CONDUITS SHALL INCLUDE PULL STRING AND SHALL BE TERMINATED WITH A CAP.
12. EXCAVATE THE ENTIRE LENGTH OF TRENCH TO PROPERLY SET DUCT ELEVATIONS.

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PROJECT



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NOT FOR CONSTRUCTION

ELECTRICAL  
DEMOLITION SITE  
PLAN

SHEET TITLE

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PROJECT NUMBER

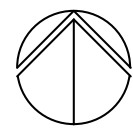
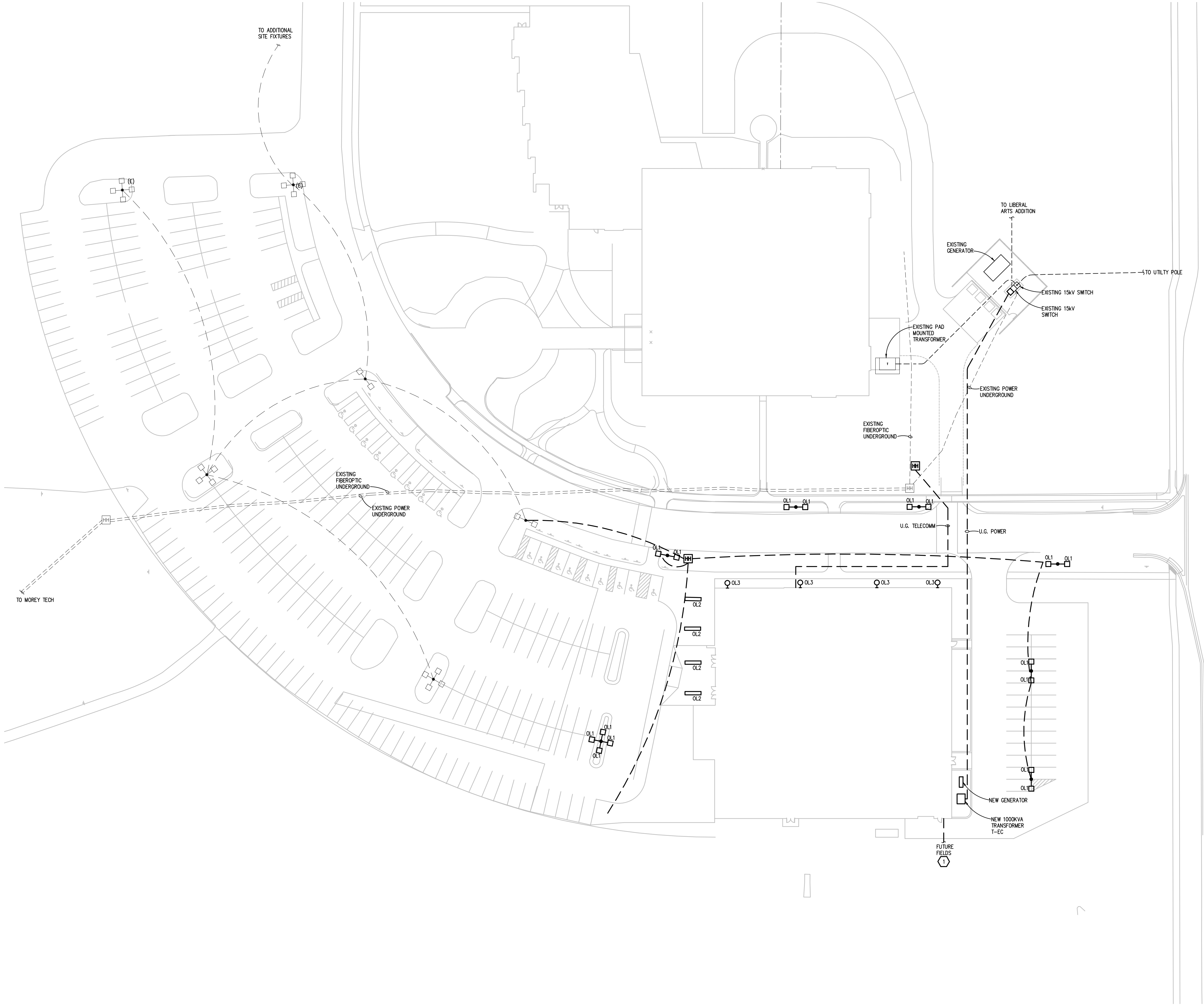
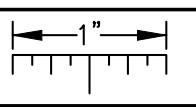
E-003

SHEET NUMBER



P:\2024\24704 MMC Mt. Pleasant Event Center\Drawings\Consults\2025 0522 PBA progress\2024-0384-E0-SPN.dwg, E-004, 5/27/2025 8:40:39 AM, Sophie Machione, None -1, Peter Basso Associates Inc.

THE FOLLOWING DIMENSION EQUALS  
ONE INCH WHEN PRINTED TO SCALE.



ELECTRICAL NEW WORK SITE PLAN  
SCALE: 1" = 30'

#### SITE PLAN GENERAL NOTES:

- THESE NOTES ARE GENERIC GUIDELINES ONLY. ELECTRICAL CONTRACTOR'S PERSONNEL ON SITE SHALL BE THOROUGHLY FAMILIAR WITH THE PUBLISHED SPECIFICATIONS FOR EXACT DESCRIPTIONS OF SCOPE, METHODS, AND MATERIAL.
- THESE DRAWINGS REPRESENT THE GENERAL EXTENT AND ARRANGEMENT OF SYSTEMS. COORDINATE EXACT EQUIPMENT LOCATIONS, ELEVATIONS, AND FINAL CONNECTION REQUIREMENTS. PROVIDE EACH SYSTEM COMPLETE, INCLUDING ALL NECESSARY COMPONENTS, FITTINGS AND OFFSETS.
- CONDUCT A SURVEY TO IDENTIFY ALL UNDERGROUND UTILITIES. CALL 811 PRIOR TO EXCAVATION.
- UTILITIES SHOWN ON THESE DRAWINGS ARE FOR REFERENCE ONLY. COORDINATE EXACT LOCATION OF ALL EXISTING UTILITIES AND ROUTING OF ALL NEW UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- DEWATER TRENCHES PRIOR TO INSTALLATION OF CONDUITS. PROVIDE WATER TIGHT FITTINGS ON ALL UNDERGROUND CONDUITS.
- COORDINATE DEMOLITION WORK, AND ELECTRICAL AND TELEPHONE SERVICES TO THE SITE, WITH THE RESPECTIVE LOCAL UTILITY COMPANY REPRESENTATIVES PRIOR TO COMMENCEMENT OF WORK. INCLUDE ALL ASSOCIATED COST/FEE'S BY THE UTILITY COMPANIES IN THE BID PRICE.
- INSTALL UNDERGROUND CONDUITS 42" BELOW FINISHED GRADE, MINIMUM, UNLESS NOTED OTHERWISE.
- COORDINATE SERVICE SHUT-DOWNS WITH ALL TRADES INVOLVED ON SITE AND OBTAIN WRITTEN AUTHORIZATION FROM OWNER 72 HOURS PRIOR TO ANY ELECTRICAL AND/OR TELEPHONE SHUT-DOWN.
- REMOVE ALL DE-ENERGIZED CONDUCTORS FROM SITE AT COMPLETION OF THE PROJECT.
- OUTDOOR LIGHTING BRANCH CIRCUIT WIRING SHALL BE MINIMUM #8 AWG CONDUCTORS (XHHW-2), IN MINIMUM 1" DIA. CONDUIT, UNLESS NOTED OTHERWISE.
- SPARE CONDUITS SHALL INCLUDE PULL STRING AND SHALL BE TERMINATED WITH A CAP.
- EXCAVATE THE ENTIRE LENGTH OF TRENCH TO PROPERLY SET DUCT ELEVATIONS.

#### CONSTRUCTION KEY NOTES:

- PROVIDE 2" CONDUIT SLEEVE FROM ELECTRICAL ROOM TO GREEN SPACE FOR FUTURE FIELD CONNECTIONS.
- xxx



Know what's below.  
Call before you dig.

NOT FOR CONSTRUCTION

ELECTRICAL NEW  
WORK SITE PLAN

SHEET TITLE

24704

PROJECT NUMBER

E-004

SHEET NUMBER

MID MICHIGAN COLLEGE  
EVENT CENTER

2600 S.SUMMERTON  
MT PLEASANT, MI 48858



Peter Basso  
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Troy, Michigan 48068-3276  
Tel: 248-879-5666  
www.PeterBassoAssociates.com  
PBA Project No.: 2024-0384

CONSULTANT

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MID MICHIGAN COLLEGE  
EVENT CENTER  
2600 S.SUMMERTON  
MT PLEASANT, MI 48858

PROJECT

NOT FOR CONSTRUCTION

ELECTRICAL NEW  
WORK SITE PLAN

SHEET TITLE

24704

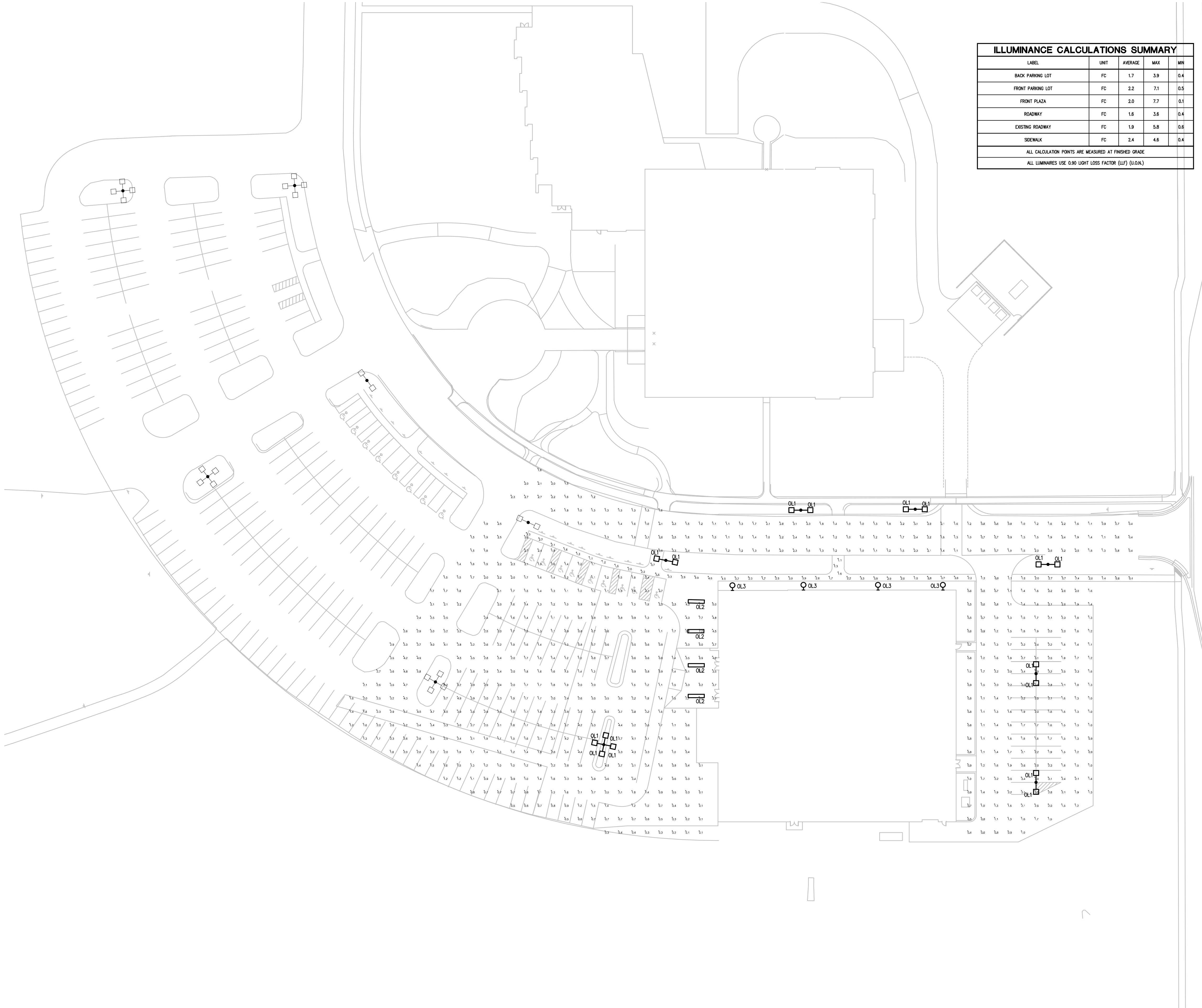
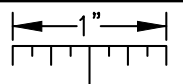
PROJECT NUMBER

E-004

SHEET NUMBER

G:\2024\2024-0384-00\CAD\Site Plan Approval\2024-0384-EO-SPN.dwg, E-101, 5/27/2025 11:27:03 AM, Christopher N. Bartholomew, -----, 1, Peter Basso Associates Inc.

THE FOLLOWING DIMENSION EQUALS  
ONE INCH WHEN PRINTED TO SCALE.



ILLUMINANCE CALCULATIONS SUMMARY				
LABEL	UNIT	AVERAGE	MAX	MIN
BACK PARKING LOT	FC	1.7	3.9	0.4
FRONT PARKING LOT	FC	2.2	7.1	0.5
FRONT PLAZA	FC	2.0	7.7	0.1
ROADWAY	FC	1.6	3.6	0.4
EXISTING ROADWAY	FC	1.9	5.8	0.6
SIDEWALK	FC	2.4	4.6	0.4
ALL CALCULATION POINTS ARE MEASURED AT FINISHED GRADE				
ALL LUMINAIRE USE 0.90 LIGHT LOSS FACTOR (LLF) (L.O.A.)				

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CONSTRUCTION KEY NOTES:

- PROVIDE 2" CONDUIT SLEEVE FROM ELECTRICAL ROOM TO GREEN SPACE FOR FUTURE FIELD CONNECTIONS.
- xxx

Sheet Size - 30x42  
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FINAL SITE PLAN 05/27/2025  
APPROVAL

DATE ISSUED

DMN

DRAWN BY

TGC

CHECKED BY

HOBBS + BLACK  
ARCHITECTS

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MID MICHIGAN COLLEGE  
EVENT CENTER

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PROJECT



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PBA Project No.: 2024-0384

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SITE LIGHTING  
CALCULATIONS

SHEET TITLE

24704

PROJECT NUMBER

E-101

SHEET NUMBER

076







## PRELIMINARY SITE PLAN REPORT

<b>TO:</b>	Planning Commission	<b>DATE:</b>	June 11, 2025
<b>FROM:</b>	Rodney C. Nanney, AICP Community and Economic Development Director	<b>ZONING:</b>	B4, General Business District; and R-1, Rural Residential
<b>PROJECT:</b>	PRESR25-01 Preliminary Site Plan Application – Mid Michigan College’s 39,161 square-foot Event Center located at 2600 S. Summerton Road.		
<b>OWNER(S):</b>	Mid-Michigan College		
<b>LOCATION:</b>	Approximately 47 acres located at 2600 S. Summerton Road in the SE 1/4 of Section 13.		
<b>EXISTING USE:</b>	Mid-Michigan College	<b>ADJACENT ZONING:</b>	B-4, R-1, SCIT, and Commercial/AG in Chippewa Township
<b>FUTURE LAND USE DESIGNATION:</b> <i>Recreation/Institutional</i> : This category is designated primarily for indoor/outdoor recreation both private and publicly owned.			
<b>ACTION:</b> To review and take action on the PRESR25-01 Preliminary Site Plan only dated 05/27/2025 for Mid Michigan College’s proposed 39,161 square-foot Event Center located at 2600 S. Summerton Road in the SE¼ of Section 13 and in the B-4 (General Business) District.			

### Site Plan Approval Process

Per Section 14.2.C. of the Zoning Ordinance, both preliminary site plan approval and final site plan approval are required for this project. Per Section 14.2.J., approval of a preliminary site plan by the Planning Commission “*shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas.*” Planning Commission approval of a final site plan “*constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met*” (Section 14.2.L.). Documentation of applicable outside agency permits and approvals will be required as part of a final site plan application.

### Background Information

#### **Previous site plan approval and campus master plan.**

In 2022, a final site plan approval was granted by the Planning Commission for the proposed Mid-Michigan College ballfields complex and a new accessory storage and maintenance equipment building. Due to funding constraints, only the storage and maintenance equipment building was constructed. In November of 2024, Township staff met with ROWE Engineering and Mid Michigan College representatives to discuss a new “Event Center” project. During this meeting, the Mid Michigan College representatives also briefly discussed the College’s longer-term master



plan vision for the Mt. Pleasant Campus location, which anticipates a need for additional educational buildings on the site to support future growth.

#### **Resolution of a height-related deficiency.**

During an initial review of preliminary plans submitted for the Event Center earlier this year, issues were identified and shared with the applicant that presented hurdles for the application to move forward to the Planning Commission for approval. A key hurdle was a maximum height violation associated with the proposed Event Center building. After extensive Planning Commission discussion and consideration of multiple options to resolve the height issue, the Commission determined that a text amendment to update Section 6.34 of the Zoning Ordinance to expand the list of uses eligible for a limited height exception under certain circumstances. The change was subsequently adopted by the Board of Trustees on 5/14/2025 and is now in effect. The proposed Event Center building as depicted on the site plan would conform to the revised Section 6.34 standards.

#### **Status of site plan applications and outside agency approvals.**

Earlier this year, the applicant submitted a complete preliminary site plan approval application and paid the required fee and escrow deposit for that application. This plan was reviewed by staff, and a report was shared with the applicant. No Planning Commission review or action was taken on this plan due to the height violation. The applicant submitted an updated site plan on 5/27/2025. This plan is labeled as a “final site plan” but no final site plan approval application or fee was submitted at the time. After notification by staff of this omission, the completed application form and required fee were delivered to the Township on 5/30/2025.

Although not formally requested by the applicant, it is the understanding of staff that the applicant had intended to seek a combined preliminary and final site plan approval action for this project. However, as noted below in this report, resolution of unallocated capacity for the sanitary sewer pump station to serve the anticipated peak use associated with the Event Center facility remains incomplete. This is not required for preliminary site plan approval, but must be resolved or be “assured” of Public Services Department approval prior to application for final site plan approval.

For this reason, it is the recommendation of staff that the Planning Commission only consider and take action on this as a preliminary site plan.

### **Preliminary Site Plan Review Comments**

The following comments are based on the standards for preliminary site plan approval and specific elements of the proposed site plan:

1. **Section 14.2.P. (Required Site Plan Information).** Except for details noted elsewhere in this report that could be addressed by the applicant on the final site plan for this project, the site plan can conform to the minimum Section 14.2.P. information requirements for a preliminary site plan. **CONFORMS.**

2. **Section 6.34.A (Height Exceptions).** The building is noted as 36-feet tall, which is one-foot taller than the maximum allowed 35-feet. The applicant confirmed to staff during pre-application meetings that the final building design would likely be taller yet (about 40 feet in height) to accommodate interior design requirements. Even at up to 45 feet in height, the building location would satisfy the increased setback requirements found in Section 6.34 of the Zoning Ordinance. **CONFORMS**
3. **Section 7.20 (Building Form and Composition).** Staff finds that the design of the building conforms to the character of the adjacent neighborhood and complies with the applicable requirements of Section 7.20. **CONFORMS**
4. **Section 8 (Environmental Performance Standards).** The hazardous substance reporting form and EGLE permit checklist were submitted with the application. **CONFORMS**
5. **Section 7.10 (Sidewalks and Pathways).** ADA improvements as required by the County Road Commission for the sidewalk ramps at the entrance off S. Summerton Road are shown on the updated sheet C-301. The plan proposes a 5-foot-wide sidewalk along S. Summerton Road, an internal sidewalk that leads from Summerton Road to the Event Center and filling in the missing section of sidewalk on E. Broadway Road. The section on E. Broadway Road is noted to be completed within one-year of site plan approval as it is on a separate parcel owned by Mid-Michigan College. The sidewalk along S. Summerton Road proposes a 15-foot sidewalk easement granted by the College. The following detail will need to be addressed on the final site plan:
  - ☐ Add a note to the site plan to confirm that copies of necessary sidewalk easements as-recorded at the County Register of Deeds Office will be provided to the Zoning Administrator prior to issuance of building permits for this project. **CAN CONFORM**
6. **Section 9 (Loading Requirements).** A loading area is provided to the south of the building that is 50-feet in length and 15-feet in width. It is noted that it meets the 15-foot-high clearance requirements. The loading area is screened with a proposed 8-foot-high chain link fabric coated fence. **CONFORMS**
7. **Section 9 (Off-Street Parking Requirements).** The Event Center's anticipated maximum capacity is 1,400 people. Section 9.2.F. requires 0.33 parking spots per seat in the main assembly area, which would require 462 parking spots. The plan notes that, when an event this large is planned, it would be when the College's day-to-day operations are closed. The current plan reduces parking availability from 771 to 600 parking spaces. The 600 spaces would be used for both the College and events.

A detailed parking utilization plan is included on sheet C-106. Twp. staff would have no objection to a Planning Commission determination that the alternative parking standard reflected in this utilization plan on sheet C-106 is acceptable per the modification provision in Section 9.2.A. (Parking Spaces Required). These use limitations, if approved as part of a final site plan, would be fully enforceable by the Township [see Section 14.2.X. (Compliance with an Approved Site Plan)]. **CAN CONFORM**



## **Looking Ahead to Final Site Plan Approval**

8. **Section 8 (Exterior Lighting).** The project shows four (4) wall pack lights on the north side of the building and seven (7) new light poles around the new building area. The plan shows four (4) recessed hydro beam lighting areas on the west side of the building. The following details need to be addressed by the applicant on the final site plan:
- ☐ The overall height above grade for new pole-mounted exterior light fixtures cannot exceed 22-feet. The height of all new light poles needs to be verified on the plan.
  - ☐ Add details of the recessed hydro beam lighting labeled as OL2. It is unclear if these lights are under a canopy or underneath some other structure.
9. **Section 10 (Landscaping and Screening).** The landscaping plan meets the requirements for landscaping adjacent to roads. The following details need to be addressed by the applicant on the final site plan:
- ☐ For details of the interior landscaping, the plan includes a note to “see architectural drawings.” This is not an acceptable option. All required information and details for new plantings around the building will need to be incorporated into an updated landscape plan component of the final site plan submittal.
10. **Outside agency approvals.** Section 14.2.S. includes a standard for final site plan approval that, *“The plan meets applicable standards of governmental agencies with jurisdiction, and necessary outside agency approvals have been obtained or are assured (of approval).”* The applicant is responsible for obtaining all necessary outside agencies permits or approvals prior to submittal of a final site plan application. Staff has received correspondence from the Isabella County Transportation Commission, the County Road Commission (for work within road rights-of-way), and the Mt. Pleasant Fire Department.
- ☐ Stormwater management: Staff has also received stormwater management review correspondence from the Twp. Engineer (Gourdie Fraser Associates), which indicates a need for the applicant to resubmit updated plans to the Twp. Engineer to address details noted in their review. This will need to be completed by the applicant prior to submittal of the final site plan.
- In addition, the applicant will need to add a note to the final site plan to confirm that a copy of the required stormwater management system maintenance agreement as-recorded at the County Register of Deeds Office will be provided to the Zoning Administrator prior to issuance of building permits for this project.
- ☐ Municipal water and sanitary sewerage utilities: The adopted engineering and design standards for the Township’s water and sanitary sewerage systems are posted and available on the Township’s website under the Public Services Department. In response to a recent request by the project engineer, the Department completed a sewer system capacity evaluation that identified an unallocated capacity issue for the sanitary sewer pump station that would receive

the anticipated peak sewage output from the Event Center facility. This issue remains unresolved at this time. In addition, there are corresponding questions about the need for the large diameter water leads to the Event Center, which would also need to be addressed prior to any final site plan review.

These issues directly impact the allowable scope and intensity of the proposed Event Center as a land use, and would therefore also impact the potential size and configuration of the facility that can be served by these utilities. It is the determination of Twp. staff that this project can be granted a preliminary site plan approval, but is not yet ready for any final site plan review or action.

### **Key Findings**

- ❑ Subject to the applicant addressing the details noted in our report on a final site plan, the site plan dated 5/27/2025 is generally consistent with the information requirements for a preliminary site plan (Section 14.2.P.) and the standards for preliminary site plan approval (Section 14.2.S.).
- ❑ The proposed building height exceeds the maximum 35-foot height allowed in the B-4 General Business District, but the proposed building height and location can satisfy the Section 6.34 standards for a limited height exception.
- ❑ The detailed parking utilization plan on sheet C-106 to address how the 600 available parking spaces will be utilized for the College's day-to-day operations in coordination with proposed Events Center activities can be approved as an acceptable alternative parking standard per the modification provision in Section 9.2.A. (Parking Spaces Required).
- ❑ For the reasons noted in our report, the site plan dated 5/27/2025 is deficient with regards to the standards for final site plan approval in Section 14.2.S. and is therefore not ready for any final site plan review or action by the Planning Commission at this time.

### **Recommendations**

All of the details noted in our report are associated with final site plan requirements and would need to be addressed by the applicant on the final site plan. Based on the above findings, I recommend that the Planning Commission take action to grant preliminary site plan approval only for the PRESR25-01 Mid-Michigan College Event Center site plan dated 05/27/2025.

Respectfully submitted,

***Rodney C. Nanney, AICP***

Community and Economic Development Director



**Draft Motions: PRES25-01 Preliminary Site Plan Approval Application**  
**Mid Michigan College Event Center, 2600 S. Summerton Road**

**MOTION TO APPROVE THE PRELIMINARY SITE PLAN:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to grant preliminary site plan approval only for the proposed 39,161 square-foot Mid-Michigan College Event Center facility at 2600 S. Summerton Road (PID14-013-40-001-05) in the southeast quarter of Section 13 and in the B-4 (General Business) zoning district, finding that the PRES25-01 site plan dated May 27, 2025 fully complies with applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval).

**MOTION TO APPROVE THE PRELIMINARY SITE PLAN WITH CONDITIONS:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to grant preliminary site plan approval only for the proposed 39,161 square-foot Mid-Michigan College Event Center facility at 2600 S. Summerton Road (PID14-013-40-001-05) in the southeast quarter of Section 13 and in the B-4 (General Business) zoning district, finding that the PRES25-01 site plan dated May 27, 2025 can comply with applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s):

\_\_\_\_\_  
\_\_\_\_\_

**MOTION TO POSTPONE ACTION:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to postpone action on the PRES25-01 preliminary site plan for the proposed 39,161 square-foot Mid-Michigan College Event Center facility at 2600 S. Summerton Road (PID14-013-40-001-05) until \_\_\_\_\_, 2025 for the following reasons:

\_\_\_\_\_  
\_\_\_\_\_

**MOTION TO DENY:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to deny the PRES25-01 preliminary site plan for the proposed 39,161 square-foot Mid-Michigan College Event Center facility at 2600 S. Summerton Road (PID14-013-40-001-05) in the southeast quarter of Section 13 and in the B-4 (General Business) zoning district, finding that the site plan dated May 27, 2025 does not comply with applicable Zoning Ordinance requirements, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:

\_\_\_\_\_  
\_\_\_\_\_

**CHARTER TOWNSHIP OF UNION PLANNING COMMISSION  
ISABELLA COUNTY, MICHIGAN**

**RESOLUTION TO RECOMMEND ADDITIONAL REVISIONS TO THE  
PROPOSED CITY OF MOUNT PLEASANT MASTER PLAN**

At a regular meeting of the Planning Commission for the Charter Township of Union, Isabella County, Michigan held on the seventeenth day of June, 2025:

**WHEREAS**, the Michigan Planning Enabling Act (Public Act 33 of 2008, as amended) requires that, in the preparation of a local master plan, the municipality shall consult with adjacent local units of government with respect to their planning so that conflicts in master plans and zoning may be avoided; and

**WHEREAS**, consistent with Act 33, the City of Mount Pleasant has invited the Planning Commission to review and comment on their draft 2050 City Master Plan updates as posted on the City's website.

**NOW, THEREFORE, LET IT BE RESOLVED** that the Charter Township of Union Planning Commission finds and determines that some elements of the proposed Book 2: Connected Mobility Systems are in conflict with or otherwise inconsistent with Township planning policies and priorities.

**BE IT FURTHER RESOLVED** that the Charter Township of Union Planning Commission hereby recommends to the City of Mount Pleasant Planning Commission the following additional revisions to Book 2: Connected Mobility Systems of the proposed set of 2050 City Master Plan updates:

- A. Bluegrass and Mission Intersection:** The Planning Commission finds that the roundabout proposal for the E. Bluegrass Rd. and Mission St. intersection is inconsistent with Township plans for pedestrian improvements at the southeast corner of the intersection, incompatible with the safety of the many pedestrians crossing legs of this intersection during peak periods, and insufficient to resolve the underlying reasons for traffic conflicts at this intersection.

Instead, the Planning Commission recommends to the City that consideration be given to joint planning for a new roundabout approximately 800 feet to the south at Old Mission Rd., along with a new entrance into the Indian Hills Shopping Plaza and associated reconfiguration of the section of the US-127 Business Loop roadway north to the E. Bluegrass Rd. intersection to reduce traffic speeds. This alternative location and design would eliminate problematic left-hand turns out of the shopping plaza, reduce the need for southbound left turns from Mission St. to E. Bluegrass Rd., and improve traffic flow and safety along both legs of this intersection.

- B. Broomfield Road – South US-127 Interchange:** The Planning Commission finds that the City's old proposal for a new US-127 interchange at E. Bloomfield Rd. is incompatible with Township planning priorities, and that the new proposal for expansion of the US-127 Exit 139 interchange with US-127BL/Mission St. is incomplete.

The Planning Commission recommends to the City that consideration be given to joint planning for an expanded interchange at Exit 139 for both north- and south-bound US-127 traffic that also includes provisions for extending the US-127 Business Loop fully across the US-127 right-of-way eastward to end with a new intersection at S. Summerton Road. This revised scope would be fully consistent with Township planning priorities and would greatly improve regional road connectivity and access to the Mission St. and E. Bluegrass Rd. business districts.

- C. Rerouting M-20:** The Planning Commission finds that the proposal to reroute the M-20 off of Mission St. westward along E. Pickard Rd. and south along S. Lincoln Rd. to be inconsistent with Township planning priorities, incompatible with prudent use of public resources, and in conflict



with the priority of both communities to foster a vibrant and healthy regional business climate. The City Planning Commission may not be aware that there is inadequate road right-of-way width along E. Pickard Rd. and S. Lincoln Rd. in the Township to accommodate necessary improvements for a state highway. In addition, the proximity of the river to the railroad tracks on E. Pickard Rd. would require an exorbitant investment of public funds to duplicate the grade separation crossing that already exists on the existing High St./E. Remus Rd. route.

These necessary changes would also cause harm to the regional business community by adversely affecting businesses along both the existing and proposed routes, likely resulting in disruptions to commerce and unproductive business relocations away from the Mission St. corridor. The Planning Commission recommends to the City that this M-20 reroute proposal be dropped from the final adopted Master Plan in favor of future consideration of a joint regional planning effort to consider effective ways to resolve localized neighborhood concerns along the current route.

- D. Broadway St. Extension to S. Lincoln Rd.:** Past City Master Plans included a future Broadway St. extension from Bradley St. to S. Lincoln Rd., which has been removed from the Streets Map in the current draft Book 2 document. This planned street extension is fully consistent with Township planning priorities, and with the reservation of road rights-of-way on land both in the City and in the Township along this route. This street extension is a critical component for improving regional connectivity for motorists and for bicyclists and pedestrians. This new connection would also help to foster more customer visits to downtown businesses by Township residents. The Planning Commission recommends to the City that this Broadway St. extension to S. Lincoln Rd. be restored to the final adopted Master Plan.

The foregoing resolution was offered by \_\_\_\_\_ and supported by \_\_\_\_\_.

Upon roll call vote, the following voted:

<u><b>Township Planning Commission</b></u>	<u><b>Aye</b></u>	<u><b>Nay</b></u>	<u><b>Absent</b></u>	<u><b>Abstain</b></u>
Phillip Squattrito, Chair	_____	_____	_____	_____
Stan Shingles, Vice-Chair	_____	_____	_____	_____
Jessica Lapp, Secretary	_____	_____	_____	_____
Thomas Olver, Vice-Secretary	_____	_____	_____	_____
Everett Bradshaw	_____	_____	_____	_____
Phillip Browne, Jr.	_____	_____	_____	_____
John Hayes	_____	_____	_____	_____
Nivia McDonald	_____	_____	_____	_____
James Thering	_____	_____	_____	_____

RESOLUTION DECLARED ADOPTED.

\_\_\_\_\_  
Phillip Squattrito, Chair

\_\_\_\_\_  
Date